

Cabinet

Thursday 12 December 2013

To: All Members of Cabinet

cc:
Corporate Directors
Director of Finance and Assurance
Director of Legal and Governance
Members' Library
Main Reception

ITEM ON AGENDA	ITEM TITLE / CABINET REPORT	PAGE RANGE
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AGENDA - PART I

ENVIRONMENT AND ENTERPRISE

- | | | |
|-------|---|-------------------|
| 10. | Stanmore and Edgware Conservation Areas Supplementary Planning Document | (Pages 1 - 404) |
| | Appendix 2 to the Report of the Corporate Director of Environment and Enterprise. | |
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| 11. | Locally Listed Buildings Supplementary Planning Document | (Pages 405 - 480) |
| | Appendix 3 to the Report of the Corporate Director of Environment and Enterprise. | |

12. **Authority Monitoring Report**

(Pages 481 - 608)

Appendix 1 to the Report of the Corporate Director of
Environment and Enterprise.

Please find attached, for your consideration, enclosures to the above-mentioned agenda items / reports. Please bring the papers with you to the Cabinet meeting as you will need them during the discussion and decision-making on the items.

Stanmore & Edgware Conservation Areas



December 2013

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Section 1 Introduction

1.0.1 Under section 69 of the Planning (Listed Buildings and Conservation Areas) Act 1990, every local planning authority is required from time to time to determine which parts of their area are worthy of preservation and enhancement and designate them as conservation areas. The process of designating and the analyses of conservation areas is crucial to defining and understanding an area's positive and negative features, as well as identifying issues, opportunities and constraints. The continued analysis of conservation areas subsequent to their designation is important in assessing the impact of change.

1.0.2 Change within conservation areas is inevitable. The challenge for the Council is to manage change in ways which maintain and, if possible, strengthen the area's character and special qualities.

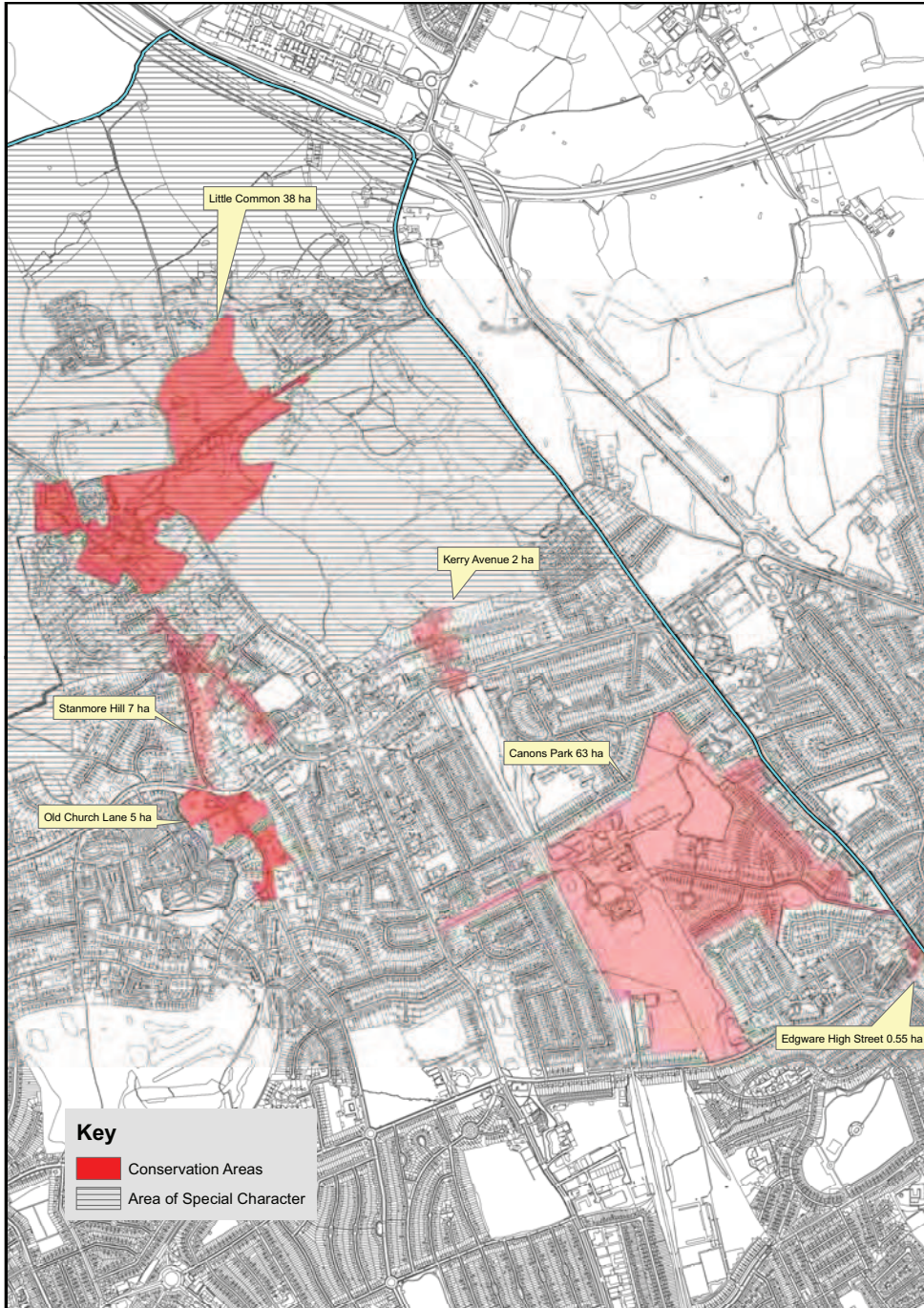
1.1 Purpose and scope of document

1.1.1 The purpose of this Supplementary Planning Document (SPD) is to provide a framework for the positive management of the Stanmore and Edgware conservation areas. In particular it seeks to:

- Highlight the significant features that contributes to the 'special character' of each area, making it worthy of conservation area status;
- Help residents, owners, potential investors, developers and others to understand what it is that should be protected or enhanced;
- Identify the opportunities for enhancement as well as the potential impacts of change to the Stanmore and Edgware conservation areas;
- Provide policy guidance to ensure that the character and appearance of the conservation areas is maintained through the effective management of development and change;
- Aid the local planning authority in making decisions about the appropriateness of proposals within the conservation areas;
- Help prioritise capital works and funding bids, and to encourage inward investment;
- Promote awareness, understanding and enjoyment of Stanmore and Edgware's heritage.

1.1.2 The SPD is informed by the individual character appraisals and management strategies (CAAMS) that have been prepared for each conservation area. Character appraisals are essentially analyses of what makes a conservation area special, while the management strategies proposals and plans seek to preserve or enhance those qualities.

1.1.3 This SPD should therefore be read together with the Conservation Area Appraisal and Management Strategies (CAAMS) which form appendices to this document. A map showing the location of all Stanmore and Edgware's six conservation areas, covered by this SPD is below.



Picture 1.1 Stanmore and Edgware Conservation Areas. LBH LA.100019206.2007

1.2 Status of document

1.2.1 This SPD supplements policy DM 7A: *Heritage Assets* of the Harrow Development Management Policies Local Plan and is a material consideration in the determination of planning applications affecting the Stanmore and Edgware conservation areas.

- 1.2.2** The policy that the SPD supplements has been subject to Sustainability Appraisal. The SPD has been prepared in accordance with the requirements of the Part 5 of the Town and Country Planning (Local Planning) (England) Regulations 2012 and having regard to the National Planning Policy Framework (paragraph 153). The SPD was the subject of public consultation from 17th June to 29th July, 2013. The consultation was undertaken in accordance with Council's Statement of Community Involvement and the comments received were considered and amendments made to take these into account. The SPD has also been screened and the Council has determined that a full Strategic Environmental Assessment is not needed.

Section 2 Legislative and Planning Policy Context

- 2.0.1** This section outlines the legislative and planning policy context to the identification and management of conservation areas.
- 2.0.2** Conservation areas were introduced through the Civic Amenities Act in 1967 and more than 9000 now exist nationally. These are places that can be perceived as having distinct identity; 'areas of special architectural or historic interest, the character or appearance of which it is desirable to preserve or enhance' (Section 69 of the Planning (Listed Buildings and Conservation Areas) Act 1990).
- 2.0.3** Under Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990, Harrow Council has a duty, as the local planning authority, to preserve or enhance the character and appearance of its conservation areas. Section 71 of the 1990 Act places a duty on local planning authorities to formulate and adopt policies and guidance to preserve and enhance their conservation areas. These broad requirements are reinforced and elaborated upon by National Planning Policy Framework (2012).
- 2.0.4** The Stanmore and Edgware Conservation Areas SPD therefore provides overarching supplementary guidance for conserving and enhancing Stanmore and Edgware's six conservation areas. Accompanying the SPD are individual character appraisal and management strategies (CAAMS) for each area which are annexed to this document. These have been created in line with the 2006 English Heritage publication, 'Guidance on the Management of Conservation Areas'. Character appraisals are essentially analyses of what makes a conservation area special, while the management strategies proposals and plans seek to preserve or enhance those qualities. The CAAMS develop the guidance within the overarching SPD so they can address issues relating to specific conservation areas.
- 2.0.5** Supplementary Planning Documents are contained within the framework of the Local Plan which local planning authorities are required to produce under the 2004 Planning and Compulsory Purchase Act. The Local Plan contains Development Plan Documents (DPDs) including the Core Strategy. Supplementary Planning Documents, such as this one, provide further details and guidance on policies and proposals contained within the Core Strategy and other DPDs, and can relate to specific matters such as conservation areas. SPDs are an important material consideration in the determining of planning applications and appeals, as they are subject to rigorous consultation and will conform to broader development plan policies.

2.0.6 A screening opinion was undertaken by Harrow Council officers and sent to the three statutory bodies (Environment Agency, English Heritage and Natural England) in order to confirm that a Strategic Environmental Assessment of the SPD is not required.

Section 3 Special Interest of Stanmore and Edgware's Six Conservation Areas

3.0.1 Stanmore and Edgware has a rich and significant environment with some of the area's earliest buildings. Edgware High Street, for example, contains a number of historic timber framed properties, the majority of which are listed. The importance of Stanmore and Edgware's historic environment is reflected in its number of designated conservation areas. In total, these six designated areas cover an area of just under 116 hectares. The two largest areas are Canons Park and Little Common, which cover 63 hectares and 38 hectares respectively. The smallest of Stanmore and Edgware's conservation areas is Edgware High Street which covers 0.55 hectares but this has a high concentration of listed buildings. There are numerous listed and locally listed buildings as well as other landmark features throughout Stanmore and Edgware which make up a varied and notable built form.

3.0.2 The most identifiable elements that make up the special character of each of Stanmore and Edgware's six conservation areas are noted below. The detailed character and appearance of each individual area is provided in the conservation area appraisal and management strategies that are provided within the appendices of this document.

Conservation Area	Special Character
Little Common (appendix 1)	Mix of attractive period properties predominantly residential (many listed and/or with interesting histories attached), tall walls marking boundaries of historic estates, high quality open spaces and greenery (including mature trees), distinctive topography and low to medium densities of development.
Stanmore Hill (appendix 2)	Mix of attractive period properties both commercial and residential (many listed), tall walls marking boundaries of historic estates, high quality greenery (including mature trees), distinctive topography and medium to high densities of development.
Old Church Lane (appendix 3)	Very old buildings including two striking and dominant churches, and early 20th century 'old world' style buildings incorporating much older fabric that successfully mimic the older buildings, complemented by good greenery (including mature trees) and open spaces.
Kerry Avenue (appendix 4)	Unusual concentration of well-preserved Modernist style buildings forming the earliest domestic group in west London, good example of formal estate layout, plentiful greenery and open spaces in line with Garden Suburb ideal.
Edgware High Street(appendix 5)	Large portion of the original village of Edgware with some of Edgware's oldest surviving buildings (listed and timber framed) centred on an old Roman road, and a Victorian terrace.

Conservation Area	Special Character
Canons Park (appendix 6)	Large part of the original Canons Park estate including listed mansion house and surrounding grade II listed parkland / driveways with associated listed features, good Metroland, largely 'Tudor revival', estate that is formally planned with abundant greenery.

3.0.3 Although each area is unique, when consulting the above table, there are a number of common qualities that account for their special interest and make these areas worthy of protection. Similar qualities tend to include a rich display of architecture, either very historic or of significance for its portrayal of a particular time, usually complemented by greenery and visually furnished with mature trees. On the whole interesting histories are attached to the areas.

3.0.4 Stanmore and Edgware's conservation areas met and continue to meet two or more of the following criteria set out in paragraph 3.43 of the Development Management Development Plan Document:

1. Areas with a high concentration of listed buildings whether statutorily or locally listed
2. Areas of historical, social, economic and/or architectural merit
3. Areas with a high proportion of buildings built prior to 1920, which remain largely unaltered
4. Areas built post 1920 that are innovative in planning or architectural detail, and where a large proportion remain unaltered
5. A significant group of buildings with distinct physical identity and cohesiveness
6. Areas which have a special quality, where the site layout and landscaping are of exceptionally high quality and/or contain historic open space, natural landmarks or topographical features

3.0.5 Contributing to, and helping to explain the special interest of, the Stanmore and Edgware conservation areas is the area's historical development, other key designations, the setting of the conservation areas as and key views as explored in the next four sub-sections.

3.1 Historical Development

3.1.1 In order to understand today's special interest it is useful to consider the area's historical development. Today's Stanmore and Edgware has grown from two separate manors of Stanmore, namely Great Stanmore and Little Stanmore which entries in the 1086 Domesday survey show were owned by Robert Count of Mortain, William the Conqueror's half brother, and Roger de Rames respectively. Great Stanmore had at its heart Stanmore Old Church, which was rebuilt in 1632, and later in 1849 St John's Church, and now forms a focal point for the Old Church Lane conservation area, and Little Stanmore comprised what is now known as Edgware. Edgware High Street is particularly significant despite its relatively small size as it includes the earliest settlement of Stanmore and Edgware with its origins dating back to at least

the Roman occupation of Britain. This Conservation Area therefore has a higher concentration of Listed Buildings by virtue of its early roots and relatively small-scale, traditional appearance. Indeed, out of Edgware High Street's 28 buildings, 9 are statutory listed and 2 locally listed. The earliest of these is 97 High Street which dates back to the 16th century.

3.1.2 Otherwise the land in both Great and Little Stanmore comprised large estates. The adjacent conservation area of Canons Park's character strongly relates to its origins as country estate, and can be traced principally to the Duke of Chandos, James Brydges, who in 1713 constructed a palace on site, which was replaced by Canons House in 1747 and substantially altered/modified in the 19th century leaving the grade II listed mansion house present today. Surrounding park and garden land was constructed and landscaped over this time, much of which remains today and reflecting its importance is also designated as a grade II listed park and garden with a cluster of grade II listed follies and garden structures associated with this. This landscaping is now partly set amongst 20th century Metroland much of which was planned to reflect the character of Kentish black and white 16th century farmhouses.

3.1.3 Of the other large estates, agricultural use continued to be the main land use around Stanmore Hill, Little Common, Old Church Lane, Kerry Avenue until as late as the nineteenth century. The Duke of Chandos again impacted upon the character of Stanmore and Edgware Conservation Areas since Stanmore Hill only became a main road following the creation of a new road to London by the Duke in 1718 (the current London Road in Stanmore). This instigated much residential and some commercial development along Stanmore Hill (in the Stanmore Hill and Little Common Conservation Areas), which continued as London expanded across Middlesex in the late 1800s and early 1900s. A number of the fine early large residential/mansion houses and estate boundary walls remain helping to distinguish the area, most of which are listed. Whilst Old Church Lane Conservation Area's character reflects its agricultural use in the 18th century, hence the Tithe Barn which dates back to the 15th century, its character principally relates to one landowner Samuel Wallrock in the 1930s who created an Old World/Tudor feel by creating and transforming a Manor House and outbuildings and cottages using much older materials. Kerry Avenue Conservation Area similarly reflects 20th century development but of a contrasting style that makes it stand out from the other conservation areas as an example of formal estate planning and the earliest domestic group in west London to adopt principles of the Modern Movement.

3.2 Key Designations

3.2.1 There are many key designations that contribute to the significance of the conservation areas including greenery and open spaces and other designations from a heritage perspective. These are illustrated by conservation area on the next table.

Conservation Area	Designations (may only affect part of the conservation area)
	N.B. All trees are protected in conservation areas
Little Common	Parks

Conservation Area	Designations (may only affect part of the conservation area) N.B. All trees are protected in conservation areas
	<p>Green Belt</p> <p>Open Space</p> <p>Site of borough importance grade I</p> <p>Site of Metropolitan importance for nature conservation</p> <p>Harrow Weald Ridge Area of Special Character</p> <p>25 listed buildings</p> <p>15 locally listed buildings</p> <p>Bounds: site of borough importance for nature conservation, grade II</p>
Stanmore Hill	<p>Green Belt</p> <p>Harrow Weald Ridge Area of Special Character</p> <p>23 listed buildings</p> <p>24 locally listed buildings</p> <p>Bounds: Parks</p>
Old Church Lane	<p>Parks</p> <p>Green chain</p> <p>Open space</p> <p>Site of local importance for nature conservation</p> <p>Locally listed Park and Garden</p> <p>20 listed buildings</p> <p>12 locally listed buildings</p> <p>Bounds: Archaeological Priority Area</p>
Edgware High Street	<p>Archaeological Priority Area</p> <p>9 statutory listed buildings</p>

Conservation Area	Designations (may only affect part of the conservation area) N.B. All trees are protected in conservation areas
	2 locally listed buildings
Canons Park	Metropolitan Open Land Parks Registered Park and Garden Open space Site of borough importance for nature conservation grade II Archaeological Priority Area 7 listed buildings 14 locally listed buildings
Kerry Avenue	Bounds: Green Belt Parks Harrow Weald Ridge Area of Special Character 12 locally listed buildings
	Site of borough importance for nature conservation grade II Site of Metropolitan Importance for nature conservation

3.2.2 From a heritage perspective, there are Archaeological Priority Areas (APAs), Scheduled Ancient Monuments, listed and locally listed buildings, and grade II and locally listed registered parks and gardens affecting the Stanmore and Edgware conservation areas. Their contribution to the significance of Stanmore and Edgware's conservation areas is explained next.

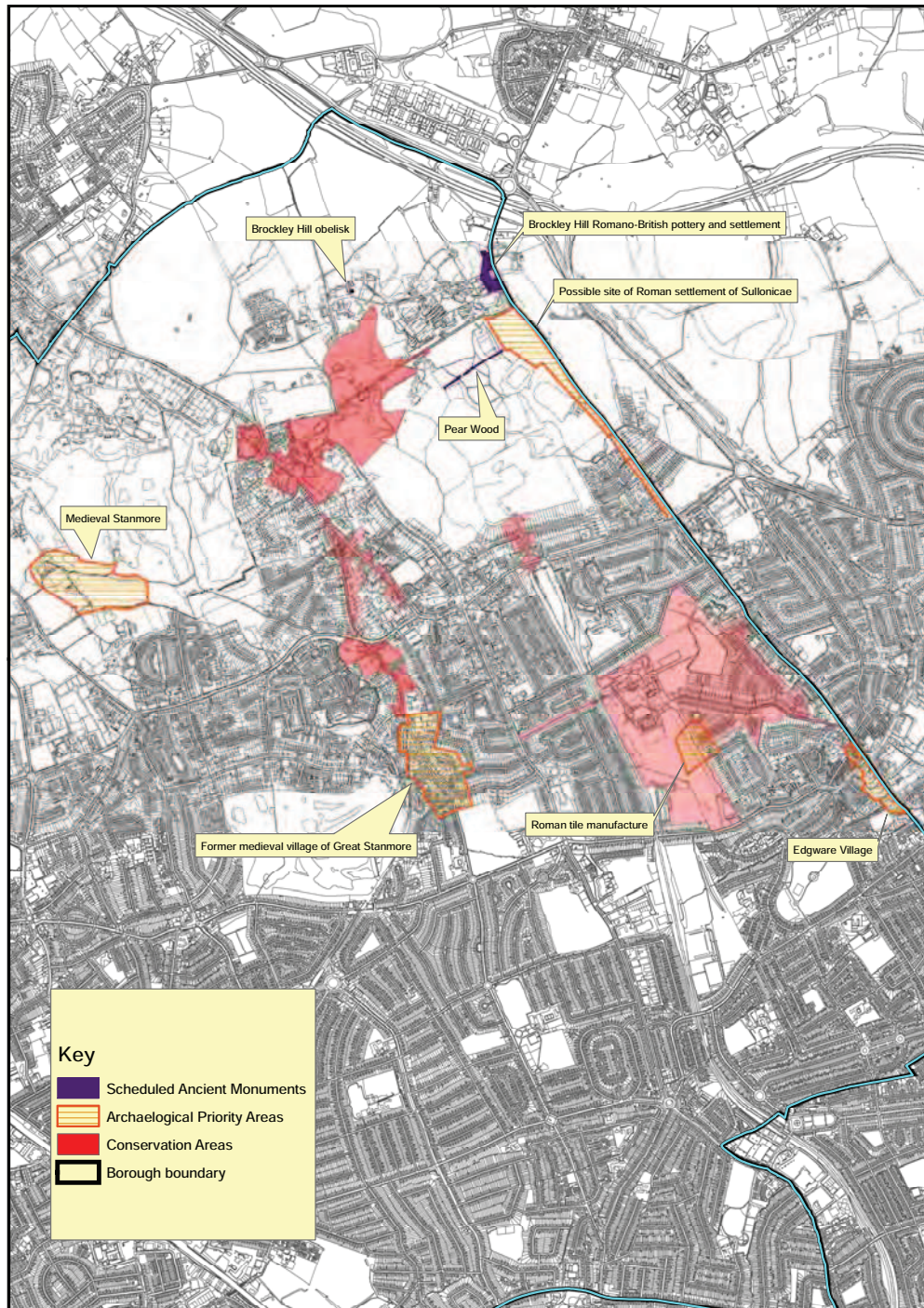
- **Archaeology**

3.2.3 The Harrow area is very important for archaeology. The geology and topography of the area made Harrow popular with early settlers and traces of prehistoric man have been found in Harrow Weald. In addition, there is evidence of Romans in Stanmore and Saxons in both Sudbury and central Harrow. Archaeological designations in

Harrow consist of two types. The first are Scheduled Monuments, which are known archaeological features. The second are Archaeological Priority Areas (APAs), where there are suspected archaeological remains.

3.2.4 The Greater London Sites and Monuments Record (SMR) provides a computerised record of information regarding London's archaeological and historic fabric. The information held assists with the early identification of the archaeological and historic interest of an area or site when development is proposed. English Heritage maintains the SMR for London. To find out more about the Greater London Archaeological Advisory Service (GLAAS) at English Heritage, visit: <http://www.english-heritage.org.uk/server/show/nav.9686>

3.2.5 The National Planning Policy Framework pages 30-32 should be read in relation to works that have the potential to affect Stanmore's archaeology.



Picture 3.1 Archaeology. LBH LA. 100019206.2007

3.2.6

A Scheduled Monument is an archaeological feature that the Secretary of State has deemed of national importance. 'Scheduling' is one of the ways we protect our archaeological heritage for future generations and is restricted to the most important sites and monuments. Scheduling is part of the Ancient Monuments and Archaeological Areas Act 1979. Those within the settings or surroundings of the Stanmore and Edgware CAs are listed next. It is recommended that prior to commencing any works owners should check with the Ancient Monuments Inspector at English Heritage to establish if Scheduled Monument Consent is necessary. It

would also be wise to check the terms of any lease or licence relating to the land. It is a criminal offence to damage a scheduled monument by carrying out unauthorised works.

Stanmore and Edgware's Scheduled Ancient Monuments:

- 18th Century Obelisk at Brockley Hill, Stanmore

To the north of Little Common CA is an 18th century obelisk commemorating Cassivellaunus, at Brockley Hill, Stanmore. This is a commemorative monument. Since 2009 a risk assessment has been conducted by English Heritage for their Heritage at Risk register. The current risk is classed as medium since its overall condition is judged as generally satisfactory but with significant localised problems due to scrub/tree growth masking the monument and making it vulnerable to tree/branch damage. The potential redevelopment of the Royal National Orthopaedic Hospital has the potential to affect it.

- Linear Earthworks in Pear Wood, West of Watling Street

To the east of Little Common CA is Pear Wood which comprises linear earthworks comprising bank and ditch where Iron Age and Roman pottery has been recovered. This may be a continuation of Grim's Ditch. The scheduled monument has been identified as being at High Risk by the English Heritage Heritage at Risk register but it now has a new management agreement on it to help control the holly, scrub and bracken. Control of bracken on this site is one of the main aims of the agreement as the rhizomes are a threat to buried archaeology of the monument - the rhizomes can grow to a depth of 50 cm, and in some soils this may extend to more than a metre. The Harrow Nature Conservation Forum also have two volunteer wardens working regularly on the site.

- Brockley Hill Romano-British pottery and settlement

To the north-east of Pear Wood is the Brockley Hill Romano-British pottery and settlement. This includes buried remains of an extensive Romano-British pottery manufacturing site, a contemporary and later Romano-British settlement and part of the Roman road (Watling Street) alongside which both industry and settlement developed. This Scheduled Ancient Monument is identified as being at high risk. It extends partly within the London Borough of Barnet as well as being within Harrow. One of the main vulnerabilities relates to arable ploughing. The potential redevelopment of the Royal National Orthopaedic Hospital also has the potential to affect it.

3.2.7 There are four Archaeological Priority Areas (APAs) in Stanmore and Edgware. These are identified below, and are highlighted on the last map.

Stanmore and Edgware's Archaeological Priority Areas:

- Roman tile manufacture (within Canons Park Conservation Area)

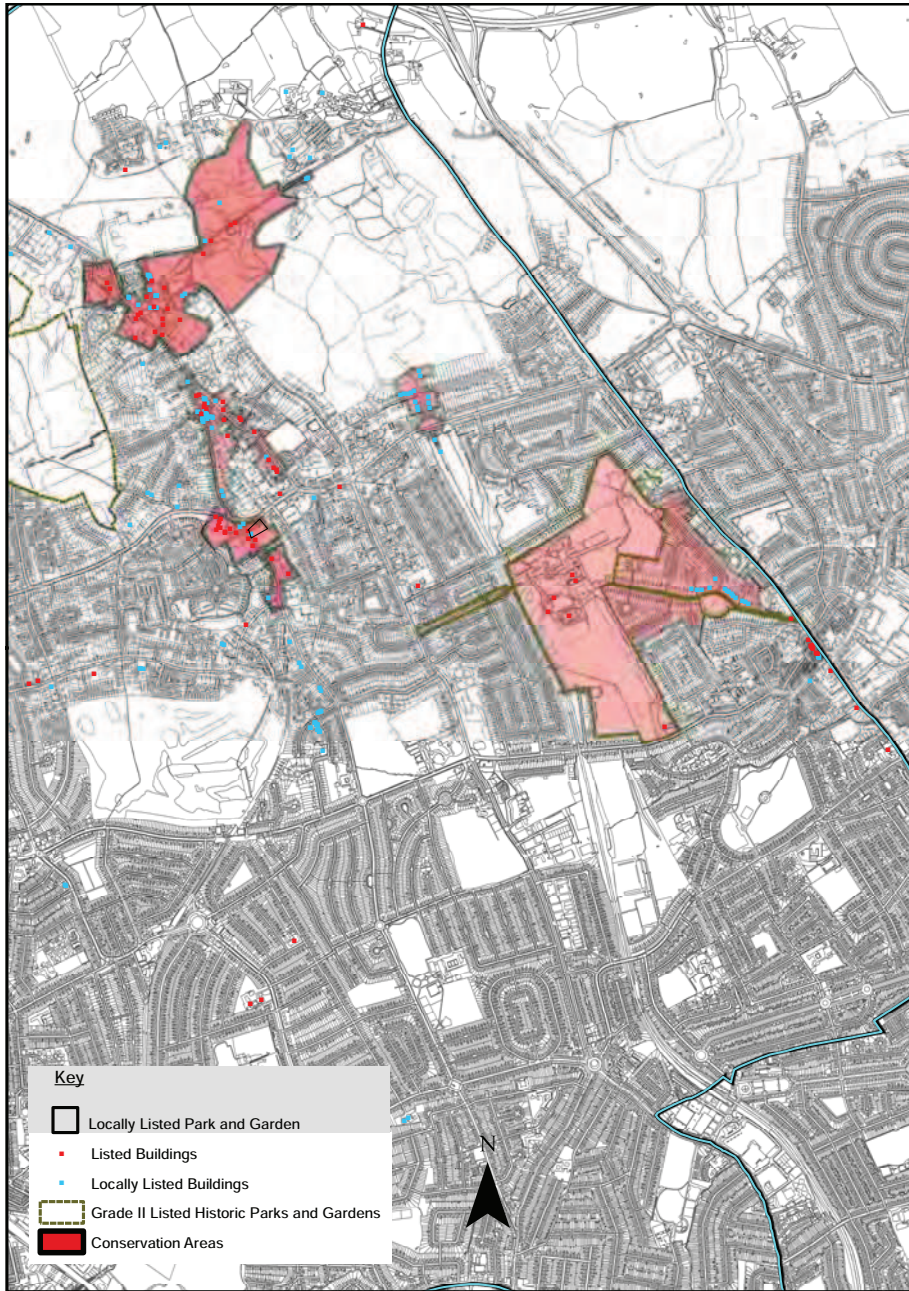
- Edgware Village (parts of and around Edgware High Street Conservation Area)
- The former medieval village of Great Stanmore (south of Old Church Lane Conservation Area)
- Possible site of Roman settlement of Sullonicae
- Medieval Stanmore

3.2.8 A further or amended APA is proposed within the Canons Park Conservation Area the details for which are provided in appendix 6.

3.2.9 Where development is proposed within an APA, English Heritage will require applicants to provide sufficient information to assess the archaeological implications of the development. Outside these areas, English Heritage can also ask applicants to provide archaeological assessments if they feel that below ground archaeology may be at risk.

- **Listed and Locally Listed Buildings and Parks and Gardens**

3.2.10 The high quality of architecture and landscaping contributes to the special interest of the Stanmore and Edgware conservation areas. There is generally a high proportion of listed and locally listed buildings within these conservation areas and there are both nationally listed and locally listed parks and gardens overlapping with the Stanmore and Edgware conservation areas. A listed building is one which is recognised as being of national architectural and historic interest whereas a locally listed building is one which is of local interest to a borough. The same applies to historic parks and gardens. The next map shows where they overlap with the Stanmore and Edgware conservation areas.

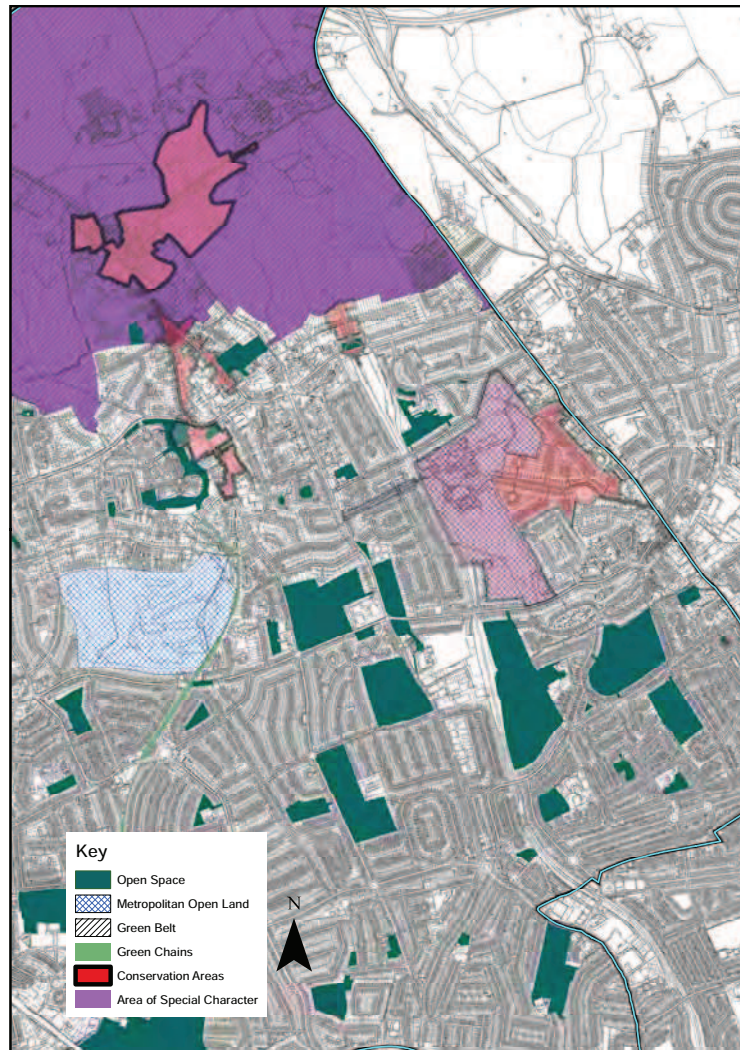


Picture 3.2 Listed and Locally Listed Buildings and Parks and Gardens. LBH LA. 100019206.2007

- **Greenery, trees, biodiversity, open spaces and landscape**

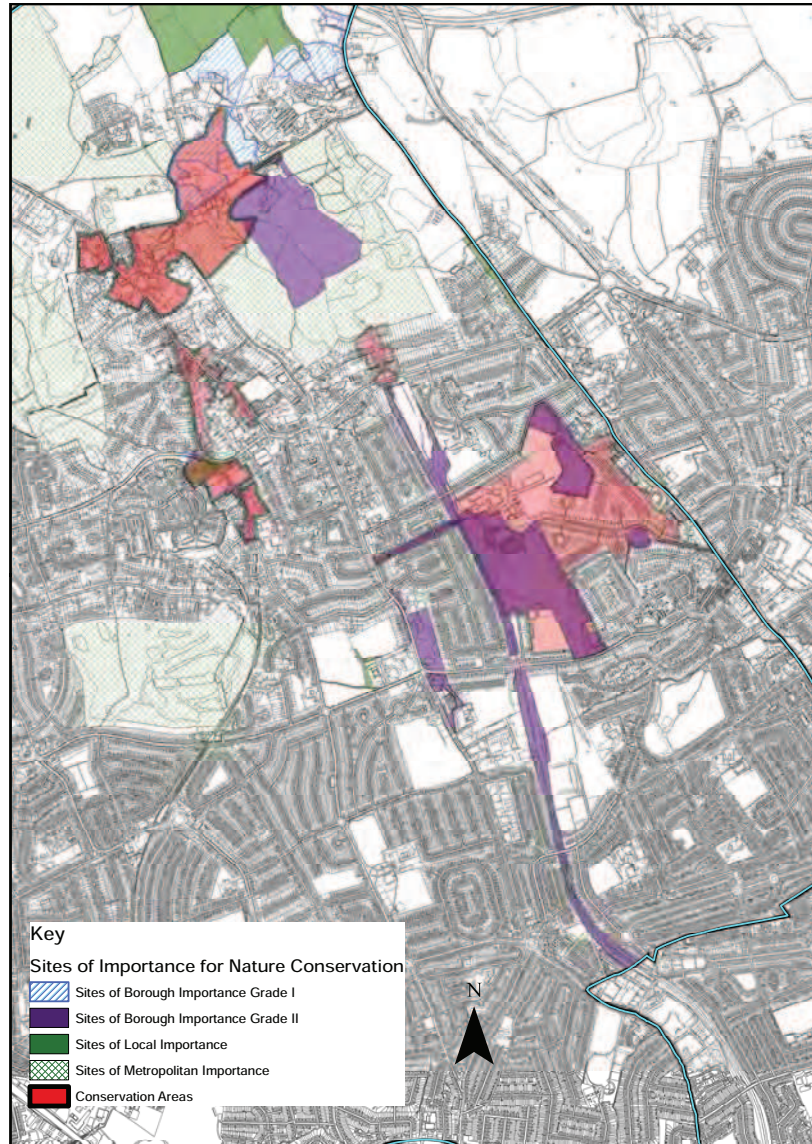
3.2.11

In terms of greenery, biodiversity, open spaces and landscape, the following designations affect Stanmore and Edgware conservation areas contributing to their interest in terms of presenting in places an open, green and semi-rural character: Green Belt, parks, Metropolitan Open Land, green chains, sites of significance for nature conservation and the Harrow Weald Ridge Area of Special Character (a local landscape/townscape designation). All of these are identified on the following two maps. Green chains are linear features containing biodiversity. These tend to include sites such as railway embankments and cuttings, roadside verges, canals, rivers and their surrounds, and often act as corridors linking wildlife sites.



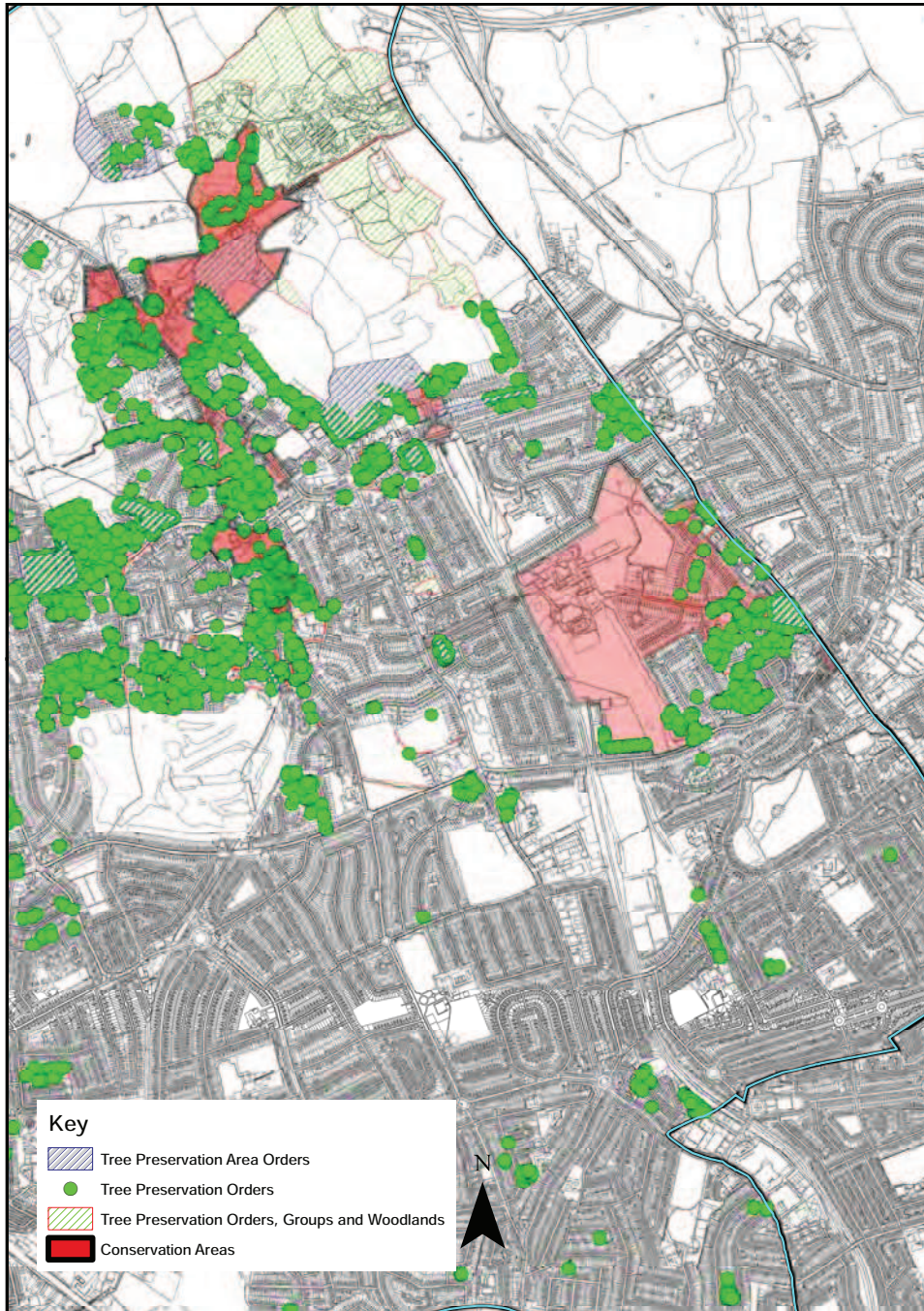
Picture 3.3 Designated Green Chains, Green Belt and Metropolitan Open Land. LBH LA100019206.2007

3.2.12 Sites of significance for nature conservation include sites of borough importance and sites of local importance for nature conservation. Sites that are important to the borough are graded: grade I which are the best, and grade II which, while containing important wildlife habitats, are not as intrinsically rich as grade I sites. Damage to sites such as this would mean a significant loss to the borough. A site of Local Importance is one which is, or may be, of particular value to nearby residents or schools. All open green spaces contribute to the biodiversity of the area though.



Picture 3.4 Sites of Importance for Nature Conservation.
LBH LA. 100019206.2007

3.2.13 All trees within conservation areas are protected, but some will still be afforded additional protection via a Tree Preservation Order (TPO). Stanmore and Edgware's tree clusters are highlighted on the next map.



Picture 3.5 Tree clusters. LBH LA. 100019206.2007

3.3 Setting

3.3.1 Setting often contributes to the architectural or historic interest of conservation areas, as it does in the case of the Stanmore and Edgware conservation areas, and as such development within the setting will be expected to respect the qualities and special interest of the conservation areas. Setting is defined in the National Planning Policy Framework as the surrounding in which a heritage asset is experienced. This can include, for example, usually land which obviously bounds the conservation area, but the setting may also include areas not immediately adjacent but areas further away that impact on views into or out of the area. Where the setting can be described as open space this is likely to offer protection to the conservation area and therefore

development may not always be appropriate in areas where this is the case. Open space forming the setting of conservation areas can often make a contribution to their historic significance and development in such areas may therefore be inappropriate. It is important to note that open spaces can refer to public and private spaces and therefore both front and rear garden land are usually relevant. Development is therefore expected to comply with English Heritage's guidance contained within their document entitled 'The Setting of Heritage Assets' published October 2011.

3.3.2 The key designations section above gives some indication of how designations in the setting of these conservation areas help contribute to their special interest. For example, in particular it is notable that the green, open spaces surrounding Little Common and Stanmore Hill conservation areas helps protect the special interest of these conservation areas which relates strongly to low and medium densities of development. Likewise, the green space to the north of Kerry Avenue conservation area is vital in preserving the character of the conservation area as one which has the feel of one that progresses from a suburban to rural feel. Given the boundaries of Edgware High Street conservation area are tightly drawn and there are other heritage assets very near e.g. listed and locally listed building, any development within its setting has the potential to have a strong impact on the special interest of this conservation area.

3.4 Views

3.4.1 There are many key views into, through and out of the Stanmore and Edgware conservation areas that contribute to their special interest. Key strategic views include views to Wembley from the top of Stanmore Hill Conservation Area (at the junction of Stanmore Hill and Green Lane) and long distance views towards London from just after Wood Farm Cottage on the southern side of Wood Land. Key views though are considered within each conservation area appraisal, which form the appendices to this SPD. These are not exhaustive but indicate the types of views that are important to each area. They therefore tend to be targeted towards buildings of architectural merit or areas of green open space or lakes. They also tend to be views available to the public but this does not preclude private views from having equal significance.

Section 4 Management of Stanmore and Edgware's Conservation Areas

4.1 Issues and Opportunities for Enhancement

4.1.1 The following table demonstrates key issues and opportunities for enhancement of Stanmore and Edgware's six conservation areas. These issues, along with other general issues facing the conservation areas, can broadly be described as environmental, economic and social and are discussed next. The individual CAAMS discuss issues facing each conservation area in more detail.

<p>Conservation area and size</p>	<p>(a) Designation date (b) Article 4 Direction yes/no (c) Number of statutorily listed building entries (each entry may contain more than one address. Addresses such as 27-31 High St, for example, may be listed as one entry) (d) Number of locally listed buildings</p>	<p>Key issues and opportunities for enhancement</p>
<p>Little Common</p>	<p>(a) Designated 1970 and extended in 1987 and 2002 and 2013</p> <p>(b) Yes</p>	<p>Occasional inappropriate extensions of intrusive bulk, scale or design</p> <p>Inappropriate modern materials for some alterations.</p> <p>Poor design, quality and siting of some street furniture.</p> <p>Traffic along Wood Lane.</p>
<p>Stanmore Hill</p>	<p>(a) Designated 1975, and extended in 1980, 1991 and 2002</p> <p>(b) Yes</p>	<p>Pressure for inappropriate extensions of an intrusive scale, bulk, type or design.</p> <p>Inappropriate alterations including loss of traditional materials and detailing.</p> <p>Pressure for shop front, signage and lighting alterations</p> <p>Opportunity to enhance some areas of open space</p> <p>Decay to historic brick walls and loss of boundary treatments</p> <p>Pressure for hardsurfacing of gardens and associated creation of driveway access points</p> <p>Clutter of street furniture and bins.</p> <p>Traffic along Green Lane.</p>

Conservation area and size	(a) Designation date (b) Article 4 Direction yes/no (c) Number of statutorily listed building entries (each entry may contain more than one address. Addresses such as 27-31 High St, for example, may be listed as one entry) (d) Number of locally listed buildings	Key issues and opportunities for enhancement
		Parking around the Abercorn
Old Church Lane	(a) Designated 1975 and extended in 1980, 1991, 1996, 2002 and 2013. (b) Yes	Vacant buildings putting their maintenance at risk. Poor condition of Bernays Park shelter. Some buildings would benefit from listing or local listing. Limited protection for some areas of green open space from possible hardsurfacing, Limited protection for some architectural features of interest from unsympathetic alteration or loss. Unsympathetic street lighting. Bowl of Water Fountain at the junction of Uxbridge Road could benefit from improved display.
Kerry Avenue	(a) Designated 1999 (b) Yes	Parking, particularly taxis, cluttering the area. Some of the buildings may be worthy of a higher designation. Demand to significantly extend properties which has the potential to compromise their heritage value. Loss of original features including original boundary treatments.

<p>Conservation area and size</p>	<p>(a) Designation date (b) Article 4 Direction yes/no (c) Number of statutorily listed building entries (each entry may contain more than one address. Addresses such as 27-31 High St, for example, may be listed as one entry) (d) Number of locally listed buildings</p>	<p>Key issues and opportunities for enhancement</p>
		<p>Pressure for hardsurfacing.</p> <p>Storage of bins in front gardens.</p> <p>Poor siting of air conditioning units and satellite dishes.</p> <p>Possibility to enhance street furniture.</p> <p>Ongoing streetside maintenance.</p>
<p>Edgware High Street</p>	<p>(a) Designated 1980 and extended in 1991</p> <p>(b) No</p>	<p>Potential to improve the appearance of the public realm e.g. via addressing shop front and signage, street clutter, road traffic, and possible enhancement/repair of grade II listed street furniture.</p> <p>Impact of modern developments outside Conservation Area is an important consideration.</p> <p>Demand for infill development.</p>
<p>Canons Park</p>	<p>(a) Designated 1990</p> <p>(b) Yes</p>	<p>Pressure for large extensions, particularly side extensions.</p> <p>Loss of good original features.</p>

- **Altering Existing Boundaries**

4.1.2 This table shows the conservation area boundaries are constantly under review. They are reconsidered in the appended CAAMS. This process is important as it has either reaffirmed existing boundaries and in the case of Old Church Lane and Little Common conservation areas has shown that the boundaries should be amended slightly to omit buildings of less interest and include those of interest. It has also indicated some decline in character on some streets via loss of features of interest e.g. in Kerry Avenue, Old Church Lane, Stanmore Hill and Canons Park conservation areas where there has not been sufficient protection in the form of Article 4 Directions and consequently there has been an accumulation of small scale changes. Therefore in these cases Article 4 directions are proposed.

- **Traffic, Parking and Stations**

4.1.3 Despite the availability of more major routes, Green Lane is sometimes treated as a rat run, inappropriately increasing the traffic speed in this minor road. Fast traffic speeds do not marry well with this road, especially as its special interest is derived from its soft, suburban character. Proposals to address this are due to be introduced in 2014 however. Wood Lane though can similarly be treated as a rat run.

4.1.4 On street parking serves the old village centre of Edgware High Street. The on street parking fronts onto the buildings, some spaces of which are necessary to help retain the area's vitality and to increase accessibility for all. The wide pavement in this area helps to allow for this to some extent but, the level of car parking on the High Street's pavement and the associated presence of bollards, for which there is no uniform approach, creates a cluttered and obstructed streetscape.

4.1.5 Car parks form part of the Stanmore Hill and Little Common Conservation Areas. Car parks can easily detract from a townscape and therefore rely heavily on well planted screening to mitigate against the effect of large expanses of hardsurfacing and on occasion in Little Common soft and permeable surfacing can be vital towards retaining the soft and semi-rural character of the area.

4.1.6 Parking in the Kerry Avenue conservation area has in the last few years caused the issue of street clutter detracting from key views and the character of the area. Similarly, at times parking around the Abercorn has been an issue from time to time.

4.1.7 Stanmore Station is an important part of the Kerry Avenue conservation area. It is a well-detailed and well-preserved building of considerable charm and so is locally listed for its special interest to the borough. It is one of a series of suburban stations built by CW Clark during the Metropolitan Railway's great inter-war extension phase, in an attractive vernacular style intended to evoke the rural heritage of the areas they served. It is well preserved externally, retaining its original multi-pane sash and casement windows, the doors to the first-floor flats and, unusually, a near-complete set of original shop-fronts and its booking hall is mostly intact, unusually retaining the original timber surrounds and shutters to the ticket windows. Also, the very existence of the Kerry Avenue Conservation Area owes itself to the extension of the Underground service to Stanmore Station in the 1930s and the symmetrical layout of the area, on the axis of the station, represents a very good example of the formal estate layout of the period.

4.1.8 Common issues that all stations face are how to make these more accessible to everyone. As an interesting historic station however, Stanmore Station has less flexibility as to how much change it can accommodate. To make stations compliant under the Disability Discrimination Act (DDA)1995 therefore by inserting tactile paving and lifts etc, or updating these to accommodate the lengths and widths of new trains puts pressure on heritage assets. There is usually an imaginative solution without having to detract from the existing building. A sensitive approach and respect for historic buildings is necessary for Stanmore Station where change is required to upgrade to make the station DDA compliant.

- **Small Scale Alterations and the Need for Protection Measures**

4.1.9 Pressure for development exists within every conservation area. Good design and the use of high quality materials are sought as part of the planning process but small scale alterations such as window or door replacement can often be changed without the benefit of this process. Such alterations to homes may not have the same impact as large-scale redevelopments, but cumulatively they can severely detract from the character and appearance of conservation areas. It is for this reason that protection measures have been adopted for a number of Stanmore and Edgware's conservation areas through Article 4 Directions, which remove household permitted development rights with a view to positively managing change.

4.1.10 Article 4 Directions can cover anything from changes to elevations, to boundary treatment and hardsurfacing of front gardens. If a conservation area is covered by such a direction this will be outlined in the relevant appraisal and the last table. Further Article 4 Directions are proposed for some of the conservation areas (see the appendices for details).

4.1.11 Small scale alterations to business premises can also have the same cumulative detrimental impact, although planning controls on commercial buildings are generally stricter. Planning permission is required for new shop fronts, and signage under advertisement regulations within Stanmore and Edgware's conservation areas.

- **Large Extensions and Demolition**

4.1.12 An adequate level of enforcement support is necessary to control unauthorised alterations and, at the same time, greater public awareness on what requires planning permission. This is particularly relevant for blocks of flats and businesses, where individual owners and/or occupiers may not be aware of how strict planning controls are.

4.1.13 Properties within the Green Belt tend to sit comfortably within large plots. As this is the case for Little Common conservation area, there is pressure to substantially enlarge homes here. However, the National Planning Policy Framework stresses that development within areas of Green Belt should be restricted to safeguard areas of green and open land. The extent to which dwellings in Little Common CA can be extended is therefore limited creating a linked pressure for part demolition and rebuild to allow for the reconfiguration of internal space to enlarge room sizes.

4.1.14 Demolition in conservation areas (in whole or in part) is protected by the planning process. Large extensions and demolition of entire front boundary walls need planning permission in conservation areas.

4.1.15 Buildings that are considered as making a positive contribution to the conservation area are identified with each appraisal. Alongside these, buildings that are considered to be neutral (i.e buildings that preserve the character of the area but are of no particular architectural merit) are outlined. If demolition is sought for a neutral building, or part of a neutral building, policy also dictates that demolition should not be granted unless the replacement enhances the conservation area.

- **Pressure for New Housing**

4.1.16 Although not as large as the plots of Little Common, other Stanmore and Edgware conservation areas tend to incorporate properties sited comfortably within gardens. These good sized gardens, in combination with the desirability of Stanmore and Edgware as a place to live, the need to meet government housing targets and the lack of obvious proposal sites, makes such areas highly sought after to the developer. Building on garden land however in a conservation area, or within its setting, has the potential to harm its character and appearance.

4.1.17 New housing development is unlikely to be suitable for open green space within Stanmore and Edgware conservation areas, especially its gardens as this could harm the character and appearance of the conservation area, especially in terms of its biodiversity and amenity.

- **Basements**

4.1.18 An increasing number of basements are being proposed throughout Harrow. This is a direct result of the lack of land and high land values, appealing to families by providing additional space without the burden of having to move. There are issues associated with this type of development however. Not only are concerns often raised about ground movement, impact on tree roots or the structural integrity of existing and neighbouring structures, but where railings, grilles or roof lights are proposed these can be visually disturbing to the conservation area. Therefore, this type of development is not always in keeping with the architectural character of historic buildings or garden settings. In addition, it is unlikely that subterranean development would be permitted where within the vicinity of a Scheduled Monument, and where within an APA the utmost care should be taken.

- **Backland Development in Town Centres**

4.1.19 Due to the food and drink outlets on Edgware High Street there is pressure for external flues and additional accommodation at the rear. These service areas are often forgotten and as a result can become cluttered with extensions. There is opportunity for Edgware High Street to be enhanced through the reconfiguration of numerous small scale accretions or through the removal of unused flues. This is considered within the management strategy for this area.

- **Pressure for Development in the Green Belt, Open Spaces or Within Sites of Importance for Nature Conservation**

4.1.20 Green Belt stretches across the north of the borough. There are numerous areas of Green Belt in Stanmore and these relate directly to the conservation areas or by affecting their setting. The areas incorporate Stanmore Common, Grove Fields, Cloisters Wood, Stanmore Country Park and Pear Wood. The majority of Little Common CA is covered by Green Belt, meaning that planning controls will be more stringent in relation to extensions (as mentioned in para 6.3.2.1) and especially to new development, which relies on very special circumstances. The National Planning Policy Framework provides guidance on what is and is not considered appropriate development within the Green Belt. The designation helps to preserve the openness between dwellings, and the surrounding open land helps to preserve the character of the area.

4.1.21 Stanmore Hill benefits from being partly within the green belt (towards the north-east of Stanmore Hill) and bounding the Green Belt. Kerry Avenue also benefits from bounding the Green Belt, providing open views from the north of Kerry Avenue. It helps to protect the areas in question by providing a buffer from surrounding development. The open setting provided by Green Belt in the case of Kerry Avenue contributes to the conservation area's garden suburb character.

4.1.22 Most park land has an open space designation. Open spaces do not necessarily have to be publicly accessible park land but can be treed areas, garden spaces, church yards/cemeteries, sports grounds, grass verges or lakes for example. Areas of open space are shown in the key designations section. The physical and aesthetic attributes of open space should not be underestimated. These areas aid views of the historic buildings within the conservation areas and create buffers from surrounding suburban development. The most notable of these, which directly affect the conservation areas, are the registered historic park and garden and Metropolitan Open Space within Canons Park CA, the locally listed Bernays Gardens, and the green spaces and lakes within Little Common CA. In addition, the leisure, environmental and aesthetic benefits of Canons Park are great. Significantly, there are also small areas of openness that are not designated as open space, but which are valuable in performing the same benefit, especially the small areas of openness which can be seen within Kerry Avenue, Old Church Lane, Stanmore Hill and Canons Park CAs such their grass verges.

4.1.23 All developments will be expected to incorporate appropriate elements of open space that make a positive contribution to and are integrated with the wider network.

- **Pressure to Hard Surface Front Gardens**

4.1.24 The continuing loss of front gardens is likely to be as a result of increasing car ownership, conversion of garages to living accommodation, off street parking pressures, changes in garden fashions and also the absence in some cultures of any garden tradition. There is often pressure to overly hardsurface front gardens, particularly in Kerry Avenue and Canons Park CAs, but also in Little Common, Stanmore Hill and Old Church Lane CAs. This often creates the feeling of a car park

in the front garden and detracts from the special soft landscaped character of these CAs. Article 4 directions therefore ensure hardsurfacing is managed in most of the front gardens and, where it is not in place, the introduction of such a direction will be considered where appropriate for others following careful survey and public consultation. It is important that front gardens remain apparent as such and so any hardsurfacing should be balanced with plentiful soft landscaping. There is a need for porous alternatives to impermeable materials and at least two thirds soft landscaping to soak up rainfall to reduce flooding, for the protection of building foundations, as well as to provide open spaces for pleasant townscapes. There are clear environmental benefits of such an approach.

4.1.25 Greater controls were introduced to the General Permitted Development Order (GPDO) in October 2008 which insists on the use of permeable surfaces. To assist in recognising what constitutes a permeable material, the department for Communities and Local Government (DCLG) has produced guidance on driveways. This can be found at:

- <http://www.communities.gov.uk/documents/planningandbuilding/pdf/pavingfrontgardens.pdf>
- **Uses of Buildings**

4.1.26 The predominantly single family dwelling house use of the Stanmore and Edgware conservation areas with the exception of Edgware High Street is important. For the residential estate in Canons Park this is particularly important as construction here was inspired by the garden suburb style. Such estates were designed as residential areas, deliberately omitting pubs and shops, and only allowing churches and schools within the development. As such Canons Park Estate relies on the district centre of Edgware High Street for goods and services. Although Edgware High Street is a different conservation area, it forms part of the setting of Canons Park and is historically linked as a district centre serving the houses. Therefore there is a significant connection between the conservation areas.

4.1.27 Although pressure for flat conversions within Stanmore and Edgware is relatively low at present, conversions of large single family dwelling houses could have a significant effect on the character and appearance of these conservation areas. Although the physical appearance of the original building may not substantially alter, its character and the character of the wider conservation area would change. The associated increase in car movements, fencing, bins and other features of flat conversions can also result in a detrimental impact. There is a presumption in favour of the retention of single family dwelling houses within these CAs. A separate SPD is currently being produced on conversions and will be available in due course as part of the emerging Local Plan.

4.1.28 Conversions of business properties from one use (e.g. retail) to another (e.g. restaurant) can affect the character and appearance of Stanmore and Edgware's conservation areas and is particularly pertinent to Edgware High Street and Stanmore Hill CAs.

- **Telecommunications Installations**

4.1.29 Stanmore Hill and Little Common CAs sit in elevated positions creating the potential for telecommunication demand here. The effectiveness of telecommunication signals varies throughout Harrow and therefore there is likely demand for telecommunication installations. The introduction of super-fast broadband has also caused requests for the installation of large equipment cabinets measuring 1.6m high. If not carefully sited and designed telecommunications equipment add to street clutter which can detract from the richness of a conservation area's architecture and spaces and therefore the potential to detract from its character and appearance is high. Proposals for telecommunication developments should be sympathetically designed and sited and will require careful consideration and discussion. Where telecommunication masts and boxes have already been sited, and where such positions would benefit from de-cluttering, the Council will work with the supplier to re-site the equipment to appropriate alternative locations.

4.1.30 The digital switchover has put additional pressure on the area for satellite dishes. These are required to be discreetly and sympathetically sited so as not to detract from the conservation area, and located in gardens if possible. On occasion Article 4 directions exist that require planning permission for the certain satellite dish installations that would usually not require such permission.

- **Redundant Buildings and Sites**

4.1.31 Whilst the quality of Stanmore and Edgware's environment is generally high, there are a few sites, structures and buildings the physical condition of which could be improved upon. Typically these comprise structures which are ancillary to a main building and/or which do not have a day to day use. In particular, there are several listed and locally listed walls that require repair within the Little Common and Stanmore Hill CAs and the war memorial within Edgware High Street CA would benefit from repair. Also, behind Spring Pond there is a former Scout Hut and Mission Hall that is vacant and Wood Farm Cottage and two outbuildings on Wood Lane that are disused and falling into disrepair. Where structures are vacant and lacking in heating and general maintenance they deteriorate. Encouraging better maintenance and new uses for such structures is an essential part of this SPD and associated CAMS.

4.1.32 The garages which form part of the Canons Park and Kerry Avenue CAs are not always used for their intended purpose but for storage, which creates additional pressures. Where garages still function for their intended use, these help to relieve parking pressures.

4.1.33 It is important to note that English Heritage's annual 'Heritage at Risk' Register lists statutory listed buildings and other nationally designated heritage at risk of neglect and decay. It has been used to highlight redundant buildings and sites within Stanmore and Edgware and could be used further. In addition, from 2012 SAVE Britain's heritage will publish a regular catalogue on buildings at risk (both listed and unlisted). The Council will consider putting items forward for this register too where appropriate to further highlight heritage at risk to help facilitate resolution of the issue.

- **Quality of the Stanmore and Edgware Environment**

4.1.34 Much of the public realm within Stanmore and Edgware is owned and managed by Harrow Council, but a significant proportion is in private ownership (such as parts of Kerry Avenue CA). There are improvements to the streetscape required in most of the conservation areas as outlined within the appendices of CAAMS. Priority should however be given to the town centre conservation area of Edgware High Street, especially around the War Memorial. Poor quality pavements and roads, and badly designed and sited street furniture can detract from the overall townscape. Works by statutory undertakers and general wear and tear has led to the degradation of the public realm in certain areas. The continued and appropriate maintenance of the area is therefore necessary, as is the appropriate improvement to amenities, such as an increase in benches or the provision, or upgrade, of play areas for children, for example in Canons Park CA.

4.1.35 Valuable areas of open space, such as Canons Park, Grove Field, Cloisters Wood and the open space to the north of Kerry Avenue provide biodiversity, wildlife habitat and also afford scenic views provided by the land. Smaller public areas also offer amenity benefits, particularly those within Canons Park and Little Common.

4.1.36 Important wildlife, such as bats, should be respected when considering development and lighting levels within open or garden areas.

- **Energy Efficiency and Climate Change**

4.1.37 With a growing awareness of sustainable development and the effects of climate change, in combination with increased fuel bills, there is an increased drive at both national and local level for places to become more energy efficient and environmentally friendly. More sustainable and efficient approaches to transport, energy, water and waste management, in response to climate change, concern is therefore encouraged. For example, water efficiency measures can often be retro-fitted to existing properties with little or no impact on the physical appearances of the conservation areas. Whilst these are positive objectives, there is potential for harm to be caused to Stanmore and Edgware's conservation areas, especially to traditional built fabric and to the way the building functions.

4.1.38 There is an increased pressure to adapt buildings to improve energy efficiency through the installation of micro generation equipment, which includes structures such as solar panels and wind turbines. This is likely to have a significant effect on the townscape and roofscape of Stanmore and Edgware's conservation areas and as such an Article 4 Direction that would require planning permission for all such elements will be considered for each conservation area. Even installations at the rear of properties could have an impact given the topography of some of Stanmore's higher ground and the public views of the backs of buildings. The sloping ground of Stanmore Hill and Kerry Avenue's Conservation Areas makes these most sensitive to the effects of microgeneration equipment.

4.1.39 Regard should be made though to the potential for district wide heating or cooling power schemes which might support the conservation areas by providing a renewable energy source that would eliminate the concerns that micro-generation technologies can present. However, the infrastructure that such schemes may necessitate could present a further development challenge in the areas. Likewise, climate change

adaptation infrastructure in the form of sustainable urban drainage systems or other forms of flood defence or waste management may also require additional infrastructure which would also require care to ensure this preserved the character of the conservation areas.

4.1.40 The Council has produced a Sustainable Building Design SPD to promote and ensure developments will be more efficient and sustainable.

- **Bins**

4.1.41 Another pressure is for increased waste recycling. The conversion of garages into habitable rooms and the loss of passageways between house and garage has meant more bins are stored in front gardens, particularly in Canons Park and Kerry Avenue CAs, which detract from the character and appearance of the area. Bin storage should therefore be considered as part of relevant planning applications to ensure these are concealed as far as possible from the streetscene. The sensitive placement of litter bins in the public realm is similarly important.

- **Pressure for Works to and Felling of Trees**

4.1.42 The trees within Stanmore and Edgware's conservation areas are extremely important as they make a significant contribution to their character and appearance. They comprise a mix of native and exotic species found within the open spaces, in private gardens and as street trees. Trees within the conservation areas are protected by virtue of the conservation area designation and there are numerous individual and area Tree Preservation Orders as well. Generally, trees within the conservation areas are well managed by their owners. The main areas of pressure are connected with providing off street parking where there is pressure to fell street and private trees to create car parking spaces or afford access to them, and for extensions or basements which creates pressure on tree roots.

- **Commercial Viability**

4.1.43 There are two district centres within the Stanmore and Edgware area: Stanmore (Church Road and the Broadway) and Edgware High Street. Both have a relationship with conservation areas by virtue of being part of a conservation area or by affecting its setting. Both have very different characters but are linked by having traditionally provided local convenience goods and services. 'Developing the capacity of District centres for convenience shopping is critical to ensure access to goods and services at the local level, particularly for people without access to cars' (London Plan Annex 1, para 3).

4.1.44 Edgware High Street is characterised by its commercial core. The vitality created here should be encouraged. Unfortunately unsympathetic poor quality and bulky shop fronts and signage undermines the potential quality of this conservation area. Elements such as traditional timber shopfronts, canopies and swan lighting should be further used to complement this types of historic high street. There has also been a growth in food and drink uses in recent years which has somewhat given Edgware High Street a new character and focus. There is likely to be further pressure on this

area for bars and restaurants with associated pressure for external flues and additional accommodation at the rear. The service area behind can become forgotten and as a result can become cluttered. Reconfiguration of numerous small scale accretions or removal of unused flues can be an enhancement.

- **Shopfronts**

4.1.45 There are pressures on the town centres for new shopfronts, particularly when uses change. Shopfronts are an important element in the townscape and the buildings of which they form part. New or altered shopfronts should be encouraged to be in keeping with the traditional building and conservation area character and refer to the Disability Discrimination Act to ensure that access is available to all. Historic shopfronts should be protected (including those along parts of Stanmore Hill CA) and in Edgware High Street where unsympathetic modern shopfronts form the overwhelming character, these should be replaced in the traditional style. A Shopfront Design Guide forms part of the CAAMS for Edgware High Street CA to help guide the most sympathetic alterations.

- **Employment Viability**

4.1.46 Stanmore and Edgware employs a number of people via the shops and offices within the area. Within the Conservation Areas, whilst small, Edgware High Street as a district centre has the highest concentration of employed people in shops and restaurants. There is a smaller group of commercial units along the upper reaches of Stanmore Hill CA which makes a positive contribution to the CA character and for which pressure to change to non-commercial units should be resisted. The North London Collegiate College is an important employer within the Canons Park Conservation Area. Good sized employers within the setting of the Canons Park and Edgware High Street CAs include the supermarket of Sainsbury's (The Broadway, Stanmore), various offices in the Stanmore centre (eg Norwood adjacent to Dennis Lane, and the offices above Stanmore Library), The Hive Football Academy, Camrose Avenue and the various businesses at Honeypot Lane industrial business park and at Ballard Mews and Spring Villas industrial/business use estates off Edgware Road. Just over the Harrow boundary, but within the setting of the Canons Park and Edgware High Street CAs are Edgware Hospital, the new large academy opposite Canons Corner, and the many businesses within Edgware town centre. Stanmore College is an important employer within the setting of the Old Church Lane CA, as is the Royal National Orthopaedic Hospital within the setting of the Little Common CA. The locally listed Bernays Memorial Hall at Stanmore Broadway also employs a number of people and is a valuable cultural resource for the Stanmore and Edgware area. Employees for all the above form an important part of the customer base for Stanmore and Edgware's shops and restaurants.

- **Tourism**

4.1.47 The conservation areas have both current and potential tourism benefits due to their concentration of buildings of architectural and historic interest. For example, the grade I listed Church of St Lawrence, Little Stanmore within the Canons Park Estate

CA forms one of the buildings open for the annual London 'Open House' event which aims to enable people to experience and learn about the capital's most interesting and significant architecture.

- **Crime and Fear of Crime**

4.1.48 Although Stanmore and Edgware can be regarded as a relatively safe area within the Harrow and London context, there is still public perception regarding the threat and fear of crime. The relative affluence of the conservation areas is likely to contribute to this. The physical layout of the Stanmore and Edgware CAs can exacerbate this situation with the quiet residential streets and large areas of open space. Canons Park is an example of an open space which can be subjected to elements of antisocial behaviour, such as littering and the setting of fires. There is danger that overly reactive measures could be implemented to safeguard security, and there are already examples within Stanmore of CCTV camera installations, and there is pressure for CCTV within Canons Park, large security gates at entrance to some residential properties/private estates and there is a security guard posted at the entrance to a private road within Little Common conservation area. Whilst crime and safety are important issues, the need to preserve and enhance the character and appearance of Stanmore and Edgware's conservation areas must not be lost through the provision of inappropriate and unsuitable security measures.

- **Health and Well Being**

4.1.49 The design quality of buildings, parks and streets to improve health and well being is important. Usable spaces that accommodate diverse needs and reinforce community identity through respect for historic context and heritage is critical. Bernays Memorial Hall is therefore a valuable asset in providing arts and culture to Stanmore and the wider borough.

4.1.50 Improved health and well being can be derived from proper management and maintenance of the built environment. By creating clean, safe and green public places and achieving sustainable development, through the efficient use of resources and adaptability to respond to future change, the quality of life in Stanmore and Edgware would be improved.

- **Education and Social Cohesion**

4.1.51 Promoting awareness and understanding of the conservation areas has significant potential to increase the enjoyment of these areas. Developing a sense of the background to the buildings within and their design quality can similarly improve social cohesion. This therefore highlights the importance of this SPD and any other measures with the potential to increase understanding of the conservation areas. This matter is considered further within the later section entitled 'Promotion Methods'.

4.2 Protection Measures

4.2.1 In addition to the management of development proposals, Harrow Council can implement a number of controls and regulations to preserve and enhance the character and appearance of the Stanmore and Edgware's conservation areas. These controls are normally connected with wider planning legislation and require public consultation before they are implemented. Such protection measures are discussed in the following paragraphs.

- **Article 4 Directions**

4.2.2 Small scale alterations to properties, such as replacement windows or the insertion of roof lights can have a cumulative harmful effect on the character and appearance of conservation areas. Harrow Council can implement Article 4 Directions to control such works under the General Permitted Development Order. There are two types of Article 4 Direction; Article 4(1) Directions require the approval of the Secretary of State and can cover all parts of a conservation area; Article 4(2) Directions can be implemented by the local planning authority without this approval, but this direction only controls elevations fronting onto a highway, waterway or open space. Article 4 Directions require householders to apply for planning permission for works that otherwise would not normally require consent. These are not designed to prevent change, but rather to ensure that alterations are carried out sympathetically.

4.2.3 All of Stanmore and Edgware's conservation areas are covered by some Article 4 Directions. There is scope to extend the coverage of Article 4 Directions to more of the conservation areas and to increase the amount of works that would require planning permission where it can be demonstrated that such controls would result in the preservation and enhancement Stanmore and Edgware's conservation areas. This is proposed for the following conservation areas in the form of new Article 4(2) Directions: Kerry Avenue, Stanmore Hill, Old Church Lane and Canons Park as outlined fully in the appendices of CAAMS to this SPD. This is subject to public consultation.

- **Areas of Special Advertising Control**

4.2.4 Certain forms of advertisements, such as internally illuminated signs, do not have deemed consent within conservation areas (as they would in other locations) and as such require advertisement consent to be obtained from the local planning authority. However, many other forms of advertisement within conservation areas can be installed without needing consent. This can have a detrimental impact within Stanmore and Edgware, particularly within the shopping areas of Edgware High Street and the group of shops along Stanmore Hill.

4.2.5 Under the Advertisement Regulations 1992 (as amended), local planning authorities can ask the Secretary of State to approve Areas of Special Advertising Control to restrain more obtrusive forms of advertisement in designated areas such as conservation areas. Approval will only be given if sufficient justification is made to the Secretary of State and adequate consultation is carried out with local businesses. There may be scope for such control within the conservation area of Edgware High

Street, which would help to preserve or enhance its character and appearance. Such control would be subject to research and analysis. Subject to adequate research, justification and consultation therefore, Harrow Council will ask the Secretary of State to confirm an Area or Areas of Special Advert Control within Stanmore and Edgware's conservation areas.

- **Enforcement Powers**

4.2.6 There are instances within Stanmore and Edgware's conservation areas of works or neglect that contravene planning legislation. Not all cases are deliberate and at times innocent mistakes can be made by landowners. The following sections discuss the different powers that the council has to deal with inappropriate development. Notably, English Heritage's recent expansion of its Heritage at Risk register to incorporate Conservation Areas at Risk should strongly support enforcement activity by the council.

4.2.7 Unauthorised development (i.e. development that should have obtained planning permission) can have a very negative impact on the character and appearance of Stanmore and Edgware's conservation areas. Where necessary, reports of unauthorised development will be investigated by Harrow Council's planning enforcement officers and appropriate action taken. As unlawful small scale development can impact hugely on the character and appearance of a conservation area. Conservation area related enforcement cases are prioritised for action above others. Such action will range from requesting a retrospective planning permission to the serving of an enforcement notice to secure the removal of works that are considered to have a detrimental impact. Due to the sensitive nature of enforcement complaints, these are kept anonymous and the cases are treated as strictly confidential.

4.2.8 Where possible, the council will monitor Stanmore and Edgware's conservation areas on a regular basis and note any unauthorised works. Within Article 4 Direction areas, frequent (3 yearly) photographic surveys will allow the council to maintain a snapshot of how properties look on a particular date, which can then assist enforcement investigations. Many unauthorised works are often on a small scale (such as replacement windows or fencing), but they can still have a significant harmful impact on the character and appearance of Stanmore and Edgware's conservation areas.

- Section 215 Notices

4.2.9 In addition to using enforcement powers against actual development, Harrow Council can also take action against land and properties that are suffering from neglect and dereliction. Under Section 215 of the 1990 Town and Country Planning Act, local planning authorities can require owners of derelict land and buildings to carry out repairs and improvements to improve the 'amenity' of the local area.

4.2.10 As part of the Section 215 process, the Council will initially try to negotiate with the landowner to bring about improvements, resorting to formal legal action if necessary. Harrow Council will need to be clear on exactly what requires improvement and will have to demonstrate that the current condition of any given site detracts from the amenity of the local area.

- Urgent Works Notices

4.2.11 Whilst Section 215 Notices can be effective and are relatively uncomplicated to apply, they have limited impact as can only apply to the exterior of a building or site and the surrounding land. There may be buildings that require more extensive repair to ensure that they are not lost altogether. Within conservation areas, it is possible to serve Urgent Works Notices on buildings to ensure that essential repairs are carried out to safeguard the structure. Such notices are broadly similar to powers that can be used on listed buildings, but they require approval from the Secretary of State before they can be served. Adequate justification would need to be made to obtain such approval and there are significant resource implications on the authority of so doing. Where appropriate, Harrow Council will use its planning enforcement powers to remedy breaches of planning control or take action against land and properties which are suffering from neglect.

4.3 Proactive measures

4.3.1 There are many proactive measures to help manage the Stanmore and Edgware conservation areas:

- **Development/Design Briefs**

4.3.2 Harrow Council can encourage the redevelopment of problem or unsightly sites within the conservation areas of Stanmore and Edgware by publishing development and design briefs. These briefs could clearly state how the local planning authority intended a particular site to be redeveloped, by assessing the surrounding context and outlining overarching design guidelines that would be expected to be followed by a developer. This is a more positive approach than the punitive enforcement powers described in the previous chapter and could result in significant improvements to Stanmore and Edgware's conservation areas, or within their setting.

- **External Funding**

4.3.3 Organisations such as the Heritage Lottery Fund and English Heritage can offer substantial financial assistance to enable the regeneration and enhancement of specific historic areas. The most recent example for Harrow was the Heritage Economic Regeneration Scheme (HERS) that resulted in a number of improvements to the streetscape and the shop fronts of local businesses on Harrow on the Hill. By improving the streetscene, such schemes often continue to benefit the townscape by encouraging more investment and care in the local area from the local community. Applications for grant-aid schemes relevant to Stanmore and Edgware's six conservation areas will be considered as and when necessary.

4.3.4 In addition to large grant schemes, there are smaller pots of money that can be utilised for small scale restoration projects. Other small grant bodies include the Harrow Heritage Trust, Heritage of London Trust, the John Lyon Trust and other specialist organisations, such as the War Memorials Trust.

4.3.5 Whilst Harrow Council will continue to seek to obtain grant aid, it will also support local residents, businesses and other organisations in obtaining funding, and help ensure that the communities are aware they can apply for funding. This may only be in the form of advice and supporting letters, but Harrow Council is committed to ensuring the enhancement of Stanmore and Edgware's conservation areas in all forms.

4.3.6 In addition to grant funding, the council can secure planning gain funds towards enhancements to conservation area. The Conservation Area Management Strategies set out opportunities for enhancement relevant to each conservation area and will be used as part of pre-application negotiations to secure the right level of contribution on a site by site basis.

- **Council-led Schemes**

4.3.7 Harrow Council conducts a number of capital programmes each year to bring about improvements to the physical environment of the borough. Public realm projects are led by Landscape, Highway, Traffic and Transport Teams in conjunction with the council's appointed contractors. Schemes can range from the repair of pavements to the implementation of traffic control measures. The Conservation Team will endeavour to influence and assist these projects where appropriate to ensure that the overall character and appearance of Stanmore and Edgware's conservation areas is preserved and enhanced.

- **Community Engagement**

4.3.8 There are numerous local groups and organisations with an interest in the preservation and enhancement of Stanmore and Edgware's conservation areas, in addition to the thousands of residents who live and work in Stanmore and Edgware. Engagement with local people and businesses is critical at all stages, whether it relates to the production of new character appraisals or the promotion of environmental improvements. Some of the principal organisations include the Stanmore Society, the Stanmore and Harrow Historical Society, Harrow Heritage Trust and the Conservation Area Advisory Committee. There are also numerous schools, residents associations and businesses. Community engagement can take many forms; it can include listening to the concerns of local people, holding specific workshops and exhibitions, or sending out letters and consultation leaflets. Engagement will follow the guidelines set out in Harrow Council's Statement of Community Involvement.

4.3.9 In addition to engagement at local level, it is important that regular and meaningful engagement is sought with statutory bodies, including English Heritage and national amenity societies such as the Twentieth Century Society and the Society for the Protection of Ancient Buildings (SPAB). English Heritage have set up the HELM initiative (Historic Environment - Local Management) to provide local authorities with

support and training on conservation matters. Notably, English Heritage's recent expansion of its Heritage at Risk Register to incorporate Conservation Areas at Risk should strongly support promotion and enhancement activities by the Borough by, among other things, helping to target grant funding appropriately. Sharing ideas and experiences with other councils and professional bodies will help Harrow Council to improve Stanmore and Edgware's conservation areas.

- **Tourism and Education Initiatives**

4.3.10 Stanmore and Edgware is known for its historic and architectural qualities. The borough's historic environment forms a key part of Harrow Council's Tourism Strategy, elements of which regularly feature on promotional documents and initiatives. There are walking tours of Stanmore and Edgware and numerous leaflets and books to aid visitors. Many buildings also take part in the annual Open House London event, further promoting Stanmore and Edgware as a visitor destination. The preservation and enhancement of Stanmore and Edgware's conservation areas is therefore crucial to maintain and improve this important tourism function.

4.3.11 Linked to tourism is an opportunity to create educational initiatives within Stanmore and Edgware that would benefit local schools and communities. Improving people's understanding and appreciation of Stanmore and Edgware's conservation areas will benefit everyone. An estate agents welcome pack could be developed with Stanmore Society and the Stanmore and Harrow Historical Society to better inform new residents about the conservation areas. There is further opportunity for the council to work with the Stanmore Society and the residents associations in the work that they do in caring for the heritage of Stanmore and Edgware for the benefit of all.

4.4 Monitoring Measures

4.4.1 The conservation areas require regular monitoring and therefore the following monitoring actions are proposed:

- Carry out a dated photo survey every three years.
- Refer unauthorised development to Planning Enforcement and ensure that action is taken where appropriate.
- Before new work is agreed in the area, ensure Conservation and Design carry out an on-site inspection.
- Create and maintain links with relevant stakeholders, property owners and interest groups for feedback on issues in the conservation area.

4.4.2 A set of indicators to identify which conservation areas are covered by an appraisal and which are covered by a management study, and also which of these are up to date, will be included each year within the Council's Annual Monitoring Report.

Section 5 Guidance for Homeowners and Potential Developers

5.0.1 The following overarching guidance notes will help ensure that development in Stanmore and Edgware conservation areas preserve their special interest. The first guidance note is general, referring to all development affecting the conservation areas and their settings.

Overarching guidance note i

- All development will be expected to respect the special character and layout of Stanmore and Edgware's conservation areas and their settings.

5.0.2 Guidance is otherwise grouped under four headings:

- **Maintaining townscape and built character**

Overarching guidance note ii

- To ensure Stanmore and Edgware's townscape and built character is preserved or enhanced, the following guidance is applicable:
 1. The demolition of buildings that make a positive contribution to Stanmore and Edgware's conservation areas should be discouraged.
 2. Encourage the retention of visually important boundary treatments.
 3. Development should ensure that views, as identified in the SPD and individual character appraisals, are not impeded either between buildings or into areas of open space.
 4. Development should respect the existing layout and historic form of the townscape and street scene, especially its building lines and heights, and not diminish the gap between buildings.
 5. Development should complement and respect existing properties and areas of open space in terms of bulk, scale and siting.
 6. Development should respect and harmonise with existing buildings in terms of design, siting, detailing, scale and materials.
 7. Development should retain original design features (as identified within the CAAMS), and where replacement is necessary the architectural detailing should closely match that of the original. Replacement features constructed of non-traditional materials will be discouraged.
 8. Development should ensure material alterations to buildings protect the appearance of elevations, including alterations to chimneys and rooflines.
 9. Microgeneration equipment should be carefully sited to protect streetscene views and historic built fabric.
 10. Air conditioning units should be carefully sited to protect streetscene views and historic built fabric.

- 5.0.3** Buildings and structures within Stanmore and Edgware's conservation areas form a vital part of their townscape character. This not only includes buildings but smaller features such as boundary walls which make a positive contribution to the local streetscene. Whilst the preservation of conservation areas does not prevent any change from occurring, a very strong justification would need to be made to demolish any building or structure that makes a positive contribution to its character and appearance. The individual conservation area character appraisals identify which buildings are considered to have a positive or neutral impact. In order to avoid gap sites within conservation areas following demolition, an acceptable replacement building/scheme would normally have to be agreed before consent was granted for demolition. In this case reference would also be made to NPPF, and in particular, its tests for harm and loss of significance.
- 5.0.4** While it is acknowledged that the street scene is the most important viewpoint, other, more private viewpoints can also positively contribute to the amenity of the area. This is particularly the case where backs of properties can be seen from public viewpoints due to the topography of the area. This guidance is therefore applicable to all elevations of development irrespective of whether they face onto public areas.
- 5.0.5** New development is defined as being any form of development, from small scale household alterations to larger extensions or whole new build. New development within Stanmore and Edgware's conservation areas is inevitable and need not be considered as universally negative. If handled correctly, new development can preserve the character, appearance and setting of Stanmore and Edgware's conservation areas and, in the right circumstances, lead to their enhancement. Proposals will be set against NPPF, which sets out the need to consider the desirability of preserving or enhancing the character or appearance of a conservation area, as well as its setting. They will also be considered against the CAAMS and will need to comply with policies in this SPD.
- 5.0.6** This SPD draws on the advice from the following guidance document which is considered particularly helpful. The CABE website for further reference is <http://www.cabe.org.uk>

Building in Context

- “Building in Context” (2001) is the published guidance document from English Heritage and the Commission for the Built Environment (CABE) which refers to achieving successful new development within historic areas. It should be referred to when considering new development within Stanmore and Edgware's conservation areas. The document states that the right approach to building in an historic area is for developers to first understand the context for any proposed development in great detail and relating the new work to its surroundings through an informed appraisal (often in the form of a Design & Access Statement). This does not imply that any one architectural approach is, by its nature, more likely to succeed than any other, and there is no one formula to fit all solutions. According to the document, successful development projects will:
 - relate well to the geography and history of the place and the lie of the land;
 - sit happily in the pattern of existing development and routes through and around it;

- respect important views;
- respect the scale of neighbouring buildings;
- use materials and building methods which are as high in quality as those used in existing buildings;
- create new views and juxtapositions which add to the variety and texture of the setting.

5.0.7 It is likely that sustainability measures will lead to an increase in proposals involving the installation of solar panels and wind turbines on properties within conservation areas. If well designed and carefully integrated, these measures should be able to be accommodated without detriment to the character of the conservation area.

5.0.8 English Heritage has a range of guidance on the different considerations involved in the use of micro-generation technologies in conservation areas which can be accessed on their Historic Environment: Local management (HELM) website by entering energy efficiency into the search engine in the English Heritage section of the Guidance Library at www.helm.org.uk.

5.0.9 The importance of undertaking basic energy efficiency works prior to opting for the installation of micro-generation equipment should be encouraged. Such works include appropriate loft and wall insulation and draught proofing.

5.0.10 The installation of air conditioning units can be visually obtrusive. Therefore it is important that these are only installed where they are carefully sited and integrated so they can be accommodated without detriment to the character of the conservation areas.

- **Maintaining greenery and open spaces**

Overarching guidance note iii

- To ensure that the soft and open character of the conservation areas and their setting is both preserved and enhanced, the Council will:
 1. Encourage the retention and improvement of both public and private green spaces, including trees and hedgerows.
 2. Discourage the removal of grass verges and green open land.
 3. Discourage development on existing areas of open land that have been defined as contributing to the character of the conservation area.
 4. Further protect trees, and groups of private trees, by creating additional tree preservation orders where appropriate.
 5. Discourage development that adversely affects significant trees or is likely to lead to pressure for excessive pruning or felling.
 6. Seek to retain, or where necessary, replace street trees.

5.0.11 Works affecting the green and open spaces within Stanmore and Edgware need to be carefully considered to avoid detracting from the character and appearance of the conservation areas, or their setting. This applies to both hard and soft landscaping

in the streetscene. Private spaces such as front and rear gardens are also included as they contribute to the overall feel of the area. Works to the public realm and green spaces will require negotiations between various departments within Harrow Council, as well as private landowners, statutory bodies and local residents.

5.0.12 Trees make a significant contribution to Stanmore and Edgware and are protected by virtue of being within conservation areas. Therefore Tree Preservation Orders (TPOs) are usually only created within conservation areas where a clear need arises, such as:

- there is a threat of development; or
- the tree is badly managed; or
- there is a change of ownership of the tree, which can often lead to pressure for works

- **Protecting Stanmore and Edgware's archaeology**

Overarching guidance note iv

1. Harrow Council recognises the archaeological importance of Stanmore and Edgware's conservation areas and their settings, and will help to protect these by continuing to consult with English Heritage to ensure the appropriate action or work, such as surveys are carried out before development commences.
2. Where appropriate, and in discussion with English Heritage, the existing Archaeological Priority Areas will be revised, and/or new Archaeological Priority Areas created, to safeguard Stanmore and Edgware's archaeological remains.

5.0.13 Substantial parts of the conservation areas are covered by Archaeological Priority Areas (APAs), especially Edgware High Street CA. Although archaeological remains are not always visible above ground, they represent a finite and important resource and record of Stanmore and Edgware's history. Development proposals can damage or destroy these remains and require careful monitoring and mitigation measures to avoid or limit damage. Within existing APAs, any development proposal that could disturb archaeological remains requires consultation with Greater London Archaeological Advisory Service (GLAAS) at English Heritage. Even outside an APA, the Council can chose to consult with GLAAS if it is felt that there may be archaeological issues. The Greater London Sites and Monument Record (GLSMR) can also be consulted to identify whether there is likely to be any archaeological or historic interest within any given site in Stanmore and Edgware. The NPPF would need to be referred to as part of any proposal that could potentially affect the area's archaeology.

5.0.14 The existing APAs allow the Council to identify circumstances where development proposals may detrimentally affect archaeological remains in Stanmore and Edgware.

5.0.15 Pear Wood linear earthworks, Brockley Hill Romano-British pottery and settlement and an 18th century obelisk are Scheduled Monuments and constitute an important part of Stanmore and Edgware's heritage. It is therefore essential that they are preserved for future generations. Current threats relate to bracken on the site damaging Pear Wood, arable ploughing/potential redevelopment affecting Brockley Hill Romano-British pottery and scrub/tree growth masking the 18th century obelisk and making it vulnerable to tree/branch damage.

5.0.16 The scheduling of a monument means that permission is required for works to the monument. This consent is termed 'Scheduled Monument Consent'. All activities that will change the site above or below ground need consent. For example, activities that would need this consent include construction, demolition, removal of earth, repairs, any alteration, and tipping. Normal agricultural or domestic gardening works would not usually be affected by this designation, for example, weeding. However consent is necessary for deeper excavations (300 mm or more) such as might be required for swimming pools or tree planting. It is a criminal offence to use metal detecting on a Scheduled Monument.

- **Protecting Stanmore and Edgware's streetscene**

Overarching guidance note v

To limit Stanmore and Edgware's conservation areas from visually and physically obtrusive street clutter, the council will ensure that the character of the street scene is both preserved and enhanced by reference to the following guidance:

1. Refer to existing policy on tall structures where telecommunications or wind mills are proposed.
2. Encourage utility companies to install the minimum amount of new and replacement street furniture and to locate this sensitively in suitable locations.
3. Encourage the retention, or reinstatement, of traditionally designed street furniture and materials, such as street lamps.
4. Encourage street furniture to be well sited and designed. Redundant and unsightly street furniture and signage will be removed where opportunities occur.
5. The retention of original floorscapes, such as stone pavers or granite kerbs, will be encouraged.
6. Wherever practicable, replacement floorscapes will be encouraged to be of traditional materials.

5.0.17 When assessing proposals for telecommunication developments and other tall structures, such as wind turbines, utility poles or lampposts, the preservation of the conservation area should be considered. The design and height of such tall structures could harm the appearance of the area or serve to clutter the streetscene. Where possible streetscene clutter should be avoided and reduced in number or consolidated. For example, certain signage could be removed where it is not essential to public safety. The following guidance is relevant:

- 5.0.18** It is likely that Harrow Council will want to alter the floorscapes in Stanmore and Edgware's conservation areas. If materials are sympathetic to the area and traditional floorscapes are retained, these measures should be able to be accommodated without detriment to the character of the conservation area.

Section 6 Appendices

- 6.0.1** This SPD has so far provided overarching guidance for Stanmore and Edgware's six conservation areas. The following six Conservation Area Appraisal and Management Strategies (CAAMS) provide specific guidance to explain the special interest of each of these conservation areas in turn and to help help preserve and enhance them.

Little Common

Conservation Area Appraisal & Management Strategy



December 2013

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1.1 Introduction to the Conservation Area

1.1.1 Introduction

1.1 Little Common Conservation Area (CA) comprises high quality, often historic architecture. In the core area by the Common (originally manorial wasteland ie common land), cottages developed in a piecemeal fashion in the 17th century. The remnants of these within later remodelled houses probably form the nucleus of today's settlement. But large listed houses set within extensive grounds, their boundaries frequently marked by high walls, are a fundamental characteristic of the area. These developed in the 18th and 19th centuries e.g. Stanmore Hall and Springbok House and remain today albeit subdivided or their use changed. These helped to shape the character of the area further as smaller scale houses developed as accommodation for servants working at these large houses. Additional development within the area relates to the former brewery (Clutterbucks) which brought an industrial element and the need for small workers' houses. Growing traffic along Stanmore Hill once this became a main route between London and the Midlands also increased the number of smaller scale houses.

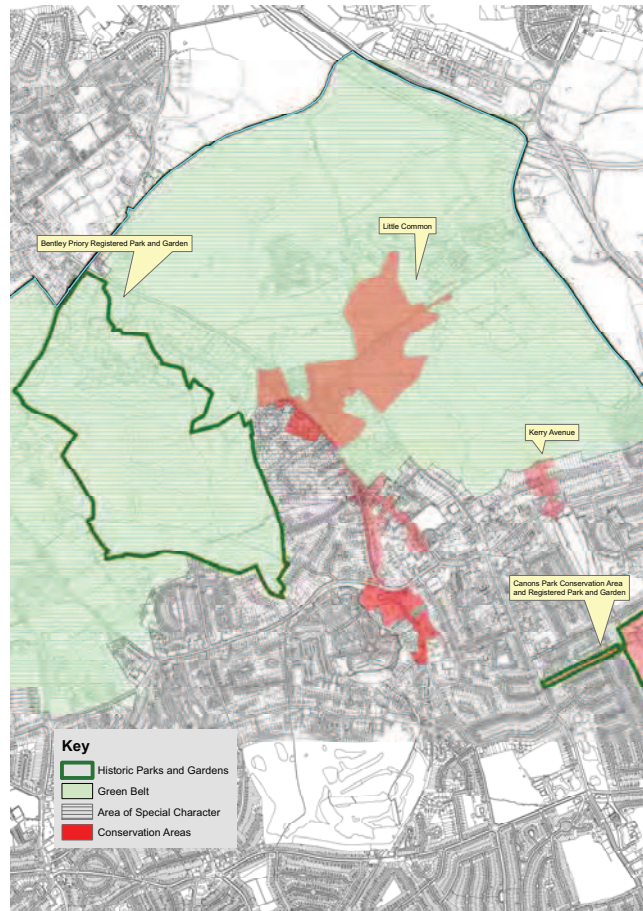
1.2 Whereas the principal road, Stanmore Hill is formed of a medium density of development and is fairly urban, in contrast, the remainder is characterised by lower density development and a more rural and peaceful air. Most CA buildings are set amongst plenty of public and private greenery softening their setting. Notably, the trees and open spaces are an overriding feature as they surround and interact with the attractive groups of buildings, imparting much of the special landscape and qualities of the area. These are largely provided by Stanmore Common, but the special landscape qualities also include picturesque ponds. Significantly, the name of the CA relates to a remnant of greenery that was separated from the main part of Stanmore Common in 1637, as one acre of land on the Common was enclosed to be 'made fit for the use of bowling and so kept'. The Bowling Green is where the playing fields are now.

1.3 The Little Common CA is one of six CAs designated in Stanmore and Edgware. It encompasses the higher section of Stanmore Hill, Little Common itself and parts of Aylmer Drive, Wood Lane, and Warren Lane that radiate out of the settlement.

Little Common Conservation Area includes the following roads:

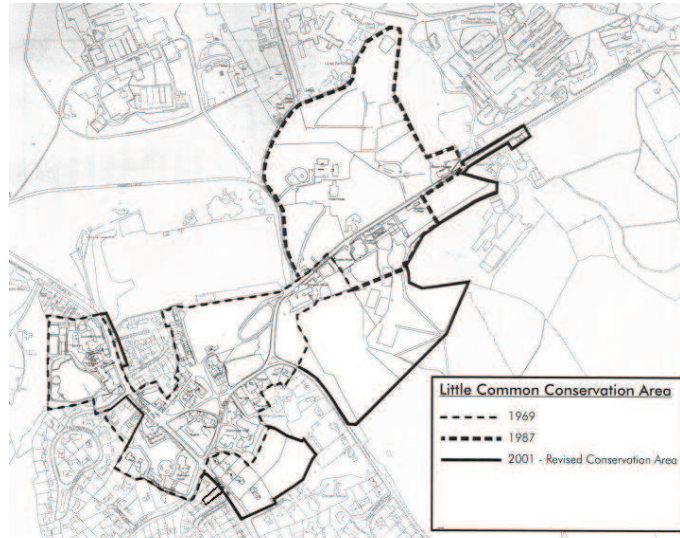
Aylmer Close, Aylmer Drive (in part), Dennis Lane (in part), Fallowfield (in part), Little Common (in part), Stanmore Hill (in part), Park Lane, Warren Lane (in part), Wood Lane (in part)

1.4 Little Common CA is situated in the north-east of the Borough, north of Stanmore Hill CA which includes the southern reaches of Stanmore Hill. Its setting in relation to other CAs, an Area of Special Character, a Historic Park and Garden and Green Belt Land is shown on the following two maps.



Picture 1.1 Little Common CA in relation to other designations © Crown copyright. All rights reserved 100019206, 2010

1.5 Little Common CA was first designated in 1969 and was later extended in 1987 to include more of Wood Lane and again in 2003 to include additional land on Wood Lane, Stanmore Hill and the rest of Stanmore Hall's gardens. On Stanmore Hill the Fallowfield Court and Broomfield House flats were removed, whilst their forecourt and trees are retained within the CA. They may have been included in the CA as they were built on the site of and have the same name as Broomfield, a mid 19th century house designed by James Knowles, which was later demolished. The flats were built in the 1950s and 60s, are not of any special architectural merit and make no positive contribution to the character or appearance of the CA. In the event of their redevelopment, the impact of proposals on the setting of the CA would be a material consideration and would allow for the character and appearance of the CA to be taken into account. The following map shows the past boundaries of the CA from 1969 to 2012. In December 2012 the boundary was changed to amended to omit number 153 and include number 147 Stanmore Hill.



Picture 1.2 Past boundaries of Little Common Conservation area (up to 2012) © Crown copyright. All rights reserved 100019206, 2010

1.1.2 Planning Policy Context

1.6 Section 69 of the Planning (Listed Building and Conservation Areas) Act 1990 requires local authorities to determine those areas the environment of which is considered worthy of preservation and enhancement and to make these CAs. A CA is defined as an area of special architectural or historic interest, the character or appearance of which it is desirable to preserve or enhance. Local Authorities are further obliged to formulate guidance and proposals for the preservation and enhancement of these CAs, and to pay due regard to the views of the residents and public in the formulation of guidance and proposals. These principles are reinforced by the National Planning Policy Framework. The purpose of this Conservation Area Appraisal and Management Strategy (CAAMS) is to provide clear analysis of the architectural importance, character and appearance of the area, to help form the basis for making sustainable decisions about the area's future. It also identifies opportunities for enhancement along with guidance to protect the area's character.

1.7 It was subject to public consultation and in December 2013 superseded the Little Common Conservation Area Appraisal Policy Statement which was adopted October 2003. This document required updating to reflect the area's changes. It carries weight as a material planning consideration for assessing all development proposals. This CAAMS forms an appendix to the Stanmore and Edgware Conservation Areas SPD. It is set within the broader context of CA policy guidance for Harrow contained within the Local Plan. It is also set within the National Planning Policy Framework particularly pages 30-32. It is important to note that: **no appraisal can be completely comprehensive and that the omission of a particular building, feature or open space should not be taken to imply that it is of little or no interest.**

1.1.3 Summary of Special Interest

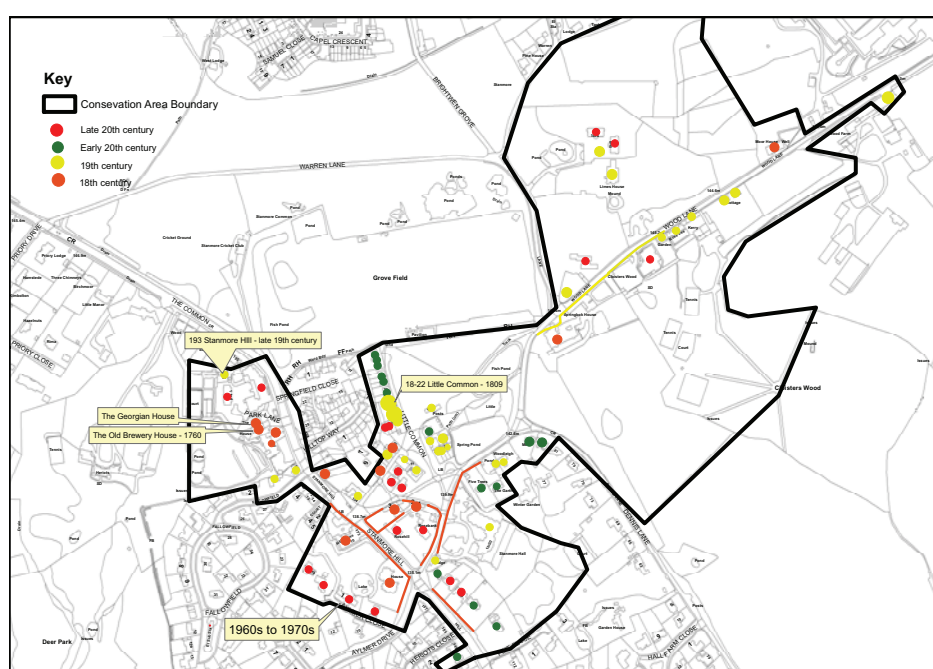
1.8 Little Common CA derives much of its special character from its particular mix of high quality, period properties, a high proportion of which are statutorily and locally listed. There are some very large listed buildings set within extensive grounds, such as Stanmore Hall and Springbok House, as well as smaller scale houses built as accommodation for servants who worked there, and a Georgian former brewery which once brought an industrial element to the area. There is very high quality public and private open spaces and greenery, which lends a special soft, informal and, in some places, semi-rural ambience. The trees and open spaces provided by Stanmore Common and the picturesque ponds, surround and interact with attractive building groups in Little Common, imparting much of the special landscape and CA qualities. Tall walls marking the boundary of historic estates form another overriding attribute, as does the use of high quality traditional materials and the predominantly single family dwelling house use of the buildings which imparts a low intensity character. The interesting histories attached to many of the buildings is significant. Similarly, adding to the area's importance is the range of key views towards landmark buildings, the architectural qualities and across open greenery, sometimes towards London, and the density of development which ranges from low to medium depending on location. It is the delicate balance of the above factors that achieves the area's special character that is both distinctive and attractive

1.9 Despite special interest being formed by these overriding factors, the CA's character varies from one part to another adding interest. The principal road, Stanmore Hill, for example, is more densely built and urban whilst other areas have a more rural, peaceful air.

1.1.4 Short History

• Introduction

1.10 The following paragraphs outline the area's historical development. The next map shows ages of buildings (age shown refers to the earliest known part).



Picture 1.3 Age of Buildings © Crown copyright. All rights reserved 100019206, 2010

- **Early History of the Local Area**

1.11 The name Stanmore, means ‘stony mere’ or pool, and is first mentioned in 793 when the King of Mercia, Offa, granted lands including those in Stanmore, to the Abbey of St Albans. Entries in the Domesday survey refer to manors called Stanmere, owned by Robert Count of Mortain (William the Conqueror’s half brother and landowner) and Stanmera owned by Roger de Rames. The Count of Mortain’s lands later became Great Stanmore whilst Stanmera became Little Stanmore.

1.12 Originally Stanmore was sub-divided into two manors; Great and Little Stanmore. Great Stanmore included the area now within Little Common CA (there was a cluster of houses up the hill by the Common), as well as areas of land now within Stanmore Hill CA and Old Church Lane CA.

1.13 The Domesday Survey records that Stanmore was heavily wooded. The large area of common land at the top of Stanmore Hill was probably denuded of trees by overgrazing and felling oak for timber. By 1754 when Roque published his map of Middlesex, only selected small wooded areas, comprising Pear Wood, Cloisters Wood and the grounds of the Orthopaedic Hospital remained.



Picture 1.4 Roques Map of Middlesex, 1754 showing Stanmore Hill and Little Common © Crown copyright. All rights reserved 100019206, 2010

1.14 After the dissolution of the monasteries in 1536, the manors of Stanmore reverted to the Crown and were sold off the enterprising landowners – Jeffery Chamber took out leases on areas of Great Stanmore. Court Rolls show that by the 1580s, locals had begun to erect houses on the wasteland, which was owned by the Lord of the Manor. These encroachments were frequently

permitted to stay and rarely ordered to be pulled down. It may be that many of these early houses were “squatter’s dwellings”, whereby if a house was erected overnight then the occupants could claim rights to that plot on the common land. These houses were not well built and are unlikely to have survived, but remnants may exist within later remodelled houses in Little Common. A number of cottages built on the Common in the 17th century probably form the nucleus of the settlement seen today.

- **Patterns of Growth - 17th Century**

1.15 In 1637 one acre of land on the Common was enclosed to be ‘made fit for the use of bowling and so kept’. A remnant was thereby separated from the main part of Stanmore Common by the Bowling Green (where the playing fields are now), and this is probably how Little Common got its name.

1.16 The ponds were obviously important in the development of a settlement here. The Spring Pond is named in the Manor Court rolls in July 1776 when two inhabitants were fined for “digging holes in or near the King’s highway upon the Lord’s waste near the Spring Pond to the great damage of the Spring”.

1.17 In 1696 the Manor of Stanmore, which had been held by the Lake family, was passed to James Brydges, Duke of Chandos, through his marriage to Mary Lake. Brydges built himself a mansion at Canons. In 1718 he created a new road to the north of Canons which made Stanmore Hill into a main road. Those travelling from Watford now descended Stanmore Hill before joining the Uxbridge or London Roads. After this re-routing of traffic, settlement increased on Stanmore Hill and around Little Common.

- **Patterns of Growth - 18th Century to Early 20th Century**



Picture 1.5 Historical map - 1864-1894
 © Crown copyright. All rights reserved
 100019206, 2010



Picture 1.6 Historical map - 1896 ©
 Crown copyright. All rights reserved
 100019206, 2010



Picture 1.7 Historical map - 1913 - 1914
© Crown copyright. All rights reserved
100019206, 2010



Picture 1.8 Historical map - 1932 - 1941
© Crown copyright. All rights reserved
100019206, 2010

1.18 From the 18th century, Stanmore Hill became a major through-route as shown by the establishment of public houses and hotels, such as the Abercorn Arms (within the Stanmore Hill CA). The Vine along Stanmore Hill was built c.1840, but an earlier public house on the site was licensed by 1751 and would have served the passing trade. A tollhouse was also erected close to the Vine but is no longer in place. It was probably one of the new tollhouses erected after several turnpike trusts around London were consolidated into the Metropolis roads in 1826.



Picture 1.9 Illustration of the tollhouse, Stanmore Hill from Hove's "Everyday Book" of 1838

1.19 The creation of a brewery at the top of Stanmore Hill would have been linked to the good communications offered by the road. The former Clutterbucks Brewery comprises extensive 18th and 19th century brewing premises. Thomas Clutterbuck appears in the Great Stanmore court rolls in 1749 and the last lords of the manor were the Clutterbucks, until manorial rights were extinguished in 1935. Again houses for workers would have been required since, with a workforce of 30 in 1851, the brewery was the largest single local employer. Just outside the CA, two brewery ponds on the edge of the cricket ground were formed in the late 19th or early 20th century to supply the brewery. Brewing ceased in the late 1920s but the site continued in an industrial use and still with a large workforce when H Pattison and Co, manufacturers of golf equipment, acquired it. They ran their business there until in 1988 the site was sold off for residential use with the former grain store being demolished and the other buildings converted into flats.

1.20 The large estates in Little Common, such as Stanmore Hall, Hill House and Springbok House have had an important part in shaping the landscape. James Brydges owned or built the Warren House, the Dower House and the Bowling Green House. In 1780 James Forbes purchased part of the estates of the second Duke of Chandos, which included Warren House, Cloisters Wood and the Dower House. After passing through various hands, the Dower House was demolished in about 1850 and the new owner, Matthew John Rhodes set about building what is now the most visually dominant building in Little Common, Stanmore Hall, in its place. Built in 1843 by John Macduff Derick and extended in 1890 by Brightwell Binyon with important internal work by William Morris and Co, Stanmore Hall is a splendid gothic creation set in extensive grounds, and now subdivided into luxury apartments.

1.21 The Warren House, now Springbok House, was also acquired from the Duke of Chandos by Forbes. Warren House was originally a small-scale cottage for the warrener, a person who managed the woodlands, manorial administration, protected rabbits, impounded cattle that strayed onto the Lord's land, charged for wood that was cut down and was a general bailiff. The Warren House however developed into a large rambling house in the 18th century. After Forbes's death in 1815 the house changed hands several times. A plan accompanying a sale in 1842 shows pleasure grounds with a lake and Mr Forbes's octagonal temple, and in between the stable yard and house was a kitchen garden. The main entrance to the house was from Stanmore Hill. By 1827 the house was in the ownership of Sir Robert Smirke, later to be the architect of the British Museum and Kings College, who altered the house considerably, including the addition of the porte cochere. The house is now an Islamic centre.

1.22 Another house that has shaped the layout of later development was Aylwards. It was one of the old head tenements of the manor of Gt. Stanmore and was a yeoman's house in the 16/17th centuries. It had belonged to the Norwoods and was passed to William Boys in 1711. John Boys was the first owner of the adjacent house, Hill House, and it is possible that he built Hill House out of land he had carved off from Aylwards. The house was later owned by two of the important families in Little Common's history; Mr Hollond of Stanmore Hall and in 1888 Peter Clutterbuck of the brewery. Aylwards was demolished some time after 1934 and Aylmer Drive now occupies its former driveway whilst Aylwards Close is on the site of the house and gardens. The boundaries of these estates are frequently marked by high walls, which are one of the most important characteristics of the area.

1.23 Nearly 4 and a half acres of manorial waste, the Spring Pond, reservoir and adjacent ground were granted to the rector and Churchwardens of Great Stanmore in trust for the parishioners in October 1846 "for the purpose of supplying the inhabitants with water". There was a proviso that the land be left unenclosed to allow the neighbouring inhabitants to "dry their clothes and for other such-like purposes as they have heretofore been accustomed to enjoy the same piece of waste". The area was later conveyed from the Rector to the Parish Council in 1914.

1.24 By the end of the 19th century, numbers of livestock on the Common had dwindled and so trees began to grow back. The naturalist and writer, Eliza Brightwen, who lived at the Grove in Little Common wrote in 1904: "in the course of the last 25 years we have exchanged our sweep of furze for a clustering of birch woods" (from "Quiet Hours with Nature"). There was a serious fire on the Common in the 1920s that destroyed much of the woodlands, but these have since returned.

- **Patterns of Growth - 1930s to the Present Day**

1.25 Areas of the extensive grounds to Warren House were sold off to create the Warren House estate. In 1937 most of the grounds including Cloisters Wood were purchased by Harrow Council as Green Belt and public open space thus ensuring that the open, treed nature so essential to the character of this part of Little Common CA would be retained.

1.26 In the 1930s many new houses were developed on the former land of the large estates, for example along Stanmore Hill, and 1930s and later development exists along Aylmer Drive. Aylmer Close contains modern, 1960s architect designed houses, one of which is listed. Many of the new buildings benefit from the landscaping and mature trees associated with the original estates.

1.27 Modern development is situated around much of the edge of the CA, such as Fallowfield Court and Hilltop way. Apart from the blocks of housing on the green by The Vine and approaching Grove Field, there has not been much new modern housing in the core of the conservation area helping to retain its historic integrity.

1.1.5 Archaeology and geology

1.28 Archaeology and geology for this CA is considered in the overarching document entitled, Stanmore and Edgware Conservation Areas Supplementary Planning Document, in consultation with English Heritage.

1.2 The Character of the Conservation Area Today

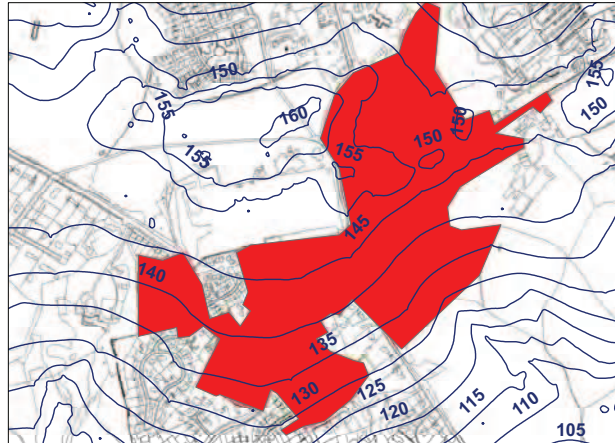
1.2.1 Density of Development, Topography and Plan Form

1.29 There are a small number of areas within this CA where there are relatively medium densities of development, namely along parts of Stanmore Hill and the small areas of terraced cottages on Little Common. Nevertheless, the overriding special character of the CA is that of spacious, semi-rural openness due to the garden spaces of the buildings, and the large areas of public open spaces both within, and in the setting of the CA. This gives the whole area an overall low density of development that is also protected by Green Belt designation. The area's origins as open common land and as parts of larger estates (which means several large buildings sit within large plots e.g. Hill House) helped to shape this special character. The sense of openness also relates to the raised height and sloping topography of the area which gives rise to good long distance views towards the open areas of the CA and beyond, often towards the horizon.

1.30 It is interesting to note though that there is a marked contrast between the density of development on the higher reaches of Stanmore Hill that are within Little Common CA, and those lower parts. Whereas in some lower parts many of the houses front directly onto the street, and are in small tightly knit plots, higher up, within Little Common CA the houses are detached and generally set back from the road, or at a slant away from it and most of the houses have substantial gardens surrounding them. This adds to the sense that there is a low density of development within the area (see 'Townscape Character' section).

1.31 Stanmore Hill runs north to south, rising as you go northwards. It is the principal route of the area with its gradient a fundamental part of its character. Wood Lane runs west to east and is largely flat, although it gently slopes upwards where it runs by Stanmore Hall. Stanmore Hill, Denis Lane and the earlier parts of Wood Lane are characterised by gentle winding nature which adds interest to the streetscene. Another key feature of the plan form of the area are the various

interlinked footpaths and route-ways running from Stanmore Hill to Wood Lane and towards the pond. This creates several triangular pieces of green land between them and adds a permeable, semi-rural feeling to the area.

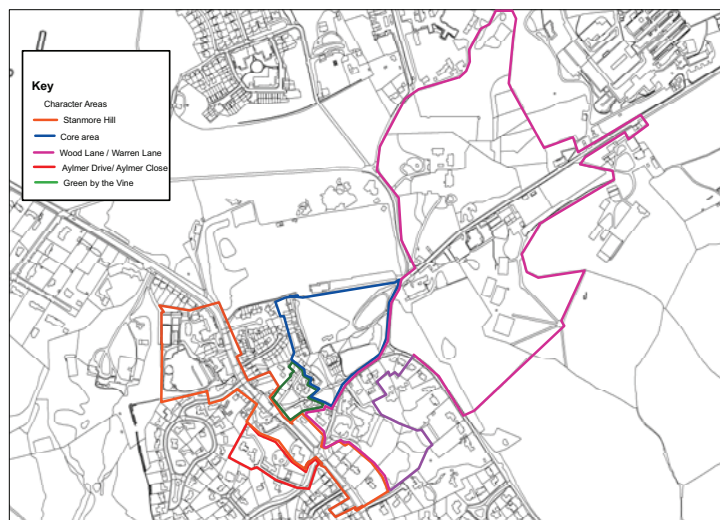


Picture 1.10 Topography © Crown copyright. All rights reserved 100019206, 2010

1.2.2 Townscape Character

- **General**

1.32 The special character of the CA is set in large part by the particular mix of high quality, historic buildings present in terms of their style, density, size, use, age, history and grouping, which creates attractive and distinctive qualities. This particular mix of buildings, and therefore the special character of each area, varies somewhat within each character area shown on the map below and as outlined in detail below.



Picture 1.11 Little Common Conservation Area Character Areas N.B. There is some overlap between the boundary of character areas © Crown copyright. All rights reserved 100019206, 2010 NB

1.33 Nevertheless, the special character is also set by the significant overriding factor of these buildings' setting – the open spaces and greenery (including The Common, the substantial grounds of large detached buildings and the picturesque ponds) which form an overriding attribute, lending a special semi-rural ambience. Other overriding qualities uniting the area are the tall walls marking the boundary of historic estates, the use of high quality traditional materials and predominantly single family dwelling house use of the buildings which imparts a low intensity, and in some parts, semi-rural character. Another attribute is the range of key views towards landmark buildings, architectural qualities and across open greenery, sometimes towards London and the density of development which ranges from low to medium depending on location. It is the delicate balance of the above factors that achieves the special overall character of the area.

- **Stanmore Hill**

1.34 Compared with the other areas of the Little Common CA, Stanmore Hill is the most urban in character, being more densely built up by the settlement which has historically arisen along this busy wide road as it became the principal route from London to the Midlands in the 18th century. Nevertheless, there is a marked change between these higher reaches of Stanmore Hill and the lower parts. Whereas lower down the Hill outside of this CA, many of the houses front directly onto the street and are in small tightly knit plots, within the CA there are no shops or office units, since this part of Stanmore Hill is almost wholly residential, and the houses are detached and generally set back from the road, or at a slant away from it and most of the houses have substantial gardens surrounding them. This creates a feeling that there is a reasonably medium to low density of development and creates a relatively soft, suburban character.

1.35 In keeping with this character, unlike further down the Hill, glimpses of the buildings are more limited. Hill House for instance is angled away from the street, and although impressive in views, is somewhat detached from the road. Similarly the Rookery is set back from the road behind its high boundary wall and The Clock Tower is set at 90° from the road. One of the converted outbuildings of Hill House has its rear wall directly fronting onto the street giving a strong sense of enclosure, but unlike lower down Stanmore Hill, the buildings turn their backs on the road, rather than having their facades facing onto it. This is probably because lower down the Hill development responded to the trade along the busy road, whereas the large houses at the top turned to focus on their own gardens. Even the more modern buildings, such as the 1930s white rendered and green glazed tiled buildings on Stanmore Hill, are set back behind walls and front gardens.

1.36 Those buildings, which directly face the road, such as The Vine and numbers 154-156, are humbler, vernacular buildings, again therefore maintaining this sense that there is a reasonably low to medium density of development. In the case of the Vine, which derives its income from the passing trade, facing the road has always been important in terms of attracting custom.



Picture 1.12 The Vine

1.37 Despite the low to medium density of development of the area, a sense of enclosure is conveyed by the more or less continuous street frontage provided by high boundary walls, particularly along Stanmore Hill but also along Wood Lane, which are vital to the nature of the townscape. The walls are one of these most important features of Stanmore Hill which is reflected by the fact that many are statutorily listed in their own right, or otherwise are positive unlisted buildings. As they mark the boundaries of former large estates, they add to the historic interest of the area, as is explored more fully within the 'Streetscape' section. Although the buildings on Stanmore Hill are varied, these brick walls help to tie the area together visually and in character which brings a sense of continuity and unity to this character area.

1.38 Although the walls create some sense of enclosure, the streetscape opens up at certain points, either where other roads lead away from Stanmore Hill or onto areas of open space, creating a sense of openness and again adding to the semi-rural character of the area. The small open area by The Vine relates more to the core open area at the centre of Little Common than the main road, but does provide Stanmore Hill with good green space adjacent to the road. There is also an area of grass and trees by the junction of Wood Lane. It is unclear what the use of this piece of land was in the past, but it now provides streetside greenery. Opposite the former brewery the presence of the Common begins to be felt. A scrub hedgerow replaces the buildings and a footpath leads off into the Common past the two ponds created to serve the brewery. This area of open space is extremely important in terms of the setting of the street, giving a sense of rurality to this busy road. The private houses have large, mature trees in their gardens which add to the greenness in the streetscape and also act as focal points for views up and down the hill. Those in Summerhill and Hill House are particularly notable.

1.39 Views, particularly due to an interesting roofscape and the good gradient to the hill and tall trees, are important to the character of Stanmore Hill (see 'key views' section).

- **Aylmer Dive/Aylmer Close**

1.40 Leading down off the hill, is Aylmer Drive which is the former driveway to Aylwards which was a yeoman's house in the 16th and 17th centuries. In contrast to Stanmore Hill, this area has a distinctly quiet and secluded character, partly because it is private road. There is a clear harmony to the area, despite the variety in styles of building, due to the lush landscaping and mature trees which predominate. The dense greenery, together with the tranquil character of the road, creates a soft, suburban semi-rural lane character.



Picture 1.13 Leafy character along Aylmer Drive

1.41 There is a relatively modern character to the area as it contains a small enclave of architect designed, modern housing predominantly commissioned by owners from specific architects. Many of the houses were built in the 1960s and 1970s and employ modern materials and different styles. No. 1 Aylmer Close is listed and is constructed in timber and concrete. Unlike other houses in the area, it is single storey and has a long shape, surrounding a pond in the gardens. No. 3 Aylmer Close is a Brutalist concrete structure of solid form.

1.42 The road has wide grass verges and the houses are informally grouped around the curving layout. The tall trees prevent any distant views, but glimpses into the private gardens, especially those of Hill House, are particularly pleasing. Indeed, the modern housing benefits from the established pleasure grounds of Hill House and the former Aylwards estate as a special setting for these unusual buildings. The old walls of Hill House continue round Wellington House into Aylmer Drive, giving continuity and adding character and a sense of enclosure to the entrance into the road.

- **Green by The Vine**

1.43 This small green is a transitional space between the urban and busy Stanmore Hill and the semi-rural enclave in the heart of Little Common. It is different in character from the linear development along Stanmore Hill and is separated from the main core area of Little Common by the two narrow lanes leading to it and by the height of the modern flatted block which intervenes. Since it is a transitional space to Little Common, the area has a relatively soft and open character as the central area is grassed and has three small trees. Grass verges along the boundary to Summerhill and from the central green curve down to meet the road. This, along with the lack of pavements, begins to impart a semi-rural feeling to the area.

1.44 There is a mixture of styles and materials in the buildings here but chiefly the materials are traditional and vernacular, and buildings are small-scale. The Vine employs yellow/brown bricks and slate whilst Summerhill (3 Little Common) has clay tiles and rendered walls. The buildings are simple in form and style and are grouped attractively around the open space. Although converted, Summerhill retains some of its former barn character in its simple, long form, and this adds to the interest of the area. The modern flats on the Green are quite successful in fitting into the established character of the area. Although taller and clearly modern, they employ brick, of the principal building materials in Little Common, and their asymmetrical roofs create an interesting roofscape. Number 5 Little Common has traditional materials, for example, it uses simple wooden boarded doors and sash windows.

1.45 The green has sense of enclosure as it has the fence to the Vine garden on one side and the barn wall on the other. The modern flats, which are higher than the other development, also help to enclose the space. Again the walls which are important on Stanmore Hill turn the corner into this area, running up to the former barn, Summerhill (3 Little Common), creating an attractive visual link and helping to enclose the green.

- **Core Area**

1.46 The core area of Little Common is comprised of informal groups of buildings around the central open space and surrounded by the Common and the two ponds. It is the openness and the greenery of the place, giving it a rural atmosphere, that is its key characteristic, and makes the area special. The Common weaves in and around this core area. This openness is emphasised by the contrast with the two lanes leading from the green by The Vine, which are narrow and densely built, but open dramatically onto the large open area. Around the Spring Ponds is lush

vegetation and large, mature trees, which adds to the rurality of the area. Within the central area are wide grass verges, often forming banks at the side of the roads. Also, although many of the houses in this core area do not have formal front gardens, the owners plant the edges of the verges which adds visual interest to the grassy areas. The trees, ecology and openness are discussed in greater detail in the Greenery and Open Spaces section.

1.47 A mix of styles and materials are used, but again traditional materials predominate and the buildings are vernacular and small-scale. Red and yellow brick is employed with either slate or tiled roofs. Most of the houses have traditional timber sashes or casements. Another feature of some of the houses is the presence of decorative features such as porches, gauged arches above windows and ornate chimneys or roof detailing.

1.48 The buildings divide into sub-groups. The most picturesque of these is the Spring Pond Cottages and attached former stables. The buildings are constructed in red brick and tile and the stables employ render and decorative timberwork. The stables have an unusual circular structure surrounding their clustered chimneys, and a weather vane on the decorative louvre. The Spring Pond Cottages have a strong vertical emphasis, created by steeply pitched roofs, pronounced chimneys, and decorative white bargeboards. Again the tall clustered chimneys are an attractive feature of the buildings and the decorative ridge tiles and fishscale tiles add interest to the roofscape.

1.49 Opposite, the former laundry and Woodbine Cottage, now number 11, form another small sub-group. Woodbine Cottage is a tall building, also with decorative detailing such as blue diaper-work patterns in the walls, large clustered white rendered chimneys and a projecting bay window at first floor level. The low buildings attached to it, Faircot Cottage, was the laundry to Stanmore Hall but has been altered.



Picture 1.14 Side of 11 Little Common (Woodbine Cottage)



Picture 1.15 Faircot Cottage

1.50 Maytree Cottage and number 13 make an attractive composition of two storey 18th century brick buildings of good quality. Maytree Cottage has finely gauged yellow brick arches over its windows and, in common with the Spring Pond Cottages, an attractive timber porch. Number 13 is set back behind its gardens, but again is an attractive building in traditional materials. There is a row of modern housing set back at the corner of the green, which although clearly of a much later date, also comprises simple two-storey brick buildings which have blended in well with the established streetscene.



Picture 1.16 Maytree Cottage, Little Common

1.51 The terraced buildings leading towards the rugby pitches provide an attractive continuous frontage. They are of a simple style in brick with slate roofs and with gauged arches over the windows. Some of the cottages have retained their timber sash windows. Many now have flat roofed front dormers.

1.52 There are many picturesque views in and around this part of Little Common. There are clear views from the central area of Stanmore Hall, although the modern extension does obscure some views. Another key, and much photographed scene, is that across the Spring Pond to the Spring Pond Cottages. The buildings are reflected in the water and the water, trees, grass and shrubs makes a very attractive, tranquil setting for the buildings. Views across the grass and trees of the Common are also very attractive.

- **Wood Lane/Warren Lane**

1.53 Wood Lane is a long road, with a varied character. Again high walls marking property boundaries are important to the townscape character, bringing a sense of enclosure to the area, but open spaces and thick tree cover also make the road increasingly rural towards Brockley Hill. Warren Lane is included primarily for the Limes, and its intense tree cover.

1.54 The entrance to Wood Lane is dominated by the high walls on either side of the road, on the left the former boundaries to Hill House and on the right, to Stanmore Hall. The lodge to Stanmore Hall is an imposing and landmark structure in a gothic style built in rubble stone with fine ashlar dressings to the windows and quoins. There is a turret and the windows are stone mullions with drip moulds. Next to the Lodge are impressive gates to Stanmore Hall. Rearing lions in stone top the gate piers and on the corners of the piers are little stone faces, heraldic beasts and Tudor roses. The rubble and ashlar stone work continues in high walls along the road. These walls would be rather too imposing if the other side of the road (which fronts onto the core area of the CA) was not so open to the rest of Little Common and the pond. Behind the walls would have been a kitchen garden and farmery and these areas are now occupied by later housing. The walls are the key buildings in the streetscene for the same reasons as those on Stanmore Hill (given above). As on Stanmore Hill, the houses are set well back from the frontage behind the high walls, contributing to the sense that there is a low density of development.

1.55 Attractive walls continue around Springbok House, some with recessed panels to match the main part of the building. The walls are high and front directly onto the pavement, giving a sense of enclosure, but the trees on the other side of the road give some informality to the streetscene. High walls continue along Wood Lane past the former agricultural buildings up to Wood Farm Cottage and are an important part of the character of the road.

1.56 The porte cochere to Springbok House is one of the most notable and landmark buildings on this part of Wood Lane since it is so elaborate, and an unusual structure in its own right. Beyond Springbok House, the buildings are generally smaller, and are often outbuildings or houses associated with the large estates, such as Garden Decorative stonework on pillars to Stanmore Hall Stanmore Hall's Cottage or Moor House. Many of these smaller scale buildings are set directly onto the road, or are close to it, giving a sense of enclosure.



Picture 1.17 Porte Cochere to Springbok House

1.57 At the junction of Wood and Warren Lanes is the lodge to The Limes. Like the lodge to Stanmore Hall, it shows the extent of the former estates and is a fairly ornate, because it would have been the visitors' first impression of the large estate they were about to enter. The Lodge is a small building, and although not as ornate as that to Stanmore Hall, has decorative features such as a clock in its roofslope and unusual clay tiles. The Limes itself, is a large classical building and, although visible from the road, is well set back within its extensive grounds so that only distant glimpses are caught. It is surrounded by a close-boarded fence and mature trees.



Picture 1.18 The Limes, Wood Lane

1.58 Wood Lane and Warren Lane lie within the Common Land and much of the open space is thickly covered with trees. The grounds to Springbok House have tall trees within them, and scrub hedges fringing them, which on the curve of Wood Lane where it meets Dennis Lane, obscure views through to the main house and form an attractive living boundary to the street. Around The Limes and along the northern side of Wood Lane and on Warren Lane this tree cover is so thick that one is almost not aware of the proximity of any buildings.

1.59 On the southern side of Wood Lane the continuous street frontage ceases at Wood Farm Cottage, which is set within open fields. There is a special, very rural feeling to the area despite its proximity to the busy road, particularly given the small-scale and low height of the buildings and the views out over open green land here. This area of land has been sold off and ten houses will be built with the rest of the land becoming an extension of Stanmore Country Park making it accessible green belt. This point is also special in terms of views out of the CA, since long views towards London are afforded from here.

1.60 The Royal National Orthopaedic Hospital is within the setting of the CA having implications for traffic within the area and provides a good, traditional setting with its locally listed buildings and walls.

1.2.3 Activity and Uses Within the Area

1.61 The area is characterised predominantly by single family dwelling houses which helps to create the area's quiet, suburban character. However, given the existence of three former large mansion houses, that is Stanmore Hall, Hill House and Springbok House (formerly Warren House), there are also two mansions that have been converted to apartment blocks and, in the case of Springbok House, a religious centre. Reflecting the area's historical development, which saw Stanmore Hill as a main thoroughfare towards London, there is a slight commercial element to Stanmore Hill: the Vine Public House sits on this road and otherwise, there is an accountants on Stanmore Hill inside the Georgian House and the Old Brewery House. The use of the Old Brewery House as commercial premises is well-established given its former use, which was linked to the importance of Stanmore Hill as a key transport route. Otherwise, the outbuildings to this have been converted to flats and additional new flats and houses have been constructed just west of this in Park Lane. Despite the slight commercial element here, unlike lower down Stanmore Hill there are no shops or office units, since this part of the road is almost entirely residential. This reflects the history of the area which saw the lower parts of the Hill being the main focus for such other uses.

1.62 The Royal National Orthopaedic Hospital is a key use within the setting of the CA on Wood Lane and has implications for traffic along Wood Lane.

1.63 The large areas of public open space are a key feature of the area. These reflect the historical development of the area which saw the pond transferred for public use and enjoyment as early as 1848 and a large portion of the open land in the area being purchased by the Council in 1937 as open public space to retain the open, treed character of the area and to maintain public access.

1.2.4 Key Views and Vistas

1.64 The high quality of architecture of the area, including its listed, locally listed and positive unlisted buildings, provide the source of key views of the area. Certain architectural elements and details often provide a focal point in such views, and are sometimes provided by roofscape elements such as gables and chimney stacks or pots but also porches, gauged brick aches above windows. The continuous frontages provided by the characteristic tall walls which are characteristic of the area provide the source of continuous key views, for example along Stanmore Hill, Warren Lane and Wood Lane.



Picture 1.19 Good roofscape of Spring Pond Cottages



Picture 1.20 Chimney and gable detail of Spring Pond Cottages



Picture 1.21 Interesting porch and door detail



Picture 1.22 View towards tower of Stanmore Hall and tall brick walls, Wood Lane

1.65 Also, the gradient of the land, particularly along Stanmore Hill, provides the source of key views. Along Stanmore Hill this means views up and down the hill and long views out across London can be enjoyed. From points on Stanmore Hill the gradient of the Hill and the roofscape details work together to form good views as, for example, the towers of Stanmore Hall can be seen, and the brewery cupola, white against the skyline, from numerous points along Stanmore Hill providing attractive focal points. The tall trees add interest to the skyline, and those on the Common can be seen from the main road.

1.66 In Aylmer Drive/Aylmer Close the tall trees prevent any distant views but glimpses into the private gardens, especially into that of the established pleasure grounds of Hill House and the rear elevation of this house, are particularly pleasing. From the green by the Vine are good views towards the traditional, small scale buildings that surround it but also further south towards the almost fairy-tale towers of Stanmore Hall. The green itself provides a source of a key view as it provides relief as a key breathing space between the relatively urban Stanmore Hill and the large open space within the core character area by Spring Pond, and helps complement the setting of the surrounding buildings.

1.67 The open spaces and greenery of the CA provide the source of many key views and are particularly important as they provide relief and breathing spaces between buildings and contribute to the overall special, semi-rural character of the area. Within the Core area this is particularly noticeable as there is the central open space and the surrounding Common and the two ponds and this helps to provide picturesque views in and around it. Spring pond is integral to the setting of Spring Pond Cottages and so complements key view towards it. This is a key, and much photographed, scene as outlined in more depth within the Townscape Character section.

1.68 Along Wood Lane and from Stanmore Hill, Stanmore Hall, in particular its lodge, forms the source of key views. Also, further west along Wood Lane, are numerous key long distance views looking south out of the CA towards across extensive open greenery and out over London.

1.2.5 Architectural Qualities

1.69 It is the high quality of the period architecture of the area and the often interesting histories attached to it (as outlined within the 'Short History' section) that impart much of the special significance of the CA. Acting as an important reminder of the historical development of the area, there is an interesting mix in terms of the type and architecture of the buildings as the area includes large mansions set within extensive grounds such as Stanmore Hall and Springbok House and, at the other end of the scale, small cottages which were formerly accommodation for servants working at the big houses. This split is reflected in the architecture, with the smaller buildings having a simple, vernacular cottage and agricultural style, while the larger houses vary from polite to more decorative and ornate, and often by notable architects. The good quality of the architecture is often not just reserved for those elevations facing the street, or visible from a public open space, and so relatively private elevations remain significant.

1.70 There is also some variety to the architectural qualities as originally the land was common land so dwellings developed in a piecemeal fashion and then, in the 18th and 19th centuries the brewery brought an industrial element into Little Common. The increased level of traffic using Stanmore Hill as a route between London and the Midlands prompted additional development in the area. During the last century, some modern housing has been built in the grounds of these large houses, again often by well known architects with a distinctive modern style, such as the listed 1960s house in Aylmer Close and Heriots, off Stanmore Hill.

1.71 The next map highlights those buildings and walls that are listed, locally listed, or otherwise make a positive contribution to the CA's character and those that make a neutral contribution. Please note that this map is not exhaustive.



Picture 1.23 Listed, locally listed, positive unlisted, and neutral buildings
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- **Tall, historic brick walls**

1.72 This is very significant architectural quality of the area since these mark the boundaries of historic estates and are often the original walls. Their height (on occasion over 4 metres) adds to the sense of distinctiveness and presence of these walls, and can bring a sense of enclosure to the streetscene. In recognition of their significance many of these walls are curtilage listed and/or statutory listed in their own right. The walls are usually red brick with Flemish bond. Examples include the walls to Rosebank and Rosehill which are probably a continuation of the walls around the former Hill House land and are very important in terms of the character of the place. They are Grade II listed.



Picture 1.24 Wall to Hill House

- **18th century simple, elegant and classical**

1.73 This varies from the larger and grandeur mansion houses to the smaller, simpler and more Vernacular cottages. They often feature an important element of symmetry.

1.74 Hill House is a key example of the larger and grandeur type as it is an attractive red brick, two storey house with stable outbuildings, now subdivided into flats. A significant element of this building comprises the often original or otherwise historic delicate timber sash windows and doors which remain in tact and unite the building. Also, repair works within the building have revealed some of its original elements. For instance, in the roof void, intricate gold embossed carvings were found and the removal of dry rot in the entrance uncovered a series of elegant 18th century arches.

1.75 On the other side of the road, where Rose Cottage and Summerhill stand, there was the farmyard and outbuildings to Hill House. Summerhill is probably a former barn of this farmyard complex and the parcel of land it stands on was clearly part of Hill House, since the walls round both properties are of the same style, with matching doorways.

1.76 Presenting a similar grand elegance, yet at a smaller scale is The Rookery, a late 17th/early 18th century brick house with stables was originally built for the brewery owner. According to local tradition the owner added a further Georgian drawing room to house pieces purchased from the sale of Canons House, including a carved mantelpiece and mahogany door. There is a white weatherboarded clock tower and cupola that dates from c.1745. The gardens contain lakes and terraces and apparently in the 1970s had a red brick orangery, a full range of greenhouses with vinery and peach trees.



Picture 1.25
Clock tower to
the Rookery

1.77 Adjacent to The Rookery is the Georgian Old Brewery House, dating from c.1760, originally home to the owners or managers of the brewery, which is listed and built of attractive soft red bricks.



Picture 1.26 Old Brewery House

1.78 The brewery buildings have been converted to housing and its granary demolished. Sadly the former industrial character of the buildings has largely been lost as this significance is only now shown by the height and scale of these buildings and by the small paned windows used.

1.79 In the core area, Parsons Cottage, a late 18th century building fronts onto the narrow lane between Stanmore Hill and the cluster of buildings at the heart of Little Common. It was formerly a bakery and has particularly good boarded doors. The cottage is not shown on Henry Sayer's map of 1827, although it does appear on the Tithe Map of 1838 and is listed as belonging to Clutterbuck, the brewer.

1.80 On the other side of this small green is Summerhill (3 Little Common), probably an 18th century former barn to Hill House, which was converted in 1948. It is surrounded by 18th century listed walls which formerly also delineated Hill House's boundaries.



Picture 1.27 Summerhill

1.81 Nos. 1 and 2 Little Common are locally listed and date from at least the late 18th century, although they have been much altered. They may have much earlier beginnings as the deeds for number 1 back to the 16th century. They are built of red brick and the entrance to No. 2 is in the wall. They have a similar small-scale cottage character to the later 19th century cottages.



Picture 1.28 Side of 1 Little Common

- **Decorative Victorian grand, large houses**

1.82 Stanmore Hall, is perhaps the most important building within the conservation area since it is grade II* listed. The hall is a striking building with “fairy-tale” turrets and detailing. As discussed earlier in the ‘Short History’ section, it was built c.1843 by John Macduff Derick (1810-61) complete with matching walls and the lodge on Wood Lane which was used as the cook’s lodgings. Robert Hollond MP and his wife purchased the new hall in 1847 and it was during their time that the various stables, staff accommodation and laundry outbuildings were erected. These buildings together form some of the most striking groups in the Conservation Area.



Picture 1.29 Detail of Stanmore Hall - grade II* listed

1.83 Mrs Hollond’s nephew put the estate up for sale in 1888 when it was bought by William Knox D’Arcy, a solicitor who had shares in a successful gold mining and oil extraction company. He employed Brightwen Binyon to extend the building and William Morris to work on the interior. After D’Arcy’s death the house had a variety of uses, as an assize court, an Officer’s Mess, and a nurses home. The interior was very badly damaged by fire in 1979, but the building was later restored and extended as offices and is now converted into apartments.

1.84 Springbok House, formerly the Warren House is an 18th century former large country house with an elaborate porte-cochere facing Wood Lane and features grand Dutch gables. It has matching walls with inset panels and has been used as an Islamic centre for nearly 10 years now. The building's development has already been discussed in the history section.



Picture 1.30 Springbok House

1.85 The Limes, an early to mid 19th century house, was extended after 1864 for Thomas Wield by RL Roumieu, who was designing houses in the Harrow Weald area at the same time. The house appears on Sayer's 1827 map when Thomas Sharp Smith owned it. George Donaldson, gallery owner and a benefactor of the Victoria & Albert Museum and Royal Academy of Music owned The Limes, and Sir Frederick Handley Page, the aircraft designer and manufacturer, lived there until 1969. The house was a country club then OAPs home and is now converted to luxury apartments with two additional apartment blocks created in the grounds.

- **Medium scale, 19th century houses**

1.86 These vary from the most decorative house, namely Spring Pond Cottages, to the more restrained attractive ones such as Woodleigh and Garden Cottage. However, uniting this group, they always have a particular decorative feature or features of interest.

1.87 The ornate Spring Pond Cottages (Nos. 38-41) is a landmark within the core area, with bargeboarded gables, elaborate stacks, fishscale tiles and ornamental ridge tiles on the roof, and were the staff lodgings. Each house had an outhouse with a sink, copper and WC. A long corridor connected each cottage to its outhouse. Originally all four had to collect water from the well at No 38. The head gardener at Stanmore Hall, Mr Pope, lived at No. 38 until his death in 1957.



Picture 1.31 View towards Spring Pond Cottages



Picture 1.32 The Stables and number 41, Spring Pond Cottages

1.88 Limes Lodge is a Victorian lodge in a Gothic style with decorative tile hanging and roof tiles. It has a small clock in the roof slope facing onto Wood and Warren Lanes. It marks the original main entrance to the Limes and is locally listed.



Picture 1.33 Limes Lodge

1.89 In the core area, 12 Little Common, Maytree Cottage, was probably built around 1800, with a forward projecting games room extension built in 1855. It is of brown brick with yellow brick gauged arches to openings, has an attractive porch and a slate roof with fishscale slates on the rear elevation. It was an alehouse called the King William IV in Victorian times.

1.90 No.11 Little Common, Woodbine Cottage, was built c.1863. It has unusual octagonal chimney stacks and good decorative brickwork with blue diaper patterns in the walls. It is now sub-divided into flats.



Picture 1.34 11 Little Common

1.91 'By the Pond' is a late 19th century locally listed white rendered house with decorated ridge tiles, interesting and unusual flint detailing, quite special given this building's location, and ornate white clay chimney pots. The adjacent property, Woodleigh, also locally listed, is a mid 19th century brick house with timber detailed gables. These houses were built on the site of the kitchen garden and farmery for Stanmore Hall and, significantly, have parts of the old walls around them.



**Picture 1.35 By the Pond,
Wood Lane**



**Picture 1.36 Woodleigh,
Wood Lane**

1.92 13 Little Common is an early 19th century two storey house in red brick with a tiled roof and is listed Grade II. It has an attractive Flemish bond brick wall round its boundary.

1.93 Nos. 36-43 Little Common were built c1863 by Robert Hollond to house staff and to stable horses for Stanmore Hall. The stables had stalls for horses, a large coach house, kitchen and a cart yard. They were later bought by Captain Younghusband and were used as a riding school, which supplied horses and riding lessons to Elstree Studios. Liz Taylor and Ava Gardner reputedly learned to ride there and James Mason kept his horse in the stables, in what is now the lounge of one of the cottages! In 1963 the coach house was converted to 2 maisonettes and later a family house.

1.94 Moor House on Wood Lane was servants' lodgings for The Limes. The house is on the Ordnance Survey of 1807/8 and the H Sayer's Plan of 1827, but the SE portion reportedly dates to the 18th century. It was significantly enlarged in 1896. The register for 1897 is the first to name Moor House as owned by George Donaldson, who also owned The Limes.



Picture 1.37 Moor House

1.95 Wood Farm Cottage is a late 19th century house, currently disused. It has timber windows and an attractive, simple form. Adjacent is a small brick building, probably dating from the late 19th century, which is also unused. This may have been a small cricket pavilion and has attractive detailing. There is also a derelict outbuilding in the grounds.

1.96 The Garage Cottages are an Edwardian group of buildings of red brick with matching symmetrical gables.



Picture 1.38 Garage Cottages

- **Simple, small scale Victorian Cottages**

1.97 These buildings have an attractive elegance due to their small scale and simple nature which relate to their historical origins, on the whole, as workers cottages. Their high quality, traditional materials unite them as does their often terraced nature, though sometimes they do come as pairs. No. 193 Stanmore Hill, for example, is an attractive, late 19th century cottage, set well back from the road. It is simple in style and constructed in brick. 156 and 158 Stanmore Hill are a pair of late 18th or early 19th century locally listed cottages. They are simple in scale and design, and have attractive detailing such as sash windows and a brick dentilled eaves cornice. 18-22 Little Common were built in 1809 and are a locally listed row of red brick cottages with slate roofs. Originally they would have had timber sash windows, but regrettably many of these have now been changed for unsuitable modern replacements.



Picture 1.39 156 and 158 Stanmore Hill

1.98 The two storey Vine, built c.1840, is of yellow stock brick with some decorative soft, red brick banding detail and red clay ridge tiles, with a matching single storey stabling/outbuildings complex alongside creating a small courtyard enclosed by black painted timber gates. The pub has attractive etched glass in some of the traditional timber sash windows and doors.



Picture 1.40 Attractive single storey stabling/outbuildings to the Vine

1.99 Garden Cottage, built c1840, was a gardener's cottage to Springbok House, formerly the Warren House. It was still part of the estate in 1917 when owned by the society hostess Clara Bischoffsheim. The important boundary stone marking the boundary between Great and Little Stanmore was in its walls, but these are now painted and the stone is no longer visible.

- **Small corrugated iron building (former Scout hut/ Mission Hall)**

1.100 Behind the Spring Pond is a small corrugated iron building, which is sadly falling into disrepair. A small building on the site is marked there on the 1864 Ordnance Survey map but it is not named. However, on the 1896 map the building is recorded as a 'Mission Room' and by 1913 it was described as Fire Engine station and Mission Room. It appears to have been a small church or Mission Room, with attached fire station, where the Vicar of St John's held a monthly service. A shack next to the Mission Room was used to hold the fire pump, which was filled with water and wheeled to any fires. The pump was moved to the Brewery during the Second World War. The land the building was built on was a gift in trust to the Stanmore Parish. Until recently the fire shack was a meeting place for the sea scouts, and railway enthusiasts used the church, but it is now empty and vandalised and the church bell has been stolen. Despite the apparently makeshift nature of corrugated iron-clad buildings, this material is quite traditional being frequently used for small churches and sometimes housing.



Picture 1.41 Former scout hut/ mission hall

- **Victorian Water Pump**

1.101 The Water Pump at the edge of the Spring Pond is a locally listed 19th century pump in the pond resting on a brick base. It is out of use and requires repair but is interesting piece of street furniture indicating former uses of the pond. It is a tall cast iron pump approximately 2.2m high and 250mm in diameter. The pump is set in a concrete and brick base. Spring Pond may be one of 'the ponds on gravel' or 'stony meres' that gave the name 'Stanmore' to the area. Initially the pond supplied the Manor House with water. By the 19th century, access was gradually extended to all the inhabitants of Stanmore. A new well and pump was provided in 1802 for use by subscribers and specified paupers. In 1824 there was a fund for providing plentiful soft water and in 1846 Spring Pond and its surrounds were given to the Rector and Church wards for the 'purpose of supplying the inhabitants with water'. Ownership of the Pond was passed to the Parish Council in 1914 and then on to the London Borough of Harrow in 1937.



Picture 1.42 Victorian water pump

- **1930s colonial style architecture**

1.102 There are two 1930s white rendered buildings at the entrance to the CA on Stanmore Hill of high quality. No. 116 has a green glazed tile steeply pitched roof with weather boarded dormers. The house has green joinery to match the tiles and decorative leaded lights. It retains its original doors and has a sweeping metal canopy over the main door and has a green tile topped wall to match the house. No. 147, Eden Lodge, has an ornate Dutch gable and was designed in 1934 by H Hobson Hill (1899-1950) who specialised in high quality houses especially in the Harpenden area. Its front wall complements its setting. This style of housing, using green tiles and white render, is found elsewhere in the Borough, such as at the listed Elm Park Court flats, Elm Park Road, Pinner. The buildings have a colonial or hacienda style designed to appeal to occupants aspiring to a "Hollywood" lifestyle as seen in films of the age



**Picture 1.43 116
Stanmore Hill**



**Picture 1.44 147
Stanmore Hill**

- **1960s Modernist**

1.103 Number 1, Aylmer Close was designed by Edward Samuel in 1963 and was listed in 1996. It is a concrete structure with timber cladding and flat roof with mono pitch roof lights at intervals. The building has a long plan that is u-shaped to the garden and incorporates a room which projects out over the pond in the garden. The interior is similarly modern with an open plan layout divided into adults' and children's zones, brick and tile floors and wooden panelling.

1.104 No 3 Aylmer Close is a locally listed Brutalist concrete building by Gerd Kaufman, and was built c 1972-3. Its stark grey form is softened by the mature landscaped setting, which was originally part of the gardens of Hill House.

1.2.6 Prevalent and Traditional Building Materials and Detailing

1.105 Bringing significant coherence to the area, the building materials are high quality traditional ones such as red and yellow brick, clay tiles including plain tiles, fishscale tiles and decorative ridge tiles. Windows and doors are predominantly of traditional timber sash or casement type and it is significant how many original and historic ones remain. Adding decorative interest on some buildings is brick banding detail. Adding to the significance of the CA's roofscape are brick chimneys often with terracotta pots and, on the grandeur more decorative buildings such as Spring Pond cottages and Springbok house, there are the tall, brick circular ones and Dutch gables. For the relatively recent twentieth century buildings relatively modern materials are used, including concrete. The tall boundary walls of the CA are one of its most important features and key characteristics and are explored under the 'streetscape' section.

1.2.7 Streetscape

- **General**

1.106 The tall brick walls of the CA, areas of greenery and absence of street clutter are a distinctive and significant feature. Otherwise there is a variety in the streetscape, and particularly floorscape, within the CA which helps to differentiate between its more urban and more rural parts.

- **Floorscape**

1.107 There is a large amount of soft-landscaping throughout the CA which contributes to its special semi-rural character, as is identified by the 'Green Spaces and Ecology' section. The roads and pavements of Stanmore Hill create a relatively urban character with hard materials, such as tarmac and granite, being used. There is a spacious and high quality character as the road is wide with pavements on either side and whilst the pavements are tarmac, these have wide granite kerbs running most of the length of Stanmore Hill, up until Broomhill, where a concrete kerb is used. Also, several granite quadrants are used on Stanmore Hill at junctions at vehicular accesses. The granite kerb and quadrants are part of the high quality, historic floorscape of the CA and should be retained. Other large areas of hard surfacing exist along Stanmore Hill at the car park for The Vine, which is covered in tarmac, and the driveway for the brewery flats, which is laid in red brick paviours.

1.108 Since Aylmer Drive are private roads and there is dense lush greenery in this area, there is a distinctive change in road surfacing and streetscape in this part of the CA. The roadway has pale aggregate rolled into the surface and the pavements are of red brick paviours and concrete kerb. This change in materials immediately makes the road feel less urban and different. In Aylmer Close concrete paving slabs are used.

1.109 The streetscape helps to indicate that the green by the Vine is a transitional space between the urban and busy Stanmore Hill and the semi-rural enclave in the heart of Little Common. This is because, whereas on Stanmore Hill, the road is finished in black tarmac, further west the pavement disappears and the grassed verges simply meet the road without any kerbs. There is an old granite quadrant corner kerb at the entrance to Summerhill. The lack of pavements positively contributes to the semi-rural feeling of the area.

1.110 The core area's good rural ambience is partly conveyed by the floorscape employed. For example, loose gravel is used as the road surface in the core area. Whilst in poor condition in places, it is important that gravel be retained as it helps to give the area an informal air, which hard surfaces such as tarmac would obliterate. It just needs work to the substrate so that the gravel has a good base to lie on. In common with the green by The Vine there are no pavements, rather soft grass verges without kerbstones, which emphasise well the rural atmosphere.



Picture 1.45 The gravel character is an important element of Little Common



Picture 1.46 Gravel road surface adds informality, Little Common

1.111 Along Wood Lane/ Warren Lane the floorscape contributes to the semi-rural character of the area. For example, although the roads are of tarmac, with narrow concrete kerbs, pavements are mostly on one side of the street only. The yellow brick pavements to Springbok House would be better replaced with a more neutral surface that does not compete with the colours of the principal building. Beyond Springbok House, the narrow, tarmac pavement eventually peters out beyond Wood Farm Cottage, adding further to the semi-rural character of the area. There are no pavements on Warren Lane, but there are kerbs at the side of the road. At the entrance to Dennis Lane is a grassed triangle, which has an informal footpath across it and no kerbs. Other areas of hard surfacing are limited. The rugby club has a concrete drive at its entrance, and opposite the entrance to Springbok House is covered with yellow brick pavements, which try, but fail, to match the yellow tones of the main house.

- **Street Furniture**

1.112 The CA has some interesting, attractive historic items which add considerably to the special character and interest of the CA. For example, the post-box opposite The Vine, and outside The Vine, its historic wooden post sign and cream painted wooden fence. By the Spring Pond is the original pump, which is an attractive example of historic street furniture. There are timber steps to one of the houses within the Core area by the pond, which forms part of the streetscape and adds to the informal character and interest of the area. Apparently there was the boundary stone between Great and Little Stanmore in the wall of Garden Cottage, which would be an attractive piece of historic streetscape but it is no longer visible.

1.113 There are other plainer, yet useful elements such as two modern bus stops and tall, concrete streetlights along Stanmore Hill. There are concrete posts, presumably previously linked by a chain, which surround the green by the Vine, but are rather old or missing and the chains have gone. These would be better replaced with simple timber posts similar to those used in the core area of Little Common. In keeping with the informality of the area, within the core area simple timber bollards or stones are used to restrict parking on the grass. Around the Spring Pond are concrete railings, with some sections missing and there is an information board about the Common. In terms of other street furniture, there are standard metal streetlights within the Core Area, which do not enhance the character of the area. Along Wood Lane/Warren lane, there are several road signs, metal lampposts, and a communications box on these roads. At the junction of Wood Lane and Dennis Lane the triangle of grass has been cluttered with unnecessary signage and a prominent telecommunications box. Signage should be rationalised and kept in good repair and communications boxes should be as unobtrusive as possible. This one should perhaps be relocated in the lush planting around the ponds where it would be hidden. Also, in places there are ugly overhead wires that disrupt attractive views. The statutory undertakers who are responsible for these wires are urged to lay them underground.

1.114 Generally though there is not much street furniture present which creates a pleasing, uncluttered appearance which contributes to the special semi-rural character of the area. Aylmer Drive and Aylmer Close in particular are notable as other than a notice board on the small garden area and a speed restriction sign, the area is uncluttered by signage or street furniture. Also, the narrow pavements in some areas, for example, along Wood Lane, Warren Lane and parts of Stanmore Hill, restrict the location of many items meaning they could easily appear overcrowded and cluttered if items were added. It is important to keep street furniture to a minimum throughout since this retains and respects the semi-rural character of the area.

1.115 Some items of street furniture that are already in place, such as rubbish bins, a salt bin, street lights and communications equipment, could do with greater care in their placement and/or design to ensure that the street scene does not become cluttered with furniture of inappropriate or conspicuous appearance or materials. Also, one salt bin just off Stanmore Hill is located in front of an historic wall, which is contributing to the decay of that wall as the salts seep into the wall. In a number of locations there seems to be some redundant street furniture cluttering the area.

1.116 Unfortunately a picnic table was recently stolen from around the ponds on the far side near the rugby club. Replacement of this is being carried out by the Council as part of the Green Grid project.

1.117 Recently an ERUV has been approved, which falls partly within this CA (along Stanmore Hill and Wood Lane). It was approved to be located in where it was considered it would be as inconspicuous as possible. The minimum number of poles were approved, so that the installation would not appear to add greatly to street furniture and as part of the approved scheme, the poles are to be painted either black or green to blend in with surroundings. It was conditioned that the poles do not damage the structural integrity of any Listed walls where the ERUV would be near to them. Given the semi-rural character of the CA, a timber material was considered for the poles, rather than the steel material that was approved for these poles. However, timber poles were used elsewhere within a Barnet CA and these have not worn well, and the poles here would have had to have been considerably thicker given their height. So, it was considered that in this instance timber would have contributed to making them stand out further.

- **Boundary treatments**

1.118 The tall boundary walls of the CA are one of its most important features. As well as being vital to the nature of the townscape (as explored in the 'Townscape Character' section), these walls are also very important as they identify the extent of former large estates in Little Common, particularly that of Stanmore Hall and Hill House. These boundaries have continued even where the original walls were removed. For instance, the white rendered and green glazed tile topped wall to No. 116, although of different style and materials, continues the boundary of the original Stanmore Hall estate. Nos. 118 and 120 have an attractive old red brick front boundary wall, which is listed and was probably the original wall to the Stanmore Hall estate. It is of Flemish bond with a lime mortar and dark red handmade bricks. The walls surrounding Hill House and Wellington House are equally important to the character of the area and are listed too in their own right. They date from the 18th century and again are dark red bricks laid in lime mortar in a Flemish bond. The walls have small gate openings with brick arches above. These openings and the style of wall are copied opposite, around Summerhill, formerly enclosed additional land owned by Hill House. High walls continue outside No. 181 and No. 187, and both are historic and of good quality brickwork. The part in front of 187 is curtilage listed. A modern wall outside the converted brewery buildings continues the use of brick walls on front boundaries in the conservation area.



Picture 1.47 Listed wall to Hill House



Picture 1.48 Good brick boundary wall to Wellington House

1.119 Although these tall boundary walls are characteristic of the area, the houses in the Core area have domesticated, informal character as most of the houses front directly onto the street, or are set back behind small front gardens with soft and low boundary treatments in the form of hedges or picket fences as their boundaries. This contributes to the particularly striking open, spacious character of this area. Also, contributing to the semi-rural qualities of Wood Lane/Warren Lane, although high walls front the street, mainly on the eastern side, the opposite side of the street is generally open and thickly covered with planting so that often the boundaries of the road are simply scrub hedges or dense tree cover. The hedgerow alongside the entrance to Stanmore Common and the brewery ponds is very important since it softens the landscape and brings the greenness of the Common into this part of Stanmore Hill. Around Spring Pond the concrete railings have in some places disappeared or are broken. Although not attractive in their own right, these railings have become weathered and covered in planting, making them relatively unobtrusive in views. Any replacement will have to be carefully considered for its impact on the streetscape and views of the ponds.



Picture 1.49 Soft boundary treatments are a key characteristic of the area



Picture 1.50 Important greenery on Wood Lane

1.2.8 Green Spaces and Ecology

1.120 Green spaces and ecology form an overriding and essential part of the special interest of the CA. In recognition of this, and helping to protect this aspect of its significance, the majority of the Little Common CA is within the Green Belt. The only areas outside of this designation are

on the east side of Stanmore Hill around Aylmer Drive and Fallowfield. Important greenery includes public and private soft landscaping, grass areas, trees and planting. Some (but not all) key examples are highlighted within this section.

1.121 The greenery adds a good sense of informality and creates a picturesque feel in several locations around the core area. Here, although most of the houses front directly onto the street, or are set back behind small front gardens, the houses have domesticated frontages which is significant as it helps add to the area's rural ambience. In several locations, homeowners have planted the verges of the roads, which adds colour and interest to the general scene. Here homeowners have intermittently planted the verges of the roads, which adds colour and interest to the general scene. For instance, the brick wall to the modern flats, opposite No. 5 Little Common, has a narrow strip of planting running in front of it alongside the road. Outside 1 and 2 Little Common, the verge is planted with daffodils and other plants, enhancing the attractive old wall behind. Similarly, the front gardens of 18-22 Little Common continue onto the grass verge in front, which is often planted. This means the domestic gardens have spilled into the central open space. Other touches add a good sense of informality to the streetscene as, for example, a lamp post opposite No.5 has been so covered in foliage that it looks like a tree. The greenery along Wood Lane around the ponds is important.

1.122 The green by the Vine pub is important as it is vital to create the transitional nature of this area between Stanmore Hill and the core area. Here there is a central grassed area and three small trees. There are grass verges along the boundary to Summerhill and from the central green these curve down to meet the road. This, along with the lack of pavements, begins to impart a good semi-rural feeling to the area.



Picture 1.51 Green by the Vine

1.123 Grass verges are occasionally present elsewhere which helps to soften the streetscene and again contribute to the special, semi-rural character of the area. For example, helping to differentiate Aylmer Drive from the busier main thoroughfare of Stanmore Hill, there are wide grass verges on the right hand side at the entrance to Aylmer Drive and planting and trees on the opposite side. These help soften the entranceway as does the attractive, soft landscaped small triangular garden area at the entrance to the road.



Picture 1.52 Grass verges at entrance to Aylmer Drive

1.124 Despite its urban appearance, Stanmore Hill also still achieves a high level of soft planting. The grassed area and trees on the eastern side of Stanmore Hill by the junction with Wood Lane help to soften and vary the appearance of the street considerably as does the trees and scrub hedge to the front of The Vine car park. The hedgerow alongside the entrance to Stanmore Common and the brewery ponds is also very important since it softens the landscape and brings the greenness of the Common into this part of Stanmore Hill. The narrow width of some of the pavements does not allow for roadside trees, but planting in front gardens abutting the road helps to increase the amount of greenness in the environment. For example, the substantial trees on the forecourt of Broomhill and those in the gardens of Hill House and Summerhill help to give the area its special character. The forecourt areas fronting Stanmore Hill of Springfield Close have been included since their trees and shrubberies add much to the greenness and character of the area.

1.125 Adding to the semi-rural character of Stanmore Hill is the green open space to the side of the Vine and the area of grass and trees by the junction of Wood Lane. It is unclear what the use of the latter piece of land was in the past, but it now provides streetside greenery. Opposite the former brewery the presence of the Common begins to be felt. A scrub hedgerow replaces the buildings and a footpath leads off into the Common past the two ponds created to serve the brewery. This area of open space is extremely important in terms of the setting of the street, giving a sense of rurality to this busy road. The private houses have large, mature trees in their gardens which add to the greenness in the streetscape and also act as focal points for views up and down the hill. The retention and replanting where necessary of trees in garden areas is important as, on the whole, these make a special contribution to the overall streetscene and special character and appearance of the area. The lack of street trees in some areas intensifies the value of adjacent street side gardens and trees forming attractive views within the CA.



Picture 1.53 Little Common greenery near number 11



Picture 1.54 Little Common greenery

1.126 Open space around Springbok House and the Cloisters Wood complex was included in an extension to the CA as this well treed area is important both in terms of the setting of the listed buildings, but also as a heavily treed backdrop to the rest of the CA. Likewise, the open space around Woodfarm Cottage was included in an extension to the CA as from here there are good clear views of London, and to the locally listed Garage Cottages. Similarly, more of the gardens of Stanmore Hall were included in an extension to the CA, as these are important in terms of the setting of the main house and in providing greenery in the area.

1.127 In terms of driveways and front gardens. For instance, the brick wall to the modern flats, opposite No. 5 Little Common, has a narrow strip of planting running in front of it alongside the road. Outside 1 and 2 Little Common, the verge is planted with daffodils and other plants, enhancing the attractive old wall behind. Similarly, the front gardens of 18-22 Little Common continue onto the grass verge in front, which is often planted. Domestic gardens have spilled informally into the central open space.

1.128 The extent of greenery within the CA means the area is also of importance ecologically in its own right, so much of Little Common is also designated a Site of Nature Conservation Interest and of Metropolitan Importance comprising Stanmore Common, parts of Pear Wood and parts of Little Common. The woodlands and clearings provide varied tree cover and ground flora. The ponds too are surrounded by lush vegetation and have unusual water plants growing in them. Perch and roach both occur in the Spring Ponds and all the ponds support toads. Pipistrelle bats and dragonflies gather above the water hunting for insects.

1.129 Despite the importance of greenery to this CA, there is occasionally a lack of street trees in some areas which only intensifies the value of adjacent street side gardens and trees forming attractive views within the CA. These trees are safeguarded by the CA status (under section 211 of the Town and County Planning Act 1990) as well as by the numerous Tree Preservation Orders. Further tree preservation orders may be required where the trees are threatened or their future retention prejudiced.

1.3 Summary of Conservation Area

1.3.1 Summary and Main Assets

The assets of the conservation area derive from a combination of factors including:

1. The high quality of architecture, reflected in the number of statutorily, locally listed and positive unlisted buildings.
2. The attractive and green open spaces which not only surround the housing, but also are part of central core area
3. The presence of bodies of water within the central area.
4. The diversity, between the different areas within the CA, of buildings, density of development and size of houses.
5. The number of mature trees both in private gardens and public spaces.
6. The high and historic walls.
7. The generally high standard of maintenance of houses and grounds.
8. The informality of the streetscape in some areas.

1.3.2 Problems, Pressures and Potential for Enhancement

Pressures, Issues or Potential for Enhancement	Address:	Description:
Pressure for inappropriate new development, extensions and alterations of an intrusive scale, bulk, siting or design.	Throughout	<p>The high quality of the often historic architecture and the openness of the CA are two of its key characteristics and it is important that these are maintained. This means the area is just as sensitive to minor residential development as larger schemes. The importance of the openness particularly means the possibility for new development and infilling or substantial extensions is limited. However, the area's desirability means high pressure for extensions/alterations and new build. This has caused occasional inappropriate developments involving intrusive, scale, bulk or design in the past.</p> <p>Some satellite dishes are being installed without the required planning permission in locations that harm the character of the area.</p>
Loss of original features or traditional materials	Throughout	Traditional materials and details form part of the area's special interest. Installation of inappropriate modern materials such as plastic windows, slates or

Pressures, Issues or Potential for Enhancement	Address:	Description:
		rainwater goods, or loss of historic features such as decorative ridge tiles or poorly executed repairs has occasionally undermined this.
The poor design, quality and siting of some elements of street furniture	Intermittent	The 'streetscape' section helps identify this.
Floorscape - some potholes, replacement of granite kerbs with concrete and the setting of the Vine	Intermittent and specifically the setting of the Vine	<p>There are some potholes in the gravelled area.</p> <p>In places modern concrete kerbs have been used which are of poorer quality and appearance than the more historic granite ones in place elsewhere within the CA.</p> <p>There is a large expanse of tarmac for the car park to the Vine and in front of the outbuildings' complex.</p>
The lack of maintenance/use of some buildings	Intermittent	<p>There are several empty, and part derelict, buildings which are attractive in their own right, but whose repair and re-use would significantly add to the enhancement of the area.</p> <p>The former scout hut/mission hall behind the Spring Pond for example is disused and has been vandalised. It is a small corrugated iron hut. Formerly a mission hall and attached pump room, it is shown on the 1864 map and is important in terms of the history of Little Common.</p>
Pressure for hardsurfacing of gardens and associated creation of access points to private driveways	Throughout	This could compromise the soft landscaped and informal character of the CA and damage the important boundary treatments and enclosed character of some parts of the CA.

Pressures, Issues or Potential for Enhancement	Address:	Description:
Boundary treatments including grade II listed walls at risk	Intermittent and specifically Hill House (173 Stanmore Hill) and 118-128 Stanmore Hill	As outlined in the streetscape section, boundary treatments make an important contribution to the area in the form of tall (often historic) walls, hedges and low picket fences. The grade II listed walls have been in a poor condition for several years. They have been added to English Heritage's 'heritage at risk' register.
Victorian water pump	Spring Pond	This locally listed pump signals the former uses of Spring Pond. It not in working order and looks neglected. It is missing many of its original parts including its handle and internal plunging rod and plunger. The pump is detached from its original fixed position and no longer relates to the well that once supplied it. Unfortunately the pumps original position is vulnerable to impacts from vehicles since it is on a sharp bend.
Little Common	Green space	Some of the concrete posts have fallen over.
Possibility of upgrading buildings e.g. Rose Cottage, 2 Little Common	Rose Cottage, 2 Little Common	This may be worthy of national listing which would provide additional protection as its deeds date back to the 16th century.
Parking	Around Little Common	At times this can cause clutter around the green clashing with the informal, open and green character of the area.

1.3.3 Public Consultation

1.130 This document was subject to public consultation. Notification letters were sent to ward councillors, amenity groups (including the Stanmore Society and the Stanmore and Harrow Historical Society), the Conservation Area Advisory Committee and other stakeholders. It was available to view at a number of places, including the Council's website, Stanmore Library, the Civic Centre Library and the Planning Services reception at the Civic Centre. Posters were put up within the CA. Copies of the document were available on the internet and there was an opportunity to comment directly into the Objective software. A public meeting was held and there was an opportunity to provide comments and discuss the document in person. The Conservation Team also offered to hold separate meetings with interested parties to discuss the document. The responses were used to strengthen the document; it was adopted as part of the Stanmore and Edgware Conservation Areas Supplementary Planning Document, as part of the Council's Local Development Framework.

1.4 Conservation Area Management Strategy

1.4.1 Purpose of the Strategy

1.131 Conservation Area Appraisals provide an analysis of the character and appearance of conservation areas to identify elements that should be protected and opportunities for change, improvement or enhancement. This management strategy uses this analysis to look forward and set out how the area's character will be preserved or enhanced. It sets out guidance and controls to protect and preserve the area and actions to enhance it. Each section is linked to the relevant policy guidance, providing the framework for the future management and enhancement. The following proposal statement provides a list of actions, related to pressures, issues or opportunities for enhancement identified in the previous section.

1.132 Unless otherwise stated, the following should be regarded as a statement of intent. There are no set time limits. However, it is important to note that Conservation Area Appraisals and Management Strategies will be reviewed every 5 years.

1.4.2 Management Proposals

Pressures, Issues or Potential for Enhancement	Address:	Description:
Pressure for inappropriate new development, extensions and alterations of an intrusive scale, bulk, siting or design.	Throughout	<p>This is managed as planning controls are greater in CAs and these are enhanced further by Article 4(2) directions. This helps ensure that new development's design, scale and materials respect the area's special character.</p> <p>Owners and occupiers are also encouraged to follow the guidance in this document, including its design guide. Since the majority of buildings make worthy contributions to the appearance of the area there is a presumption against their demolition which serves as a starting point.</p> <p>It is encouraged that satellite dish proposals follow the guidance within the design guide. Unauthorised works will be reported to enforcement.</p>
Loss of original features	Throughout	<p>The retention of traditional features e.g. timber windows and replacement in replica if repair is encouraged by the design guide.</p> <p>Owners are encouraged to remove modern, unsympathetic materials, such as plastic windows and replace them with appropriate timber ones. In particular, the reinstatement of lost ornamental ridge tiles to some properties, such as at Spring Pond Cottages, would have a significant impact on</p>

Pressures, Issues or Potential for Enhancement	Address:	Description:
		<p>the appearance of the area. It is recommended that plastic rain water goods be changed to traditional cast-iron or other cast metal guttering.</p> <p>The Article 4(2) Direction and the listed status of some properties protects traditional detailing. Unauthorised alterations will be reported to the Planning Enforcement team.</p>
The poor design, quality and siting of some elements of street furniture	Intermittent	The streetscape section identifies where street furniture should be preserved or removed.
Floorscape - replacement of granite kerbs with concrete and the setting of the Vine	Intermittent	<p>The land in Little Common which has potholes is not owned by the Council. The paths crossing the Common are the responsibility of the Council but the gravel drive is excluded from the Common Land area and is unadopted land. The Council therefore does not have direct responsibility for the drive and care falls to all users (including the council). The Council is one such individual but has no more responsibility than any other of the circa 30 other users. To resolve the potholes therefore the matter needs to be one that is discussed between all users. On a non prejudicial basis the Council undertook remedial works to Little Common in 2012 to alleviate the pothole issue at that time but there needs to be discussion as to the ongoing maintenance.</p> <p>The granite kerbs should be retained and installed in place of modern concrete kerb when opportunities arise.</p> <p>Better screen planting to the Vine car park is encouraged to help hide the car park and perhaps, a different surface material, such as granite setts could be used outside the outbuildings. This would both break up the tarmac and enhance the setting of the historic building and its outbuildings.</p>

Pressures, Issues or Potential for Enhancement	Address:	Description:
The lack of maintenance/use of some buildings	Intermittent	<p>This provides the opportunity for re-use. Repair and re-use of the former Scout Hut/ Mission Hall behind Spring Pond would be an enhancement. If beyond repair, the building's historical significance would need to be recorded. Property Services should be consulted.</p> <p>OnWood Lane, Woodfarm Cottage and two associated outbuildings appear to be disused and falling into poor repair. Woodfarm Cottage itself is an attractive simple late 19th century building. Close by is the single storey structure dairy house, presumably of a similar age, which has attractive detailing and a covered veranda around it. On the other side of the building are the remnants of an outbuilding to the farm, now roofless and crumbling. All three of these buildings would better complement the character of the area if repaired and in use.</p>
Pressure for hardsurfacing of gardens and associated creation of access points to private driveways	Throughout	Ensure that any proposals for new access points do not compromise significant historic boundary treatments and the soft, green and informal character of the CA is retained.
Boundary treatments including grade II listed walls at risk	Intermittent and specifically Hill House (173 Stanmore Hill) and 118-128 Stanmore Hill	<p>Loss of front boundaries has a detrimental impact on the streetscene so should be maintained wherever possible and be in keeping with the traditional character of the area.</p> <p>For the grade II listed walls owners are urged to form repair plans for such structures to ensure that their condition does not worsen. The Council will negotiate with owners and consider the possibility of enforcement action to ensure necessary repair works. The Conservation Team will endeavour to help owners find grant aid for such works where necessary, although grant aid is not provided by the Council.</p>
Victorian water pump	Spring Pond	<p>Work is required to preserve the historical significance:</p> <ol style="list-style-type: none"> 1. Further historical research into the design, function and mechanics of the pump

Pressures, Issues or Potential for Enhancement	Address:	Description:
		<p>2. Decision is needed on the fixed position of the pump</p> <p>3. Refurbish pump including new working arm and internal mechanics</p> <p>4. Remount the pump on a base which reflects its original use</p>
Little Common	Green space	Some of the concrete posts that are lying flat would benefit from being re-propped up or replaced with timber posts.
Possibility of upgrading buildings e.g. Rose Cottage, 2 Little Common	Rose Cottage, 2 Little Common	This may be worthy of national listing. Carry out some research on the building and recommend it for national listing is considered worthy.
Parking	Around Little Common	This has been reported to Highways and Parks though it is recognised that any proposed solution would need to be mindful of the need of not creating more street clutter e.g by placing additional street furniture or yellow lines.

1.4.3 Reviewing the Conservation Area's Boundaries

1.133 Number 147 Stanmore Hill is now included within, and 153 removed from, the CA. With 116 Stanmore Hill, 147 now forms one of two 1930s white rendered buildings at the entrance to the CA. Number 147 has an ornate Dutch gable and was designed in 1934 by H Hobson Hill (1899-1950) who specialised in high quality houses especially in the Harpenden area. This style of housing, using green tiles and white render, is found elsewhere in the Borough, such as at the listed Elm Park Court flats, Elm Park Road, Pinner. 116 and 147 have a colonial or hacienda style designed to appeal to occupants aspiring to a “Hollywood” lifestyle as seen in films of the age. Number 147 was considered important when the CA boundary was last reviewed in 2001. However, whilst its importance was referred to in the 'architecture' section of the previously adopted policy statement, the neighbouring property (153) which is of no particular architectural merit was incorrectly circled as being within an amended CA boundary whilst 147 was not. This revision in CA boundary addresses this error.

1.134 Otherwise, it is not considered necessary for the CA boundary to be amended. However, both Heriots and Bentley Manor are noted as having architectural and historic merit that helps preserve the CA setting.

1.135 Heriots fits in with the character of the Little Common CA in that in the 1930s many new houses within the CA were developed on the former land of the large estates, and Heriots, whilst outside the CA, is one such example. As a larger house, set well back from the road, surrounded by a good sized open land and a green and treed setting which helps to provide a characteristic soft, informal setting to the former brewery site within the CA, and is not dissimilar to other large

houses located along Stanmore Hill. Whilst the building is not visible from the streetscene, it is noted within Pevsner's well regarded architectural guide as an interesting building with numerous architectural qualities.

1.136 Bentley Manor derives historical significance as it was originally one of a number of lodges to Bentley Priory manorhouse which is now grade II* listed. The lodge is later as it was constructed after 1864 but before 1880 as a small lodge with alterations and extensions post-1930. Also, as a lodge that once marked the entrance to this larger estate but was sold off in 1880, its presence is characteristic of the historical development of the CA which featured subdivision of large estates in the 18th and 19th centuries. It is architecturally significant in its own right given its architectural detailing of some quality, particularly its prominent circular ornate Tudor-style brick chimney feature. Good chimney detailing is an established characteristic of the CA. Sales particulars from 1880 state it is an 'ornamental entrance lodge, built of red bricks, with thatched roof and handsome oak porch, and oak carved bargeboard and stone mullioned windows'. The ornate oak porch as well as some stone mullioned windows and oak carved bargeboard remain. The corner section of it nearest the road is likely to be original, whilst the remainder comprises later extensions and alterations including those post 1930 which are still very much in keeping with its style and lodge character. Its urban style metal railings is not quite in keeping with the existing boundary treatments of the CA yet the boundary is heavily treed and soft landscaped as well which is in keeping with the soft, semi-rural character of the area.



Picture 1.55 Locally listed Bentley Manor, Stanmore Hill

1.137 Consideration was given to extending the CA boundary further but it was not considered appropriate at this time. It is noted from aerial photographs and planning history that Heriots which immediately adjoins the CA has been much extended which undermines architectural integrity. The openness and greenery which helps provide the characteristic soft setting to the CA on the Heriots and Bentley Manor site is otherwise protected by the green belt designation for this area and partial coverage by the Bentley Priory Historic Park and Garden designation. Bentley Manor has recently been afforded some additional protection via its recent local listing designation in recognition of its own particular architectural and historic qualities. Both properties have some protection via the adjacent existing CA designation in any case since development within the setting of a CA should preserve those elements of its setting which contribute to its significance.

1.4.4 Article 4 Directions

1.138 Article 4(2) Directions apply to this CA. They exist to manage development that could potentially damage special character. They require planning permission for some works normally classed as 'permitted development'. Permitted development is already restricted nationally for any CA (see the Harrow Council's Conservation Areas Residential Planning Guidelines – Do I Need

Planning Permission?' leaflet available on the Council's webpage from: www.harrow.gov.uk/conservation), but sometimes additional management is needed. It does not stop reasonable developments, but means there is greater control over proposals particularly design and materials.

1.139 Detailed review of the area and of the development trends therein suggested in 2003 that the removal of certain rights would benefit the character and appearance of the area. Modern materials such as plastic windows and synthetic slate are becoming increasingly widespread in the CA. Although many of the buildings are listed, thereby ensuring control over alteration, locally listed and other buildings also make a significant contribution to the character of the area, and their qualities could easily be compromised by insensitive alteration. Smaller alterations are also controlled since they too can have an adverse effect on the character of the area. Front boundary treatments are very important to the character and appearance of the CA, whether as informal hedges and picket fences or brick walls. Therefore alterations to boundary treatments are controlled. The Direction means that planning permission is required for various types of development, which are listed on the schedules next.

Property address	Article 4 Direction	Map
Stanmore Hill: 116, 156, 158, 193 Wood Lane: By the Pond, Woodleigh, The Lodge, Wood Farm Cottage, Moor House, 1 & 2 Garage Cottages Aylmer Close: 3 Little Common: 1, 2, 3, 12, 18, 19, 20, 21, 22.	Schedule I: Fronting a highway, waterway or open space: Part 1 A The enlargement, improvement or other alteration of a dwellinghouse C Any other alteration to the roof of a dwellinghouse D The erection of a porch outside any external door of a dwellinghouse F Provision of hardsurfacing in the curtilage of a dwellinghouse H The installation, alteration or replacement of a satellite antenna Part 2 A The erection, construction, maintenance, improvement or alteration of a gate, fence, wall or other means of enclosure C The painting of the exterior of any building (in relation to unpainted brickwork only)	Below

Property address	Article 4 Direction	Map
Stanmore Hill: 181 Little Common: 8, 14, 15, 16 & 17. Wood Lane: Firtrees, Little Common: 13, 36, 37, 38, 39, 40, 41.	Schedule II: Classes of development controlled, where fronting a highway, waterway or open space: Part 2A Boundary treatments The erection, construction, maintenance, improvement or alteration of a gate, fence, wall or other means of enclosure Part 1F Hardsurfacing Provision of hardsurfacing in the curtilage of a dwellinghouse	Below
Relating to all land at Wood Farm, Stanmore.	Class IV: 1.The carrying out of building or engineering operations on agricultural land.	No map

Article 4(2) Direction Schedules relating to the Little Common Conservation Area

To bring management controls in line with others within the CA, an Article 4 Direction to require planning permission for the following works at 147 Stanmore Hill where it faces a highway is being introduced, and, subject to consideration of any representations received will be formally confirmed within 2 years:

147 Stanmore Hill

- 1) The enlargement, improvement or other alteration of a dwellinghouse
- 2) Any other alteration to the roof of a dwellinghouse
- 3) The erection of a porch outside any external door of a dwellinghouse
- 4) The erection, construction maintenance of a gate, fence, wall or other means of enclosure.
- 5) Provision of hardsurfacing in the curtilage of a dwellinghouse.

As per the existing Article 4 Directions, these relate to the specific features that contribute to the special interest of the CA as outlined in this document.

1.140 In some cases within the CA or its immediate setting, where a building is listed or has planning conditions attached in its planning history which restrict permitted development rights, article 4 directions have not been considered necessary. This is because they do not benefit from the same permitted development rights as unlisted single family dwelling homes.

1.4.5 Support

1.141 Relevant parties can contribute to the preservation and enhancement of the CA. These include: local residents, property owners, and local societies such as the Stanmore Society, the Stanmore and Harrow Historical Society and national societies such as the Garden History Society, the Society for the Protection of Ancient Buildings, the Victorian Society, The Georgian Group and the 20th Century Society. They should be involved in all stages of devising ideas for management and enhancement of the area.

1.142 The above enhancement and improvement proposals and other possible future schemes can require funding. Much of the works would need to be completed by private owners but the council will continue to apply for grants wherever possible, for example, to the Harrow Heritage Trust. There may also be scope for securing planning gain funds towards improvements to the public realm, where the Council is responsible for these. In line with English Heritage's guidance it is essential when planning works within CAs that a considered approach, which preserves or enhances the area's character or appearance, is adopted. Where a conflict with general planning and highways policies occur special care must be taken to find a solution that meets both the needs of the local community and the historic environment.

1.4.6 Guidance

1.143 Section 6 of the national Planning Policy Statement 5 Practice Guide gives general advice and guidance on the principles to consider when proposing repairs or alterations within CAs and within their setting.

1.144 To ensure consistent decision-making the following guidance has been identified as being of key relevance to this area with reference to the conservation area appraisal:

Maintaining Little Common's Townscape and Built Character

To ensure that the character of the conservation area and its setting is both preserved and enhanced, all new development should:

a) Respect the existing layout and historic form of the townscape and street scene, especially its building lines and heights, and not diminish the gap between buildings.

b) Complement existing buildings in terms of bulk, design, siting, detailing, scale, materials and use. Any extensions will be encouraged to be at the property's rear and subservient in scale to the original property, as well as match the existing house in design and materials.

d) Not entail side extensions that significantly reduce the gap between buildings or diminish the architectural balance or detailing of the main building.

e) Respect and harmonise with existing buildings in terms of design, siting, detailing, scale and materials.

- f) Avoid impeding views between buildings or into areas of open space.
- g) Retain original design features (as identified within this character appraisal and management strategy) and where replacement is necessary, the architectural detailing should closely match that of the original in traditional materials.
- h) Not involve the painting of unpainted brick surfaces.
- i) Ensure material alterations to buildings protect the appearance of elevations that face onto a highway, including alterations to chimneys and rooflines. Dormers and rooflights on front and side roof slopes will be discouraged.
- j) Retain visually important boundary treatments which are a characteristic of Little Common conservation area.
- k) Not entail the positioning of satellite dishes and aerials in prominent positions.
- l) Usually avoid change of use to flats and other institutional uses.
- m) Ensure microgeneration equipment is carefully sited to protect streetscene views and historic built fabric.
- n) Proposals for flats or houses within the curtilages of existing grounds will not normally be appropriate.

Maintaining Little Common's Greenery and Open Spaces

To ensure that the soft character of the conservation area is both preserved and enhanced Harrow Council will:

- a) Encourage the retention and improvement of both public and private green spaces and open land, including trees, hedgerows and grass verges.
- b) Discourage applications for development on existing areas of open land that have been defined as contributing to the character of the conservation area.
- c) Further protect trees, and groups of private trees, by creating additional TPOs where appropriate.
- d) Discourage development that adversely affects significant trees.
- e) Encourage the retention, or where necessary, replacement of street trees.

Protecting Little Common's Archaeology

- a) Harrow Council recognises the archaeological importance of Stanmore's conservation areas and their settings, and will help to protect these by continuing to consult with English Heritage to ensure the appropriate action or works such as surveys are carried out before development commences.
- b) Where appropriate, and in discussion with English Heritage, the existing Archaeological Priority Areas will be revised, and/or new Archaeological Priority Areas created, to safeguard Stanmore and Edgware's archaeological remains.

Maintaining Little Common's Streetscape

To ensure that the character of the streetscene is both preserved and enhanced, Harrow Council will:

- a) Refer to existing policy on tall structures where telecommunications equipment or wind mills are proposed.
- b) Encourage the utility companies to install the minimum amount of new and replacement street furniture and to locate this sensitively in suitable locations.
- c) Encourage the retention, or reinstatement, of traditionally designed street furniture and materials, such as paving.
- d) Encourage street furniture to be well sited and designed and for redundant and unsightly street furniture, and signage, to be removed where opportunities occur.
- e) Encourage the retention of original floorscape materials, such as granite kerbs, and wherever practicable, replacement floorscapes will be encouraged to be of traditional materials.

1.5 Design Guide

1.145 Specific Design/ Repair Guidance

- **Introduction**

1.146 This guide aims to ensure that care is taken to preserve or enhance characteristics which contribute to the special interest of the Little Common Conservation Area (CA). Generally properties in the CA are well maintained and cared for. But, well-meant repair in the wrong materials, or the cumulative impact of seemingly small or insignificant alterations, can be detrimental. Similarly, owners and occupiers can make an important contribution to the character and appearance of the environment by undertaking repairs in good quality materials which respect the character of their property, and by thoughtful design of alterations. It is not possible for guidance to be exhaustive. Further advice is available from the Council's Conservation Team.

- **Brickwork Repairs**

1.147 Brick walls are one of the most distinctive and attractive features. Many need repair or have repairs in inappropriate modern materials, which are now causing rapid deterioration. Brick is also a common building material for the majority of buildings in the area - either red or yellow stock. Many houses have fine ornamental brickwork with decorative coursing and finely gauged arches. Advice on repair work can be found at the Council, but for the gauged brickwork it is necessary to use only a specialist contractor with experience of this work to retain these qualities. The CA brickwork is often historic meaning they have subtle colours and texture enhanced by age and weathering so that the brickwork is often attractive. Much is laid in traditional bonding patterns such as Flemish bond or English garden wall bond and these bonds should be retained whenever repairs are undertaken.

1.148 Many of the brick boundary walls are severely damaged by mineral salts which have splashed on to them from passing traffic and which eat away at the face of the bricks. This is particularly evident on the walls surrounding Hill House and Wellington House. Rising damp often brings with it salt crystallisation which forces the faces of softer bricks to spall off. Cutting out bricks should be kept to a minimum, particularly in the case of fine brickwork. The bricks should be removed in the manner that causes the least disturbance to those around them and replacement bricks should match the existing in terms of colour, texture, dimensions, strength and durability. In some cases the bricks can be turned round so that the weathered face is turned inwards.

1.149 The object of brickwork pointing is that it should decay, not the brickwork. So, it should be softer than the bricks (and so lime based) to allow it, rather than the bricks, to decay as part of the weathering process. This is because bricks are more expensive and harder to replace and repair. However, modern, hard cement rich mortar does the opposite of this, forcing water and salts to evaporate through the softer brick, causing its disintegration. Where bricks are wearing away but the mortar pointing is still in place, cement rich mortar has been used. Also, the cement mortar often cracks as it is inflexible, unable to absorb the slightest movement. So, where it has been used cement rich mortar should be removed and replaced with lime rich mortar.

1.150 Repointing can be expensive so it is advisable only to repoint where necessary and to limit repairs to as small an area as possible, matching the old pointing in shape, colour and texture. This is a lime rich, soft mortar. Cracked mortar is often the result of using an inflexible cement rich mortar that is unable to absorb the slightest movement. Unless it is actually leading to the deterioration of the brickwork, it is best to copy the original type of joint when repointing. Old brickwork was built using mortar made by mixing 1 part lime with 3 parts sand in water. Even when set this mortar was flexible enough to withstand slight movement in the wall without cracking. Also, being relatively weak, lime mortar is “sacrificial” allowing moisture within the wall to evaporate through the mortar, rather than through the face of the bricks, which is, of course, much cheaper and easier to replace than the bricks. Soft mortar does tend to erode over time, especially on exposed areas of buildings. Excessive damp caused by leaking rainwater goods can exacerbate erosion, and the effect of frost tends to make matters worse. So, if any sources of damp affecting brickwork these should be addressed.

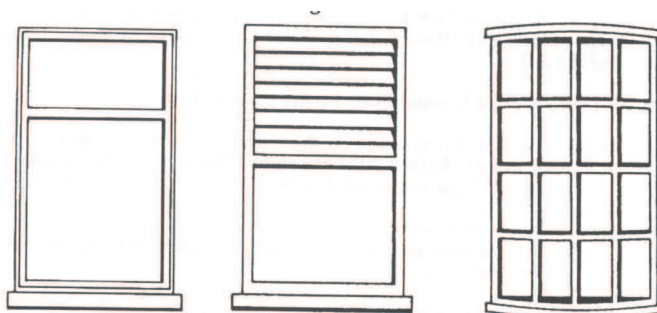
1.151 When strong cement based mortar is used to repoint soft bricks, it prevents evaporation, except through the bricks themselves which leads to the brick’s face spalling away. The bricks will spall away when surrounded by cement rich mortar whereas where soft lime mortar is used, the bricks are in a much better condition.

- **Stucco repairs**

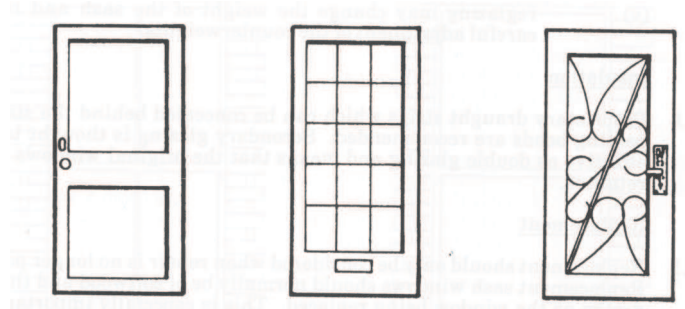
1.152 Stucco is an architectural quality of the CA. Cracks can be repaired by raking out, undercutting the edges if possible. For general restoration purposes it is best to use a cement-lime-sand render for the first two layers mixed in the proportions 1:1:6, then finish with a slightly weaker mix of 1:2:9 for the top coat. If repair is neglected, rainwater gradually penetrates and soaks the wall behind. Being unable to dry out efficiently the masonry retains the moisture which expands during frosty weather, pushing patches of render off the wall. Repairs to stucco mouldings around doors and windows should be carried out by a professional plasterer as considerable skill is required.

- **Windows and timber repair**

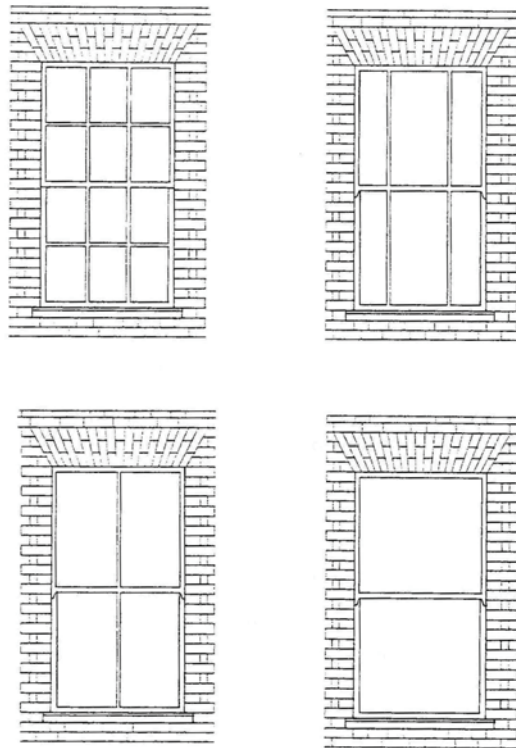
1.153 Timber windows, doors and occasional bargeboards are common. Most windows are timber sashes or casements, with a few unfortunate UPVC or aluminium replacements. The Victorian cottages are characterised by wooden, double hung sliding sash windows and small pane casements. The wooden sashes are usually of a recessed box frame style. This means the workings of the window, housed in boxes at either side of the frame are recessed at the reveals of the window opening. The actual style of the window is related to the age of the building and this should be borne in mind when considering repairs or replacement. Generally sash windows of the 19th century are characterised by the continuing trend towards more glass and less frame in window construction. Earlier 19th century sashes are especially characterised by thin glazing bars with a 6 over 6 pane glazing pattern. Mid 19th century windows often have 2 over 2 pane style windows and tend to have 'horns': small scrolled brackets at each end of the bottom rail of the top sash. These were designed to strengthen this vulnerable part of the sash, particularly against rot, and to support the larger, and heavier, panes of glass now being used. Towards the end of the 19th century a 1 over 1 pane pattern was common.



Picture 1.56 Generally inappropriate window styles for the Conservation Area



Picture 1.57 Generally inappropriate door styles for the Conservation Area



Picture 1.58 Examples of typical 19th century sash windows

1.154 The development of timber casement windows echoes that of sash windows, with small panes being replaced by gradually larger amounts of glass and smaller glazing bars. Otherwise, the basic design of casements has remained the same throughout the 18th and 19th centuries. Opening lights are usually hinged at the side and had a separate timber mullion in the centre to

separate the two leaves. The casements are flush with the frame. Modern windows with storm proofing, prominent trickle vents, and top hung vents result in bulkier frames that are not symmetrical and are not appropriate for historic buildings.

1.155 Thorough and regular painting and maintenance can prevent decay by moisture penetration. Careful repair is often cheaper than new work and is always preferable since it helps maintain quality and historical authenticity. There are now many firms specialising in the repair and renovation of existing frames. It is rare that timber features get in such a poor condition that repair is impossible and there are now many firms specialising in the repair and renovation of existing. Where wet rot is recognisable by cracked and wavy paintwork, the timber beneath being very soft, replacement sections can be pieced in, taking care that the original profile is accurately reproduced. Also, strengthening can be used. Repairs and replacements should be of the same type of timber as the existing, although hardwood is acceptable for window sills.

General points to remember during timber repair:

- For windows, the joints between the frame and the wall were traditionally filled with haired lime mortar. Modern mastic sealants can be disfiguring if carelessly applied or joints over filled.
- Where timber has decayed, cut back to sound timber, removing no more than is necessary
- Use preservative-treated timber in repairs.
- Sash windows should be glazed using steel sprigs and traditional linseed oil putty
- For sash windows, re-glazing may change the weight of the sash and require careful adjustment of the counterweights

1.156 Replacement should only be considered where repair is no longer possible and should normally be of the same design as that being replaced. Although some manufacturers have improved their designs, most fail to replicate the appearance of historic windows given larger sections, mitred joints, stuck on horns and glazing bars. What perhaps is most evident with UPVC, particularly when viewed alongside a timber window, is how rigid and totally symmetrical it remains. By contrast, timber will show movement and imperfect lines, features which add much to the appearance of an historic single glazed window. Regular painting can also enhance the appearance of timber whereas coated UPVC will remain lifeless and possibly start to yellow if facing south or west elevations.

- **Doors**

1.157 Traditionally doors would have been of soft wood and panelled in simple designs, with no glazing. Later doors had glazing in a light above the window or sometimes in the door itself. In Little Common some of the houses have particularly attractive simple boarded doors and it is encouraged that these are retained. Old doors may often be repaired and upgraded to meet safety concerns without damaging the character of the door. Replacements, if found to be absolutely necessary, should replicate these original styles. Modern designs in hardwood, aluminium and

wrought iron screens are not in character with the area. Many of the houses in Little Common have attractive pitched porches, which combined with the doors, make a very picturesque feature of the buildings.

- **Energy efficiency and windows/doors**

1.158 Although most heat loss is through the roof of a house, a lot can be lost through windows. This can lead to proposals for replacement windows and doors to increase energy efficiency but there are many cheaper and less intrusive works to consider instead including: window and door repair and improvement e.g. secondary glazing and draught proofing (see English Heritage 2009: Research into the Thermal Performance of Traditional Windows: Timber Sash Windows on www.english-heritage.org.uk) and appropriate loft and wall insulation.

1.159 Draught-proofing can include simply tightening up hinges slightly to reduce draught through window frames. Insulation strips or internal/double glazing can also reduce heat loss. Some draught-proofing keep out the weather by means of a snug, slightly oversized fitting, comprising silicone rubber tubes, polypropylene and nylon-filled pile brushes, or with rubber, polyester, or sprung-metal Z and V fins.

1.160 There are lightweight secondary glazing systems available, which have improved significantly in appearance as well as performance in recent years. Secondary glazing uses framed glass panels, which are attached on top of existing window frames internally. It is a cheaper alternative to replacement double-glazing but is nevertheless very effective and has the added benefit of ensuring there is minimum change to the external appearance of the building and would be unlikely to require planning permission although Listed Building Consent would be required for windows on Listed Buildings. Double-glazing is usually considered inappropriate for historic building and given the age, quality and value of windows within this CA it is unlikely that double-glazing would be appropriate.

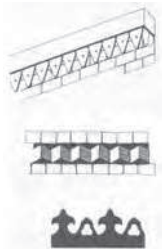
- **Microgeneration equipment**

1.161 It is likely that sustainability measures will lead to an increase in proposals involving solar panels and wind turbines. If well designed and integrated these should be able to be accommodated without disrupting local character. However, the sloping land makes this area particularly sensitive to such installations. They should therefore be carefully sited to protect streetscene views and historic built fabric. English Heritage has a range of guidance on the different considerations involved in the use of micro-generation technologies in CAs which can be accessed on their Historic Environment: Local management (HELM) website by entering energy efficiency into the search engine in the English Heritage section of the Guidance Library at www.helm.org.uk.

- **Details and Decoration**

1.162 Careful examination of individual properties often reveals that a number of details or decorative features have been used to varying degrees. Dentil courses and decorative brickwork string courses are often used, as well as different forms of brick arch to openings, and occasionally stone dressings and plaques. Chimneys too are important in helping to define the building's shape against the sky, and can often be heavily decorated. Many of the buildings have decorated ridge tiles that also add interest. All these features should be retained as they provide subtle individualism to properties that may at first glance appear to be similar. Such individualism and identity is much

more in keeping with the character of the area, than efforts to introduce modern elements to the buildings or components of other architectural styles and periods. Decorative ridge tiles and chimney pots are still produced and so where lost, these features could be re-introduced to restore the integrity of the original designs for the buildings.



Picture 1.59 Typical 19th century details and decoration

- **Satellite dishes, aerials and other sundry features**

1.163 Satellite dishes, conduits aerials can spoil the appearance of individual buildings and areas as a whole. Aerials should be placed on the rear roof slopes where they cannot be viewed from the road, and satellite dishes should be located on rear, or hidden, elevations, or more appropriately in the back gardens of properties. Similarly, a proliferation of rainwater goods can detract from the appearance of a building. These should be kept to a minimum, and any replacements should be designed to match those existing in terms of detailing, such as hopperheads and cross sections. They should also be made of sympathetic materials, ideally cast iron or aluminium.

- **Alterations and Extensions**

1.164 Guidance for the design of alterations and extensions can only be briefly covered in this document, and owners may therefore find it useful to discuss informal plans and sketches with the Conservation team prior to making any planning applications.

1.165 When considering applications for extensions, the Council has to consider their impact on the character of the area and whether that character will be preserved or enhanced by the proposals. A number of houses have extensions, the majority are to the roofs of the properties.

1.166 It is important that extensions are of a suitable size and location so as not to overpower the original building, or offset the symmetry of a pair of semi-detached buildings. In some locations extensions of any sort may be unacceptable, or only small single storey extensions may be acceptable. For instance, lodge buildings and some cottages have always been intended to be small scale dwellings and so extensions to these types of building may be very difficult or impossible to accommodate. Each case will be judged on its merits.

1.167 It is advisable that extensions are ‘stepped back’ from the main or front elevations so as to appear subservient to the main bulk of the building. A break in the ridge line also helps to give this effect. It is desirable that extensions should not obliterate architectural features such as chimney breasts, which would be difficult to reproduce if lost.

1.168 In all extensions careful attention should be paid to the nature, colour and texture of facing materials, the size, proportions and positions of windows.

1.169 Roof extensions are fairly common in Little Common with the use of flat roofed dormers on the Hill house outbuildings and on the terraced Victorian cottages in the core of the area. Such extensions can significantly change the appearance of a house and their effect on the roof profile needs careful consideration. It should be remembered that dormers are often not original features on many of the properties and that their introduction may seriously erode the group character of many buildings. Alterations to the front roof slope are better avoided so as not to disturb the composition of the front elevation. Dormer windows and rooflights may be acceptable on rear slopes. Both rooflights and dormers should be as small as possible and be designed to be as unobtrusive as possible.

1.170 If the provision of a dormer is acceptable, its appearance will be influenced by the following factors, each of which needs careful consideration;

- (i) **Scale**

1.171 The scale of the dormer in relation to the proportions of the existing building and roof slope and form, from which it projects.

- (ii) **Position**

1.172 Careful positioning should avoid the overlapping of existing hips and ridges and reasonable clearance should be allowed between the roofs of projecting bays, chimney stacks and verges.

- (iii) **Design**

1.173 The dormers should relate to the architectural style and design of the dwelling itself. Existing historic dormers and fenestration, including window design should be respected.

- **Re-surfacing and hard surfacing of front gardens and drives**

1.174 Planning permission is required to resurface, alter, enlarge or create areas of front garden hard surfacing. The key principle is that the hard surfaced area should be kept to a minimum, so that the soft, natural and green appearance of the conservation area is not depleted. Small extensions to the original hardsurfaced area may be acceptable, but gardens should remain as gardens, not car parks.

1.175 Materials should be traditional, natural materials in association with planting since generally, the ‘harder’ the material, the more visually damaging large areas of surfacing become. Shingle of an appropriate natural colour can be laid loose on the flat or rolled on a resin base which is both hard-wearing and attractive and can be used on gently sloping sites. This is a simple, traditional

surface which retains the softness of the area. Brick pavements when used in large expanses, such as driveways appear too harsh and garish and are less successful. Some forms of modern pre-cast paving, provided they are the sett type (small, square or rectangular units) can be successful. They should be laid in random courses, again to retain the informality in the streetscene. Natural materials, such as granite, weather well and can provide a simple, yet traditional, backdrop to the houses. However, modern concrete grey setts can be manufactured to have an older, more natural feel. Any hardsurfacing also needs ideally needs to be permeable or must direct water to a permeable area. To assist in recognising what constitutes a permeable material, the department for Communities and Local Government (DCLG) has produced guidance on driveways. This can be found at: <http://www.communities.gov.uk/documents/planningandbuilding/pdf/pavingfrontgardens.pdf>

- **Boundary treatments and accesses**

1.176 Care of the characteristic brick walls is outlined within the 'brickwork repairs' section above. Creation of new accesses that would break these up would not normally be appropriate. Within the core area, the retention of soft and low boundary treatments in the form of hedges or picket fences is important. Also, planting is often important as a boundary treatment including that on the western side of Wood Lane/Warren Lane and along the entrance to Stanmore Common and the brewery ponds.

- **Change of use**

1.177 As most buildings are single-family dwelling houses this contributes to the suburban character of the area. Conversion to flats would be detrimental as it would increase pressure for alterations and detract from the suburban character of the area.

- **Guidelines for Other Alterations/Extensions**

1.178 Within a CA the appearance and effect of a development on the recognised character of the area is especially important.

1.179 Extensions should not compete with, nor overpower, the existing form and scale of the original dwellinghouse. It is normally appropriate to set extensions back from the main or front elevation so as to appear subordinate and to avoid the obvious joint of new meets old. Also, the building lines of the properties are usually well defined. So, extensions should not intrude into this feature. Some properties (particularly 18th century ones) depend upon symmetry for their form and this should not be offset by extensions. Similarly, extensions wrapping around two or more elevations can greatly detract from the integrity of the original building's form and architecture. Where properties are detached or semi-detached side extensions can detract from the medium densities of development and the sense of openness and greenery of the area.

- **Requirements for Planning Permission, Advertisement Consent and Listed Building Consent**

1.180 Permission is required for certain development that would not normally require planning permission under national legislation as outlined within Harrow Council's guidance leaflet entitled: 'Conservation Areas Residential Planning Guidelines – Do I Need Planning Permission?' available

on the Council's webpage from: www.harrow.gov.uk/conservation). There are further planning controls for the residential properties due to the Article 4(2) Directions. Advertisement consent is also required for some advertisements and several properties are listed meaning Listed Building Consent is required for any internal or external works affecting their special character.

- **Historic Building Companies for Repairs and Alterations**

1.181 The Council can provide you with information on specialist historic building companies that will help you maintain and alter your buildings in a sympathetic manner. This never represents a recommendation by the Council but provides a starting point for research. The Building Conservation Directory is especially good at recommending products and services. The website address is www.buildingconservation.com.

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Stanmore Hill

Conservation Area Appraisal & Management Strategy



December 2013

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2.1 Introduction to the Conservation Area

2.1.1 Introduction

2.1 The Stanmore Hill Conservation Area (CA) comprises fine examples of residential houses and some commercial units dating from the 18th century to the early 20th century, on sloping land, amongst much greenery and historic walls. Buildings developed primarily as linear settlement along Stanmore Hill to serve travellers along this major route towards London; many of whom would have stopped at the Abercorn, an 18th century public house and hotel. Stanmore Hill and the top of Green Lane are characterised by a relatively dense urban nature, whilst further down Green Lane, medium-sized detached houses in spacious grounds dominate. There are numerous public and private areas of green space which add interest, and some historic street furniture and surfaces.

2.2 The CA is in the north-east of the borough, south of the Little Common CA which includes the northern reaches of Stanmore Hill. Its setting in relation to other CAs and an Area of Special Character and green belt land is shown on the map below.

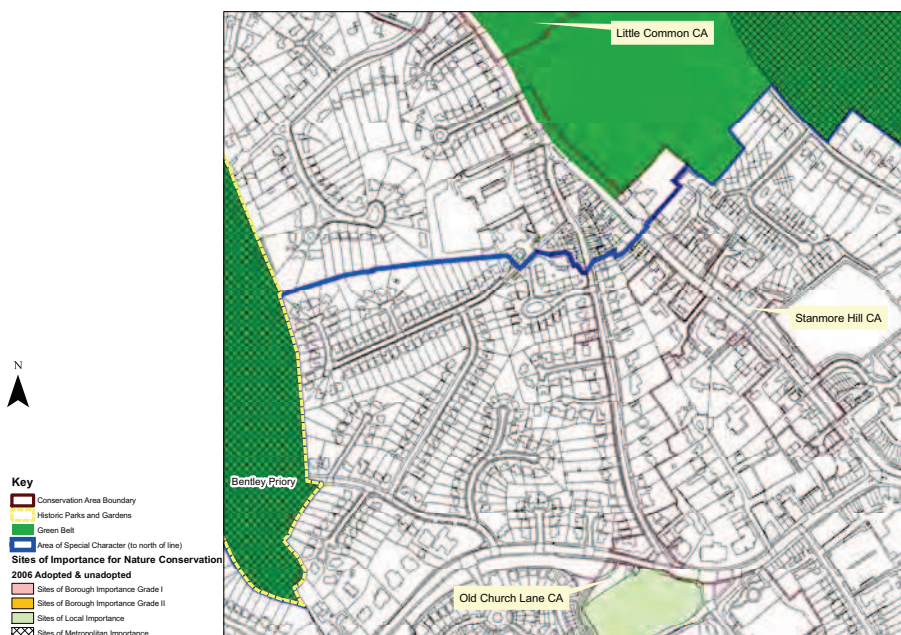


- | | |
|---|--|
| 1. Little Common, Stanmore | 21. Kipsley Hill Wood, Egham |
| 2. Stanmore Hill, Stanmore | 22. Abney Park, Finch |
| 3. Old Church Lane, Stanmore | 23. Abney Grove, Finch |
| 4. Pinner High Street, Pinner | 24. East End Lane, Pinner |
| 5. Tuckers Close, Pinner | 25. Pinnerwood Park, Pinner |
| 6. Woodch Hill, Harrow on the Hill | 26. South Hill Station, Harrow on the Hill |
| 7. Harrow School, Harrow on the Hill | 27. The Mount Park Estate, Harrow on the Hill |
| 8. Harrow Park, Harrow on the Hill | 28. Rotherham Park and the Grove, Harrow on the Hill |
| 9. Harrow St. Pauls, Harrow | 29. Moss Lane, Pinner |
| 10. Halsbury Hill, Harrow on the Hill | 30. Pinner Hill Estate, Pinner |
| 11. Brighthelm, Harrow Wood & Greenhouse Estate | 31. West Tuckers, Pinner |
| 12. West Drive, Harrow Wood | 32. Clonsilla Park Estate, Egham |
| 13. New Park, Harrow | 33. Goshale Hill (A11) |
| 14. Pinnerwood Park Estate, Pinner | 34. Pinner Lane |

Picture 2.1 Stanmore Hill Conservation Area in relation to the other conservation areas. © Crown copyright. All rights reserved 100019206, 2010

Stanmore Hill Conservation Area includes the following roads:

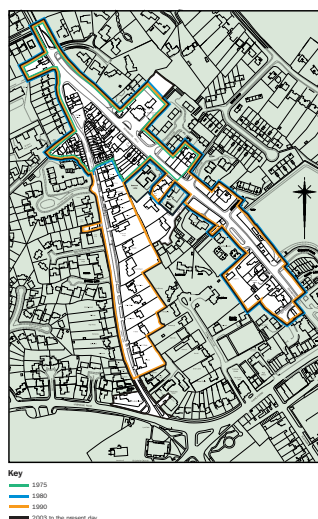
Stanmore Hill (in part), Green Lane, Halsbury Close (in part), Pinnacle Place



Picture 2.2 Stanmore Hill Conservation Area in relation to other designations © Crown copyright. All rights reserved 100019206, 2010

2.1.2 Planning Policy Context

2.3 The CA was designated in 1975 to encompass the area where Green Lane and Stanmore Hill meet, as well as the Abercorn. It was extended in 1980 and again amended in 2003. This meant, for example, extending the boundary to include all of the curtilage of the Abercorn. The following map shows the changing CA boundaries.



Picture 2.3 Changing Conservation Area Boundary © Crown copyright. All rights reserved 100019206 , 2010

2.4 Section 69 of the Planning (Listed Building and Conservation Areas) Act 1990 requires local authorities to determine those areas the environment of which is considered worthy of preservation and enhancement and to make these CA. A CA is defined as an area of special architectural or historic interest, the character or appearance of which it is desirable to preserve or enhance. Local Authorities are further obliged to formulate guidance and proposals for the preservation and enhancement of these CAs, and to pay due regard to the views of the residents and public in the formulation of guidance and proposals. These principles are reinforced by National Planning Policy Framework. The purpose of this Conservation Area Appraisal and Management Strategy (CAAMS) is to provide clear analysis of the architectural importance, character and appearance of the area, to help form the basis for making sustainable decisions about the area's future. It also identifies opportunities for enhancement along with guidance to protect the area's character.

2.5 This document was subject to public consultation and in December 2013 superseded the Stanmore Hill Conservation Area Policy Statement adopted October 2003. This document required updating to reflect the area's changes. It carries weight as a material planning consideration for assessing all development proposals. This CAAMS forms an appendix to the Stanmore and Edgware Conservation Areas SPD. It is set within the broader context of CA policy guidance for Harrow contained within the Local Plan. It is also set within the National Planning Policy Framework particularly pages 30-32. It is important to note that: **no appraisal can be completely comprehensive and that the omission of a particular building, feature or open space should not be taken to imply that it is of little or no interest.**

2.1.3 Summary of Special Interest

2.6 The Stanmore Hill Conservation Area (CA) comprises fine examples of residential houses and some commercial units using high quality traditional materials and detailing. These date from the 18th century to the early 20th century and are on sloping land, set amongst much greenery and important historic walls. Development is linear reflecting the way properties were introduced primarily to serve travellers towards London along the major route of Stanmore Hill; many of whom would have stopped at the Abercorn Arms, an 18th century hotel. Stanmore Hill and the top of Green Lane are characterised by a relatively dense, urban nature reflecting their development as a village core prior to enclosure and the nature of Stanmore Hill as a busy route, whereas further down Green Lane, there is a softer, lower density character, as medium-sized detached houses are in spacious grounds. The sloping land and mix of buildings, in terms of style, density and attractive grouping provide much interest and townscape quality; along with areas of public and private open space and historic street surfaces and furniture.



Picture 2.4 Streetscene along upper reaches of Green Lane



Picture 2.5 Locally listed historic brick wall fronting public highway, lower reaches of Stanmore Hill

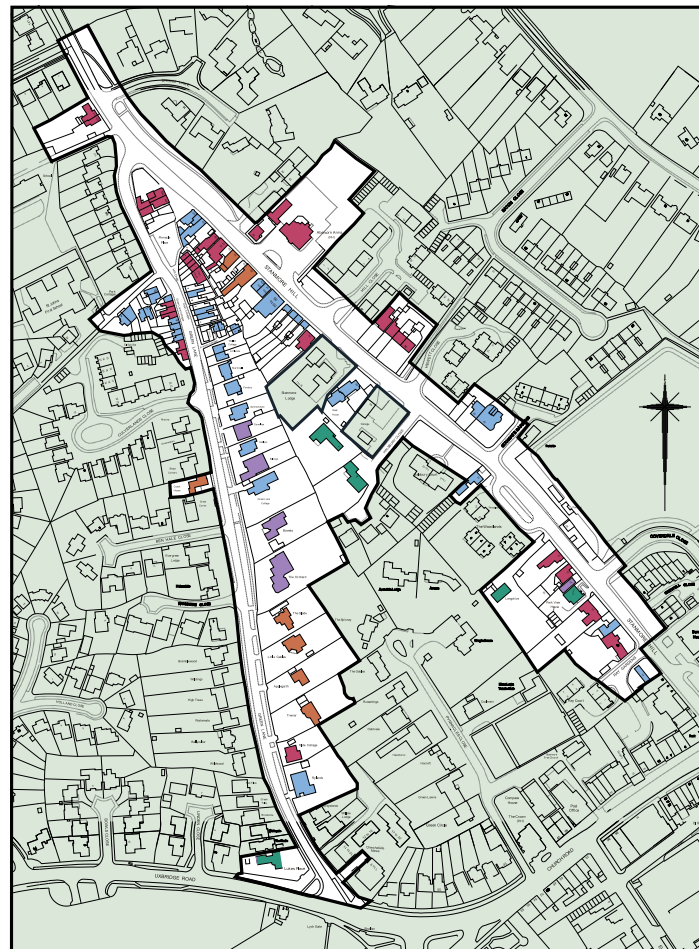








Picture 2.6 Streetside greenery along the lower reaches of Green Lane

2.1.4 Short History

- **Introduction**

2.7 The following paragraphs outline the area's historical development. The following map shows the ages of buildings. The age shown refers to the earliest known part of buildings.



Key	
	Conservation area boundary
	Pre 1875
	1875 - 1913
	1919 - 1944
	1945 - 1971
	Post 1913

Picture 2.7 Age of Buildings © Crown copyright. All rights reserved 100019206 , 2010

- **Early History of the Local Area**

2.8 The name Stanmore, means ‘stony mere’ or pool, and is first mentioned in 793 when the King of Mercia, Offa, granted lands including those in Stanmore, to the Abbey of St Albans. Entries in the Domesday survey refer to manors called *Stanmere*, owned by Robert Count of Mortain (William the Conqueror’s half brother and landowner) and *Stanmera* owned by Roger de Rames. The Count of Mortain’s lands later became Great Stanmore whilst *Stanmera* became Little Stanmore.

2.9 Originally Stanmore was sub-divided into two manors; Great and Little Stanmore. Great Stanmore had at its heart Stanmore Old Church (now in the Old Church Lane CA) and houses clustered near the bottom of Dennis Lane as well as Green Lane and Stanmore Hill, areas now within the Stanmore Hill CA. There was another cluster of houses further up the hill by the Common.

2.10 The head tenement in Great Stanmore was called Pynnales. The importance of this name to the area is evident as it is still seen in and around Stanmore Hill CA today. The earliest references to the Pynnales building suggest it was near the corner of Church Road and Stanmore Hill. The main house was later moved towards the Green Lane and Church Road junction and was a long building with a classical façade destroyed by fire in 1930. The remodelled former 19th century lodge to Pynnales House is contained within the CA, as a positive building within Cherchefelle Mews, built in the late 1980s. The name Pynnales also applied to land further up the Hill, mainly in the wedge between Green Lane and Stanmore Hill. Indeed today within the Stanmore Hill CA there is a ‘Pinnacle Place’; 1-5 Pinnacle Place are listed buildings on Green Lane.



Picture 2.8 Grade II listed 1-5 Pinnacles Place and Park House



Picture 2.9 No.5 Hill Crest, Green Lane

2.11 In 1588 a survey of the manor of Great Stanmore was undertaken. The head tenement, Pynnales, and Aylwards are mentioned as major land owners. But much of the detail appears to relate to buildings in and around The Broadway and Marsh Lane, which may indicate that Stanmore Hill was still at this time less heavily populated. Common arable fields still existed around Stanmore Hill as late as the nineteenth century.

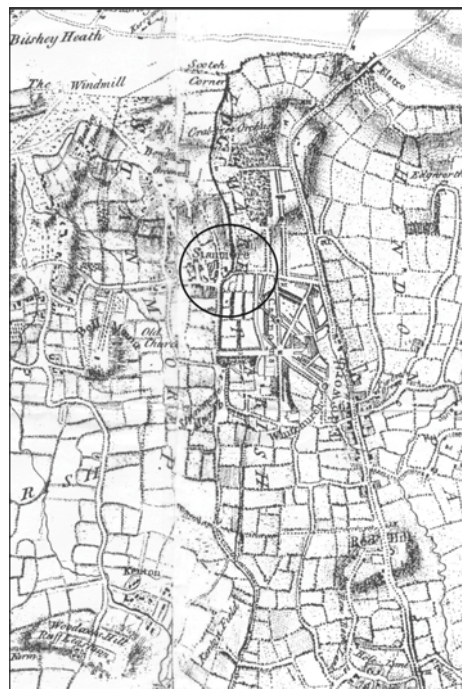
- **Patterns of growth - 18th Century**

2.12 Stanmore Hill became a main road following the creation of a new road to London by the Duke of Chandos to the north of Canons in 1718 (the current London Road). Those travelling from Watford descended Stanmore Hill before joining the London Road. After this re-routing, settlement developed along Stanmore Hill, Uxbridge Road and around Little Common CA. Stanmore Hill's linear settlement developed to serve travellers along this major route; many of whom would have stopped at the Abercorn, an 18th century hotel developed for the passing travellers. The Abercorn was named after the Marquess of Abercorn who acquired the nearby Bentley Priory Estate in 1788. It served many travellers on this busy route through Watford to the Midlands, encouraging further settlement on Stanmore Hill. Highwaymen apparently stalked this route since coaches moved slowly up the hill. Given this was now a principal route to London, gentleman's houses also developed.



Picture 2.10 Abercorn Arms Public House - mid 19th century print

2.13 Roque's map of Middlesex (1754) still shows development principally clustered around the foot of Stanmore Hill (which comprises the Stanmore Hill part of this CA). Some of the 18th century houses are still present. In contrast, to the importance of the Stanmore Hill route, it seems Green Lane was still very open and rural, reflecting its more green and spacious character today. It is known that in 1783 elm trees growing along Green Lane and a mixture of wood, probably from hedgerows there, were felled and sold.



Picture 2.11 Roque's Map of Middlesex, 1754 showing Stanmore Hill and Little Common © Crown copyright. All rights reserved 100019206, 2010

- **Patterns of Growth – 19th Century**

2.14 The Abercorn (formerly the Abercorn Arms) is also important for its history and associations. It was called the Royal Hotel after a meeting which took place there in 1814 between the Prince Regent, the King of Prussia and Louis XVIII. Louis was returning in state to France to reclaim the throne after spending his exile in Hartwell, Buckinghamshire. The Morning Chronicle of 21st April, 1814 describes a procession through the town in honour of the French King who had to be helped down from his carriage as he was so infirm. Louis had breakfast at the hotel. There were stables and outbuildings there for travellers horses. Coaches ran from outside the Abercorn to Oxford Street twice a day as early as 1826 and between Stanmore and Holborn from 1803.



**Picture 2.12 The Abercorn,
Stanmore Hill**

2.15 Given the importance of the Stanmore Hill route to London, from its 18th century origins, a tightly-packed core developed opposite the Abercorn, towards where Stanmore Hill and Green Lane join one another. The dense development partly reflects that this occurred before enclosure. Retail units developed. The 1851 Census revealed many shops, including specialist shops on Stanmore Hill. This was probably partly due to the large number of gentlemen's residences in the area, which also continued to develop along Stanmore Hill. There were 10 bakers, 16 dressmakers, 8 tailors, a watchmaker, a historical engraver and a bookseller. Later there was also a Smithy and a Post Office. The Smithy building remains, as does the post office, the latter now offices. There were also two general practitioners. Behind, in close proximity to these retail units, small-scale tightly packed cottages developed along Green Lane.

2.16 Land further south from this core, particularly along Green Lane was not developed to any great extent until development of former fields after enclosure which explains their relatively spacious, green character. Indeed, the 1864 OS map shows development did not extend along Green Lane on either side beyond Franklin and Green Lane Cottages. Either side of the road were open fields. Green Lane remained very rural until houses were built in the late 19th/early 20th century. Green Lane as it is today began to develop in the late 19th century when the west side was colonised by four new large residences. These were Culverlands to the north, Benhale, Woodside and Clodiagh. By 1896, the OS shows four houses on the east of Green Lane have replaced fields. By 1911, three extra houses had developed on the east side including Martinsell, Wallon Cottage and Littlecote.

2.17 Returning to Stanmore Hill, interestingly, a house called Woodlands, located approximately where the petrol garage is today, is on the 1800s OS maps and was owned from 1885 by Lord Halsbury, then Lord Chancellor. At the turn of the century 73 Stanmore Hill was part of the estate of the Earl of Halsbury. Edward Wilson lodged there between 1899-1901 when studying as a

doctor in Stanmore. He was offered a post as a junior surgeon and zoologist on board the Discovery for a voyage of Antarctic exploration with Captain Scott. He died during the 1912 Antarctic expedition. Cape Wilson in Antarctica is named after him. In 1898 the 18th century number 37 was acquired by Hendon Rural District Council as Council Offices with one of its rooms used as the council chamber.



Picture 2.13 Historical map - 1864-1894 © Crown copyright. All rights reserved 100019206, 2010



Picture 2.14 1913-1914 © Crown copyright. All rights reserved 100019206, 2010



Picture 2.15 1896 © Crown copyright. All rights reserved 100019206, 2010



Picture 2.16 1932-1941 © Crown copyright. All rights reserved 100019206, 2010

- **1930s onwards – Patterns of Growth**

2.18 From the 1930s development increased dramatically. Pynnales burnt down and so 10 acres was released for development. On Stanmore Hill, Stangate Gardens, Hill Close and Spring Lake and Halsbury Close extended as cul-de-sacs, whilst on the east, Old Forge Close, Kennets Close and Fallowfield developed. The 1935 Ordnance Survey (OS) shows four new houses on the field between Woodside and Clodiagh.

2.19 From the 1960s the main form of development was the infilling of large gardens on Green Lane. But relatively higher densities of development remain to the north of the CA where Stanmore Hill and Green Lane join one another, whereas low to medium densities of development remain elsewhere. Fortunately, back land development has been avoided.

2.1.5 Archaeology and geology

2.20 Archaeology and geology for this CA is considered in the overarching document entitled, Stanmore and Edgware CAs Supplementary Planning Document, in consultation with English Heritage.

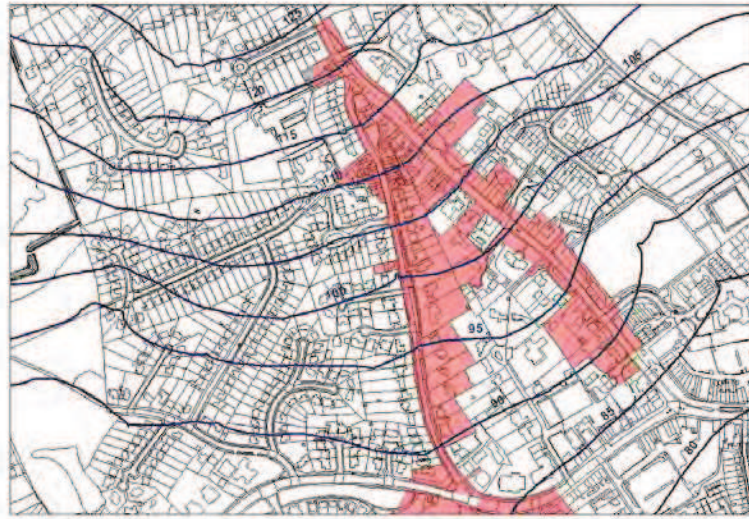
2.2 The Character of the Conservation Area Today

2.2.1 Density of Development, Topography and Plan Form

2.21 High density, linear development characterises the upper reaches of Green Lane (north of Wallon Cottage) and Stanmore Hill (from 73 to 113). This reflects the area's historic evolution. When Stanmore Hill became a main road to London a tightly-packed core developed due to the large amount of passing trade and as availability of land was restricted. So, the retail units cover quite long, narrow plots on Stanmore Hill. It also explains the small, densely packed groups of terraced cottages on Green Lane, with many directly fronting the pavement or with only a small front garden.

2.22 Relatively medium densities of development throughout the remainder CA are important as this helps create the spacious, suburban character. It is due to the generally detached nature of buildings. It is because the area was largely only infilled following subdivision of fields after enclosure. Reflecting the historic importance of Stanmore Hill as a route towards London, and its nature as a busy through road, densities of development here are higher.

2.23 There is a linear plan form to the CA along both Stanmore Hill, which runs from north-west to south-east, and Green Lane, which runs from Stanmore Hill in the north-west towards the south-west. Buildings along these routes usually face them. Along Stanmore Hill this is vital to maintain the vitality of its commercial units. Along Green Lane, Park Cottages and Franklin Cottages form two offshoots, reflecting higher densities of development. The sloping land from south east to north west along Stanmore Hill and Green Lane gives a basis for much of the area's character.

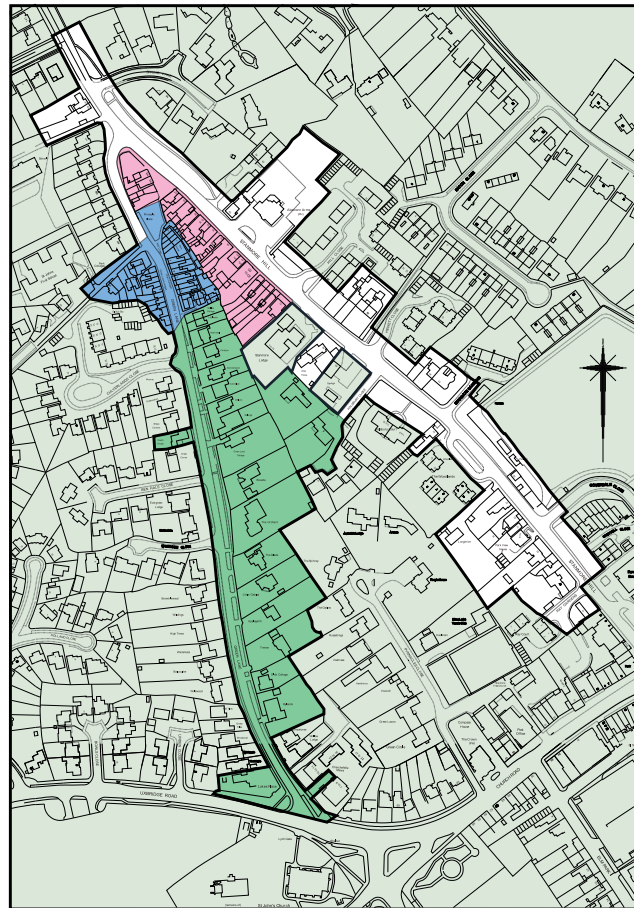


Picture 2.17 Topography © Crown copyright. All rights reserved 100019206, 2010





2.2.2 Townscape Character

- **General**

2.24 The slope from south east to north west along Stanmore Hill and Green Lane provides excellent long distance views and good views towards interesting architectural details or groupings. It allows interesting roofscape views, with chimneys, chimney pots and gables ends or shallow hipped roofs often stepped with the hill. Varied building designs provides interest, but common architectural qualities provide coherence (as outlined within the 'Architectural Qualities' section). The streetscene greenery complements buildings helping create the suburban character along with predominance of single-family dwelling houses. There is a linear character to development and in the historic core (towards the top of Stanmore Hill and Green Lane) a tight-knit and enclosed character exists due to the terraced development, whilst the remaining CA has more medium scale development. Notwithstanding generalities, there are four main character areas (as indicated by the next map).



Key

 Upper reaches of Green Lane	 Lower reaches of Green Lane	 Upper reaches of Stanmore Hill
 Stanmore Hill		

Picture 2.18 Townscape Character Areas © Crown copyright. All rights reserved 100019206, 2010

- **Lower reaches of Green Lane**

2.25 There is a pleasingly soft, suburban character here, particularly towards the south as the street has few road markings and is lined with single-family dwelling houses. Much greenery exists on both sides, in gardens, boundary treatments, grass verges and street trees. Garden greenery is valuable as mature trees proliferate creating a good sheltered character and lush setting to buildings. The road is busy with cars though (having got more so over the years) and plans are in place for traffic calming measures.



Picture 2.19 Streetside greenery, Green Lane

2.26 The character area has a quite spacious quality as development is of medium density comprising medium sized, detached houses, relatively widely spaced, set back, and contained in spacious grounds. Also, the road is wider here than further north and, particularly towards the south, gardens provide a sense of space as occasional glimpses into gardens and treetops can be seen from the road. The gaps and spaces between the buildings are very important here. They provide breathing spaces to the buildings. Towards the lower parts, greenery helps to create a sense of a low density of development as many buildings are partially obscured. Whilst there is not a rural character the openness and the greenery reflects the area's historical development which saw it developed on fields from 1900.



Picture 2.20 Public highways with wide grass verges, Green Lane



Picture 2.21 Medium scale properties, Green Lane



Picture 2.22 The Glade: medium scale property set in spacious plot, lower reaches of Green Lane



Picture 2.23 Modernist property, lower reaches of Green Lane

2.27 Less architectural unity exists than at the top of Green Lane, but common characteristics exist for example due to a similar building line and scale, usually not exceeding two stories, and traditional materials. Also, there is a common Domestic Revival influence, occasionally expressed as Tudor Revival designs. Also a few Modernist designs exist and importantly those with 17th century origins (namely Old Cottage and Rylands). Important high walls remain to Rylands and Cherchefelle Mews marking the presence of former historic large, detached houses. They define the street edge and provide a sense of entrance.



Picture 2.24 Cherchefelle Mews, lower reaches of Green Lane



Picture 2.25 Important historic brick wall of Cherchefelle Mews fronting public highway, lower reaches of Green Lane

- **Upper reaches of Green Lane**

2.28 The height of the land and steep drop away means notable long distance views towards the horizon, Wembley arch and greenery. There is a pleasingly traditional, village character as properties are humble, small-scale and simply arranged in terraces. There is a tight-knit feeling as no space is wasted: buildings are densely packed on tiny plots, the road is narrow, and many houses directly front the pavement, save for Hill Crest Cottages and Chart Cottages, which only have small front gardens. This reflects the historical development. The narrow pedestrian alleyways and pathways here, for example, from the top of Green Lane through to Stanmore Hill and also

the walkway just north of 12 Green Lane cottages that runs westwards from Stanmore Hill towards Embry Way, create a 'secondary' feel to this area in contrast to the principal buildings and larger plots found on Stanmore Hill.

2.29 Strengthening the village character of this area, there are few road markings and no signage. The public grassed open space by Pinnacles Place with mature central tree provides a focal point for views up Green Lane and unites surrounding buildings, like a miniature village green. Other garden greenery is invaluable by complementing the buildings' setting.



Picture 2.26 Public grassed open area, Pinnacles Place, upper reaches of Green Lane maintained by a volunteer group

2.30 All cottages are single-family dwelling houses, helping create a quiet quality. Their simple 19th century cottage character brings unity and coherence. They are primarily of yellow or red stock bricks with slate or tiled roofs, and original, timber windows and simple decorative details. Adding interest, terraces all differ slightly due to ordered repetition of simple decorative elements within groups. Their roofscape is notable given the shallow roof pitch (helping retain a humble scale) and as it is stepped with the hill's slope. The historic floor surface to Franklin Cottages complements their traditional character. Adding a good sense of formality, boundary treatments are either low brick walls or low permeable fences.



Picture 2.27 Terraced cottages and staggered chimney stacks, upper reaches of Green Lane

- **Upper reaches of Stanmore Hill**

2.31 This area is distinctive for its commercial character which adds streetscene vitality and reflects historical development which saw Stanmore Hill as a busy route to London. The commercial quality means buildings are tightly packed on the west on quite long, thin plots and shops front the pavement creating an enclosed character. Shopfronts indicate original uses and delicate historic detailing provides interest. The Abercorn is a key landmark. Its detached character and set back means it retains presence in the street. The shops opposite help create a relatively urban feeling, as does the broad width of Stanmore Hill and traffic level. But, no signage is internally illuminated and all is simply done, avoiding creation of clutter. Also, greenery within and surrounding Abercorn is important for softening the buildings' settings.



Picture 2.28 No. 97 Stanmore Hill, a barber shop which has a good, historic shop front



Picture 2.29 Landmark building within the upper reaches of Stanmore Hill

2.32 All buildings are of a medium to small-scale and use high quality traditional materials, excluding occasional poor quality replacement windows. Chimney stacks and pots add interest and help emphasise the hill's slope. The slope provides good views towards prominent building groups, for example, 75-81, 103-107 and 111-115 Stanmore Hill. 103-107 Stanmore Hill are distinctive as late 19th century asymmetrical composition in red brick with exuberant decoration. The corner turret forms a clear source of key views. 111-115 Stanmore Hill are notable for their ad hoc and timber clad character giving a sense of this being the earliest core area. Their particularly small scale and tightly-knit cottage character, and as they stretch back to Green Lane, means this part of the character area overlaps with the village character of the upper reaches of Green Lane. The public grassed space north of these buildings is invaluable for allowing excellent views towards these buildings and a soft setting. It provides a good visual focus at the junction.



Picture 2.30 Important public landscaped area provides a good setting to the Listed cottage-scale properties behind, junction of Green Lane and Stanmore Hill



Picture 2.31 Chimney stacks and pots add good character to the roovescape along Stanmore Hill

- **The remainder of Stanmore Hill**

2.33 An urban character exists here as the road is quite wide, busy and most pavements are narrow, and properties either directly facing the road or have only short front gardens. Whilst some buildings are terraced, some are detached or semi-detached and considerable streetscene greenery softens buildings' setting and obscures views of some properties thereby helping create a sense of medium densities of development. There is also a suburban character due to all but one buildings being a single-family dwelling house and given the greenery. For example, grass verges at the entrance to Hill Close and in front of the Abercorn and verges and trees north of 80 Stanmore Hill.



Picture 2.32 Public grassed area north of Abercorn, Stanmore Hill

2.34 Whilst buildings' designs vary, some display similar styles, such as Tudor Revival and Domestic Revival. Buildings' medium scale provides coherence as they do not exceed two storeys (though occasionally have a dormer). Certain buildings stand out for landmark architectural qualities such as white stucco fronted 42-44 (Goodengate) Stanmore Hill. This is attractive in the streetscape chiefly because it is set slightly back and because it employs stucco, which is not seen elsewhere in such quantity along Stanmore Hill. 129 and 60 Stanmore Hill stand out for their Victorian Gothic,

white render and mock timber framing. 60 is prominent given its good roofscape detail comprising attractive clustered chimneys. High historic walls to Halsbury Close and to 13 and 17 Stanmore Hill are another architectural quality. These create enclosure to the streetscene, as created elsewhere due to the dense greenery.



Picture 2.33 Grade II listed Goodengate, Stanmore Hill



Picture 2.34 Listed offices along the lower reaches of Stanmore Hill

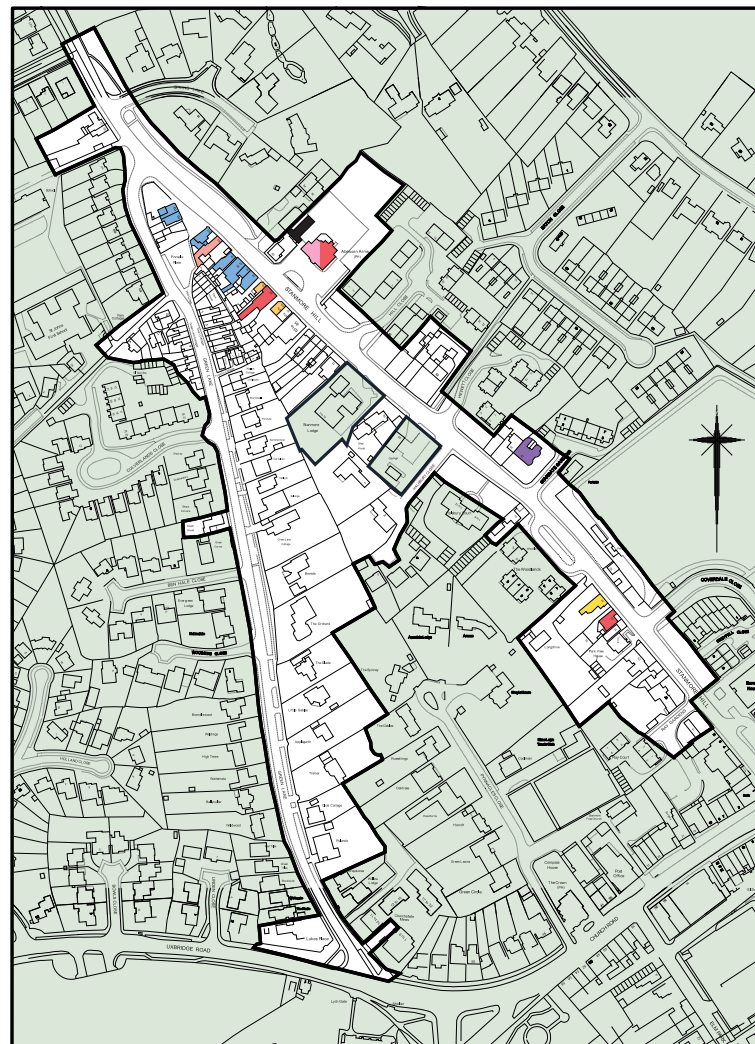


Picture 2.35 Locally listed no.129 and neighbouring no.130 Stanmore Hill





2.2.3 Activity and Uses Within the Area

2.35 The CA and immediate surroundings on Green Lane, predominantly contains single family dwelling houses (only one house has been subdivided into flats) which creates a quiet, suburban character. There is a commercial element comprising retail (A1), café (A3) and pub/restaurant (A4/ A3) use classes on upper reaches of Stanmore Hill giving a good vitality to the streetscene, and serves as a reminder of the area's historical evolution (see the 'Short History' section). The commercial aspects today are varied and include a beautician, a hair dresser, estate agent, an electrical shop and a cafe. Loss of such use classes, for example, by conversion to offices or residential units would detrimentally reduce the vitality of the area.

2.36 Around 2010, the Abercorn Arms was renamed The Abercorn. The long-standing use of the Abercorn is central to the CA's character and a key reminder of the area's historical evolution, as it was established in the 18th century to serve passing travellers on this once important route to London (see the 'Short History' section). It thereby helped ensure development of other settlement within this CA.



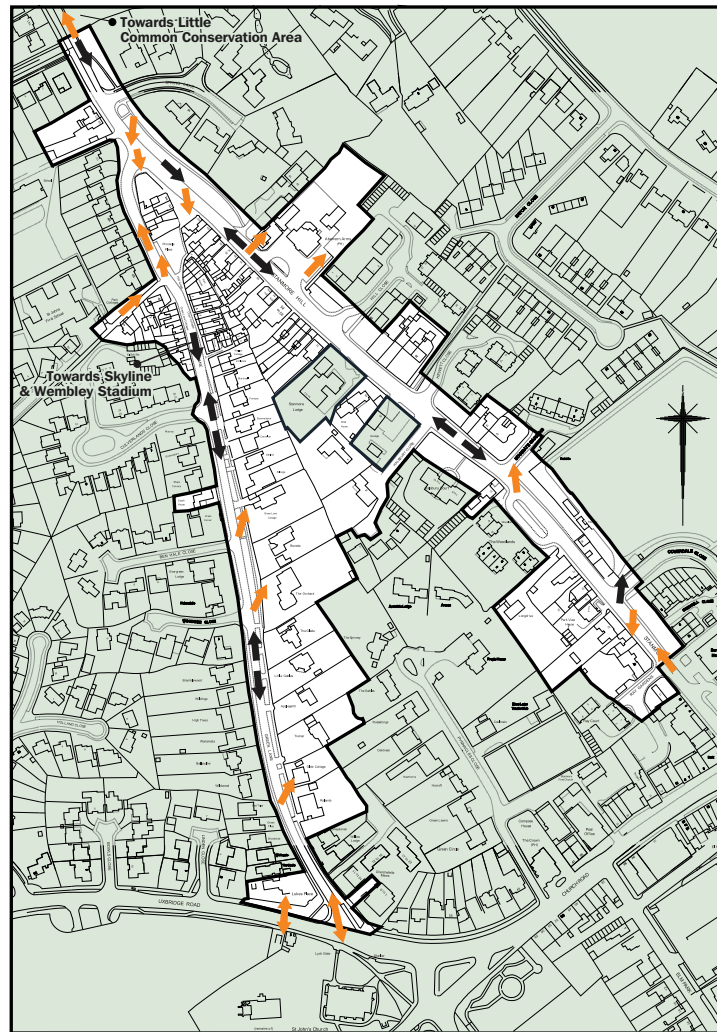
Key

 D1 - Non - residential institutions	 A2 - Financial and professional services	 C3 - Dwelling houses
 A1 - Retail	 A3 - Restaurants & Cafes	 Ancillary staff accommodation
 C3 Flats	 A4 - Drinking Establishments	

Picture 2.36 Land use © Crown copyright. All rights reserved 100019206, 2010

2.2.4 Key Views and Vistas

2.37 The next map is not comprehensive but indicates types of views that are important.



Key
 — Conservation area boundary
 ↘ Direction of view - short
 ↙ Direction of view - long

Picture 2.37 Important views and vistas © Crown copyright. All rights reserved 100019206, 2010

2.38 Key views within Stanmore Hill CA relate largely to the sloping land. This gives good views up and down the hills towards buildings and greenery, usually stepped with the slope, and good longer views out of the CA, for example, towards the Wembley arch from the top of Green Lane. Historic architecture provides a focal point for shorter views. Sources of such focal points include properties making a positive contribution to the CA. For example, the historic brick walls, brick corner turret to 107 Stanmore Hill, chimneys of 19 and 21 Stanmore Hill as you descend Stanmore Hill and the group of Listed Buildings at 111-115 Stanmore Hill.



Picture 2.38 Wembley Stadium arch seen in the distance from Upper Green Lane

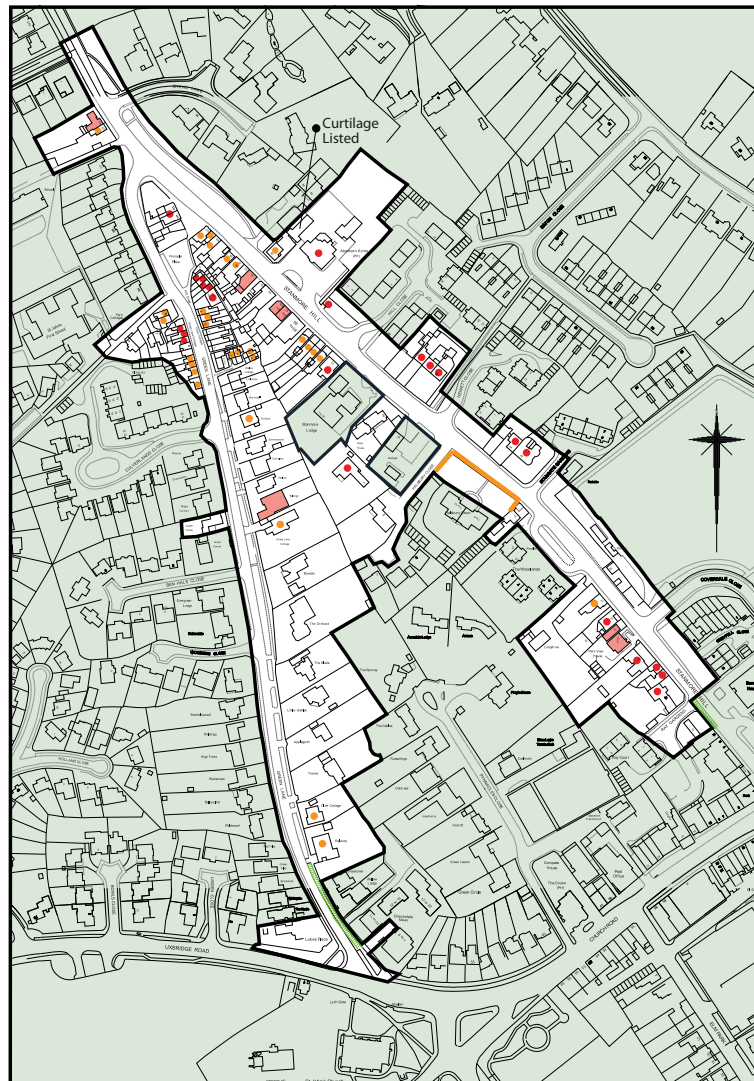
2.39 There are important views into and out of the CA. Important views out include those towards landmark buildings. For example, at the foot of Green Lane is St John's Church and views of the tower and the rest of the church can be afforded from parts of Green Lane. The green by Pinnacles Place acts as a similar focal point.

2.40 Greenery and open spaces are an important attribute (see 'Green Spaces and Ecology' section) as it helps to complement the setting of the buildings and create a soft, suburban character. It therefore forms another source of key views. For example, the view into Stanmore Recreation Ground is attractive and provides a green backdrop. Similarly glimpses into large gardens on Green Lane gives a sense of openness, and passers by benefit from their attractive flora.








2.2.5 Architectural Qualities

- **General**

2.41 The CA has various ages and styles of properties adding interest and dynamism. But, the CA also benefits from a cohesive architectural character due to similar use of high quality materials and architectural detailing (see the section 'Prevalent and Traditional Building Materials and Detailing'), and common styles, ages and scale. Buildings usually do not exceed two stories and, where there is a third, this is contained within small dormers in the roof. The generally high architectural quality means most buildings are listed or locally listed. Architectural qualities are described below according to the groups that can be identified as they feature common form or design and/or date to the same era. But the following is not an exhaustive look at architectural qualities.



Key

 Conservation area boundary	 Neutral buildings	 Locally Listed Walls
 Listed building	 Positive buildings	 Positive Unlisted Walls
 Locally listed building		

Picture 2.39 Positive Buildings © Crown copyright. All rights reserved 100019206, 2010

- **Shopfronts on Stanmore Hill**

2.42 No. 83 to 113 Stanmore Hill form a distinct group given their shopfronts. This reflects the historic development of the area. Some are good original, or nearly original, for example, 103-105 and 111. These are wooden and not overly ornate but generally of traditional design with well proportioned fascias, entablature, stallrisers and windows divided by mullions and transoms. These shopfronts reflect the design and style of the rest of the building. 97 also retains its historic shopfront but uses delicate cast iron framing rather than timber, and incorporates leaded lights at the upper level and a good recessed entranceway. 107 is notable for its attractive hanging sign. Where lighting is used currently this is as simple, external lighting not internally illuminated which would be inappropriate.



Picture 2.40 Attractive hanging sign at no. 107 Stanmore Hill



Picture 2.41 Locally listed nos.103 to 107 (odd) Stanmore Hill

2.43 Some shops (including 83-85, 87-89, 91 and 93) present opportunity for good quality replacements. These have been replaced with inappropriate new shopfronts, or have had other inappropriate alterations including the insertion of large expanses of plate glass or louvre windows which create an inappropriate modern character, detracting from the streetscene. Sadly some fascias are not in proportion or of traditional materials.



Picture 2.42 Shopfronts that present opportunity for good quality replacements ie 83, 85, 87 and 87b Stanmore Hill



Picture 2.43 Nos. 89 to 91b Stanmore Hill

- **Decorative Victorian Properties, Stanmore Hill**

2.44 Some properties form an identifiable (yet slightly dispersed) group as they each have a Tudor Revival character. Nos. 129 and 131 Stanmore Hill are in a mix between a Tudor revival and Gothic style with black timber detailing and white render. Further south, The Cott, no. 80, dates from 1839 with 1907 alterations by EH Appleton, has a Tudor Revival character. It features first floor mock timber framing and white render, tall chimney stacks and fishscale roof tiles.



Picture 2.44 Locally listed, The Cott, no. 80 Stanmore Hill

2.45 Other notable ones include nos. 19-21 which form a semi-detached pair of red brick houses. These have excellent decorative detailing given diaper work and delicately carved timber bargeboards on the gable ends facing Stanmore Hill. Decorative timber brackets neatly support the overhanging roof and gauged brick arches are above windows incorporating both red and blue bricks and each window is topped by a white render key stone. The property forms a symmetrical pair yet sadly two first floor sash windows have been replaced with UPVC casements detracting from this. Early Victorian no.s 56 and 58 have similarly attractive decorative details. They display red brick gauged brick arches above windows, decorative ridge tiles and numerous gable ends including one above its porch, with fretted timber bargeboards.



Picture 2.45 Diapor detailing on 19-21 Stanmore Hill

2.46 Nos. 75-81 form a good Domestic Revival group of four late Victorian/early Edwardian two-storey mirrored pairs. They are similar to Domestic Revival style properties found on lower reaches of Green Lane. The front elevation of each is broken up well by a two storey projecting bay, front porch and the contrast of the render face to the first floor with ground floor red brick.



Picture 2.46 Grade II* listed no.73 and nos. 75, 77, 79 Stanmore Hill

2.47 The white stucco frontage of the Listed 42-44, Goodengate ensures it is a landmark. Its central porch facing Stangate Gardens with Doric columns flanked by stone bay windows forms a focal point. On the west elevation key decorative elements include the fanlights to ground floor windows, and iron balcony underneath the three central windows at first floor with timber boards in front of the French windows.

2.48 Others include 83-85, 97 and 103-107 (odd). As well as their good shopfronts, nos. 83-85 feature attractive, large one over one pane sash windows to the first floor with soft gauged red brick arches above containing yellow keystones and bookends to these arches. 97 likewise features good decorative details at first floor given its render banding detail, its sash windows with stucco surrounds and gable bargeboards. The decorative timber board continues all along beneath the eaves facing Stanmore Hill. 103-107 (odd) Stanmore Hill is a late 19th century asymmetrical composition in redbrick with similar decorative details to 83-85 but more exuberant decoration. It features, for example, a brick moulded arch to the front floor window, bulls eye window, decorative doorcases and an oriel window. Most noticeably it contains a finialed octagonal corner turret.



Picture 2.47 Roofscape of locally listed nos. 103 to 107 (odd) Stanmore Hill



Picture 2.48 Corner turret at locally listed no. 107 Stanmore Hill

- **Other Victorian properties along Stanmore Hill**

2.49 99 Stanmore Hill forms something of an architectural and historic landmark as its architectural characteristics signal its origins as a forge, namely: its single storey level, open area to its north and large opening facing Stanmore Hill. Its brick dentil course beneath its eaves and single cast iron window on the front elevation with rosettes at the junctions of the glazing bars are good decorative details. Much of its interior still retains its mid 19th century fittings.

2.50 The Victorian no. 51 differs slightly to other properties along Stanmore Hill as it has a simpler, more rustic design. It is faced in white render and uses relatively small leaded light casement windows and is topped by a double pitched hipped tiled roof with tall chimneys. It adds particular interest to the streetscene given its location forward of other adjacent buildings which are set back behind relatively high boundaries, and due to its underpass beneath the first floor on the south-west side of the elevation fronting the highway.



Picture 2.49 No. 51 Stanmore Hill

- **Relatively restrained, elegant 18th century architecture, Stanmore Hill**

2.51 These are some of the most important within the CA. 17, 23, 37, 73 and 78 (18th century in part) form a clear group as the elegance of their decorative designs links them together, in contrast to more exuberant Victorian properties. All have good symmetry to their designs (either in whole or in part) and less prominent chimneys. Their sash windows without sash horns signals their 18th century origins.

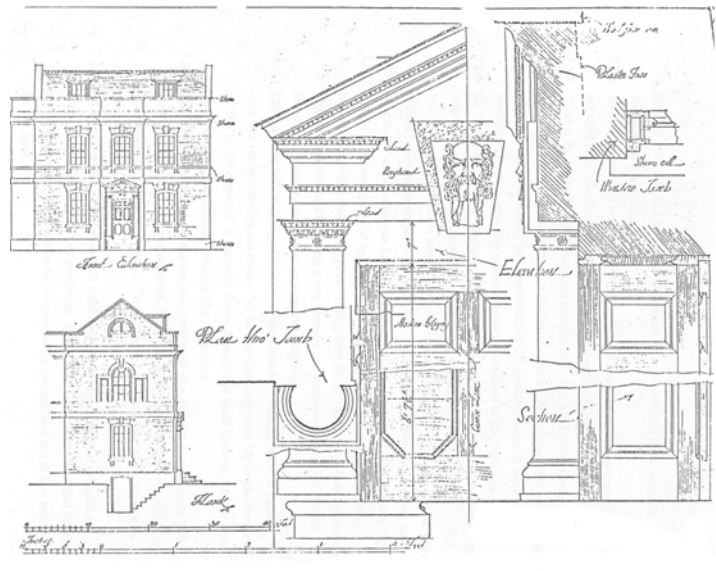


Picture 2.50 Grade II* listed 73 Stanmore Hill

2.52 17 is a listed red brick house. Its tuck pointing is very important since this gives the property a grand yet elegant appearance. Mortar joints are made to appear very fine as most of the mortar is coloured with brick dust so that it matches the brick. 23, Nunlands, dating to 1720, with later 19th century stucco refacing, is notable for its fine doorcase and fanlight. It features good render banding detail just beneath the eaves and window arches. 73 is a red brick grade II* listed house dating from about 1730 and is one of finest within the CA. It features in Richardson and Eberlein's 1935 book "The Smaller English House of the Later Renaissance 1660-1830" as a particularly good example of this type of housing. It has an excellent doorcase with a keystone carved with a bearded face. Importantly, the house retains old glass in the windows. It was once the police station and cells were below ground – iron bars on the windows are still visible. It also features gauged brick arches above the windows. It is also notable for its historic associations as outlined within the 'Short History' section. The white render frontage to no. 37 ensures it stands out as does its quoin detailing. No. 52-54 form another key 18th century group but are cottages, so have a smaller and more picturesque character.



Picture 2.51 Grade II listed, Nunlands, 23 Stanmore Hill



Picture 2.52 Details from 73 Stanmore Hill

- **1930s Modernist houses on Halsbury Close, just off Stanmore Hill**

2.53 These are two buildings by the notable German émigré architect Rudolph Frankel (1901-1974). Number 1 was built in 1938 for Frankel's sister and is listed as being "one of the most elegant and least altered private houses erected before the Second World War". The house is a brick cube with a cut away corner on the garden side to create a porch and there is a brick cube in front which forms the garage. The parapet walls have thin stone copings. Number 2 is also by Frankel, and number 10 in Pinnacles Close, is thought to be by the same architect. Both have been altered. This group creates a good link to Green Lane's Modernist buildings.



Picture 2.53 Modernist property on Halsbury Close

- **K6 Telephone box**

2.54 A small landmark building within the CA is the listed red telephone box outside the Abercorn. This is of K6 design by Sir Giles Gilbert Scott. The K6 (kiosk number six) box was designed in 1935 to commemorate King George V's silver jubilee.

- **Modest, terraced 19th century cottages, upper reaches of Green Lane**

2.55 These attractive groups cottages share some basic architectural qualities. These relate to their simple, small-scale terraced style and elegant original detailing. Important traditional detailing is most evident within their chimneys (with dentil courses), decorative ridge tiles, clay chimney pots, windows and softwood panelled doors. Windows are usually wooden, double hung sliding sash windows but occasionally have delicate cast iron (or less often timber), small pane casements. Whilst casement windows are usually flush with the building's face, wooden sashes are of a recessed box frame style meaning a deep 'reveal'. Reveals are important as these produce light and shade to the building's face and a visual break to the continuous surface of these building's façade. The softwood doors comprise square and rectangular panels and sometimes decorative glass elements. The windows to 11 and 12 Green Lane Cottages are more striking here given their Gothic, metal windows.



Picture 2.54 Small scale cottages, Green Lane

2.56 Ordered repetition of simple decorative elements within groups adds interest and helps unify buildings whilst making them slightly different from their neighbours. For example, use of dentil courses or contrasting brick designs are particular to some terraced groups, whilst white first floor weatherboarding and timber brackets beneath the eaves unifies another group (7, 8 and 9 Green Lane Cottages). Brick arches above windows unify some groups, and are particularly

notable where these are gauged brick arches, whereas sometimes windows are set directly below the eaves at first floor level. The simple pitched slate roofs of the porches of numbers 1-4 Pinnacle Place unify this group whilst the use of recessed front doors unifies most other properties. Chimney pots to 3-5 Green Lane are unified by circular banding detail. Door recesses are important as they produce light and shade to the face of the building and visually breaks the face of the building's facade for example at 1 and 2 Hill Crest where recesses are most pronounced.



**Picture 2.55 Pinnacles Place,
Green Lane**

2.57 Other basic architectural qualities help unify this area, namely their locally available London stock brick construction (usually soft red, but sometimes yellow) with slate or tiled roofs and low roof pitches. One terraced group is unified by use of the low pitched roof concealed by a parapet at eaves level topped by spheres for decoration. Usually there is a cohesiveness via the roofscape as roofs are hipped. The exception to this are those just behind Pinnacle Place which are unified by their gable ends facing Green Lane and numbers 1-4 Green Lane which have an unusually angular parapet wall, also known as a Butterfly Roof. The largely unchanged architectural character of all cottage properties helps unite and enhance them, although some of Park Cottages, off the main road, have been significantly extended and unfortunately number 3 Hillcrest Cottages has been dramatically altered and three brick frontages have been painted.



**Picture 2.56 Nos. 1-4 Green
Lane are unified by their
angular parapet wall, also
known as a Butterfly Roof**



**Picture 2.57 No. 12 Green
Lane Cottages and its
decorative brick quins
and brick surrounds to
windows**

2.58 Some cottages architectural details which help ensure they stand out from the neighbouring cottages, yet all of these have a subtle quality. For example, 10 Green Lane Cottages has decorative banding detail on the roof and Tudor revival elements to it with its black timber against white render

first floor facing and oriel window. 5 Green Lane Cottages has timber window shutters. 1 and 2 Hill Crest and 11 and 12 Green Lane Cottages feature brick quoins and Park House has one blind painted window. 1 and 2 have late Victorian decorative alterations such as ornamental terracotta end pieces on the ridge. 1 Green Lane has an ornate plaster doorcase and 11 and 12 Green Lane Cottages have yellow brick dressings. The Cottage Green Lane features attractive curved bay window, whilst the round chimney pots to 1 Franklin Cottage features decorative crown tops. 1-4 Pinnacle Place's plaque dating to 1822 signals the unity of the group and shows their relatively early age.



**Picture 2.58 Franklin Cottages,
just off Green Lane**

- **Small-scale cottage character shops**

2.59 111-115 are a group of small listed buildings which give an impression of the original village character and complement the Green Lane cottages. Dating from the 18th and 19th centuries, with some Gothic arched windows they form a pleasant, prominent group. 111 was formerly an abattoir and now has an attractive shopfront.

- **Domestic Revival style, medium scale detached houses, lower reaches of Green Lane**

2.60 Properties south of Franklin Cottages have less architectural coherence than on upper reaches but nevertheless share some important architectural characteristics. There is a Domestic Revival influence to many meaning there are usually gable ends of varying sizes and facing different directions and steeply pitched, tiled roofs and prominent chimneys with clay chimney pots giving an interesting roofscape and bay windows and clay tile hanging. For Green Lane Cottage, Little Gables, Fordyce, The Orchard and Lukes Place this Domestic Revival influence is expressed by Tudor Revival characteristics. For example, via mock timber framing set against white render, oriel windows, jetties, herring bone patterns to bricks, and timber casement windows with small leaded lights. This creates a rustic, rambling architectural character. Notably, use of timber casement windows is a common characteristic along the lower reaches of the hill.



Picture 2.59 Medium scale Domestic Revival style, Green Lane



Picture 2.60 Prominent chimney with clay chimney pot, decorative ridge tiles and tile banding detail, Green Lane

2.61 Whilst some properties are relatively plain, each has an element of interest. Rylands is notable for decorative clay tile creasing and brick banding detail. Two properties feature simple timber bargeboards, whilst Green Lane Cottage, Rylands and Vahljohn use small gablets. Vahljohn has added interest via diamond patterns facing its front bay and its Gothic influenced front door. Fordyce (1908, designed by K Wilson) is notable for tile banding roof detail, decorative ridge tiles and brick and clay moulding within side gables, whilst Applegarth features an attractive header course between floors. Texture is added most properties' faces (including Coach House, Vahljohn, Applegarth, Summerdyne, Matinsel, Littlecote and Fordyce) due to use of differing materials. For example, some combine brick surfaces with tile hanging or weatherboarding, or use white render at first floor level to contrast with red brick surfaces at ground floor level. Littlecote and Martinsell were built around 1910, constructed by Francis Creamer, a local builder.



Picture 2.61 Tile hanging on gable ends, Green Lane



Picture 2.62 Vahljohn, Green Lane a positive unlisted building

- **Modernist style buildings, Green Lane**

2.62 20th century Tremar and Boveda stand out due for their Modernist influence featuring strong geometrical forms and white rendered faces. Tremar was built in 1935 by AL Abbot. Its curved front entrance block with single storey projecting bay and attractive stone slate roof form the focal points. It once featured delicate Crittal windows to complement the Modernist style. Though replaced, replacements' design does attempt to replicate the originals. The focal point of the design is the strong asymmetrical shape of the main block of the building along which encloses a recessed balcony and garage within a semi-circular shape. This recess brings a good sense of light and shade. Its small triangular uppermost window and pantile roof, picked up on in the style of the entrance gate piers of this building, are of note. Their style links them with those on Halsbury Close.

- **Houses with 17th century origins**

2.63 Olde Cottage probably is from the 17th century although altered a fair amount since. It stands out as it is a relatively low of irregular timber framing, using white washed weather-boarding. Its weatherboarding is complemented by its white picket boundary treatment. Otherwise its key features are its prominent gable end and steeply pitched hand-made clay tiled roof. These rustic, picturesque characteristics mean it fits in with surrounding Domestic Revival architecture.



Picture 2.63 Old Cottage, Green Lane

2.64 Rylands (c.1880) is a well designed and of Domestic Revival style. It contains 3 timber framed bays possibly from a 17th century barn and its garden contains a substantial section of the wall of the original Pynacles House. It has an attractive boundary wall running along the street.

2.2.6 Prevalent and Traditional Building Materials and Detailing

2.65 High quality traditional detailing and materials are usually used, including Welsh slate, red clay tiles, timber (windows, doors and bargeboards), cast iron (windows), red and yellow stock bricks and stucco. Stucco is white render comprising lime, sand and water. It owes its origins to the Italian plasterers or 'stuccatori' who introduced the craft to northern Europe. It is a durable way to weather-proof walls and creates an attractive appearance, for example, at 42 Stanmore Hill. For some Green Lane properties and 75-81 Stanmore Hill the render face has been textured, adding character. Adding cement to the render would be inappropriate since this detracts from the essential breathability of traditionally constructed buildings.



Picture 2.64 Decorative timber bargeboard on the Tudor Revival style 129 Stanmore Hill



Picture 2.65 Decorative timber bargeboards, and clay ridge tiles and historic timber sash on a property along Stanmore Hill

2.66 Historic boundary walls are important. These mark the boundaries of earlier large detached historic houses which have since been replaced and therefore help illustrate the area's historical development. They create a formal boundary and complement the main house's materials and style. They are usually red brick and, for 42 Stanmore Hill, white render. Brick ones include the walls to 13, Churchfelle Mews, wall to Halsbury Court 17, and 73 Stanmore Hill. The latter two are curtilage listed. Where the walls are quite high their added height is desirable in these instances. Rylands is notable as it contains a substantial section of the wall of the original Pynnacles House.



Picture 2.66 Locally listed wall outside Halsbury Court, Stanmore Hill

2.67 This provides a distinct entrance to the CA from Green Lane. All these tall, historic walls add a good sense of enclosure to the streetscene. Though lower, the historic walls to numbers 17 and 73 Stanmore Hill are similarly important as they complement the setting of the associated building, and add interest to the street scene.

2.68 Most properties use decorative detailing. For example, dentil courses and decorative brickwork string courses, and decorative banding details are often used, and different forms of brick arches, and occasionally stone dressings and plaques. Decorated ridge tiles add interest. These details should be retained for providing subtle individualism and identity. They are more in keeping than efforts to introduce components of styles and periods alien to the area or introduce very modern features or details.

2.69 Buildings' heights are usually stepped to reflect the slope of the hill, emphasised by the chimney stacks and pots. This is very noticeably on steeper, higher reaches where properties are generally closely spaced. Occasionally on upper reaches of Green Lane roofs may not be stepped, but nevertheless properties are roughly the same height.

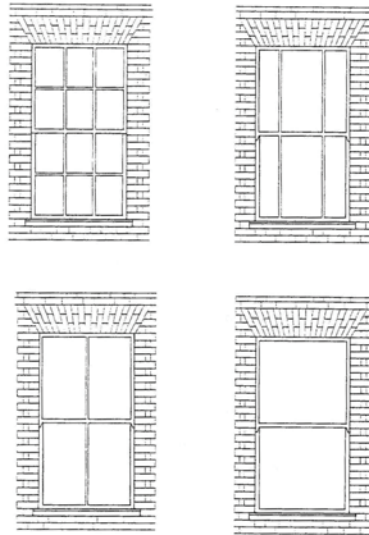
2.70 Prevalent use of traditional, usually original windows and, less often, traditional, doors brings coherence and so should be retained wherever possible. Doors are of timber and panelled in simple designs and, originally would have had no glazing, although some later ones have some attractive stained glass windows higher up. Windows are usually timber double hung, recessed box frame sashes. Their box frame means the workings of the window, housed in boxes at either side of the frame, are recessed at the reveals of the opening. Reveals are important as these produce light and shade to the face of the building and a visual break to the surface of the building façade. There are also delicate iron and timber casements, more usually flush with the face of the building, unless they have a small reveal.



Picture 2.67 Timber casement windows and brick banding detail on Park Cottages on a small side road off Green Lane

2.71 The style of the windows varies as style is related to the building's age. This should be borne in mind when considering repairs or replacement. So, generally it should be noted that 19th century sash windows are characterised by the continuing trend towards more glass and less frame, as glass was becoming cheaper to produce. Earlier 19th century sashes are especially characterised by thin glazing bars with a 6 over 6 pane glazing pattern. Mid 19th century windows often have 2 over 2 pane style windows and tend to have 'horns': small scrolled brackets at each

end of the bottom rail of the top sash. These were designed to strengthen this vulnerable part of the sash, particularly against rot and to support the larger, and heavier, panes of glass now being used. At the end of the 19th century a 1 over 1 pane pattern was common.



Picture 2.68 Examples of typical 19th century sash windows

2.72 Development of timber casement windows echoes that of sash windows, with small panes being replaced by gradually larger amounts of glass and smaller glazing bars. Otherwise, their basic design remained the same throughout 18th and 19th centuries. Opening lights are usually hinged at the side and have a separate timber mullion in the centre to separate the two leaves. Modern windows with storm-proofing, trickle vents, and top hung vents result in bulkier frames are not symmetrical and open in non-traditional ways so appear incongruous. Likewise, where double glazing has been introduced this can result in a far deeper reveal and glazing bars that appear to be ‘stuck on’.

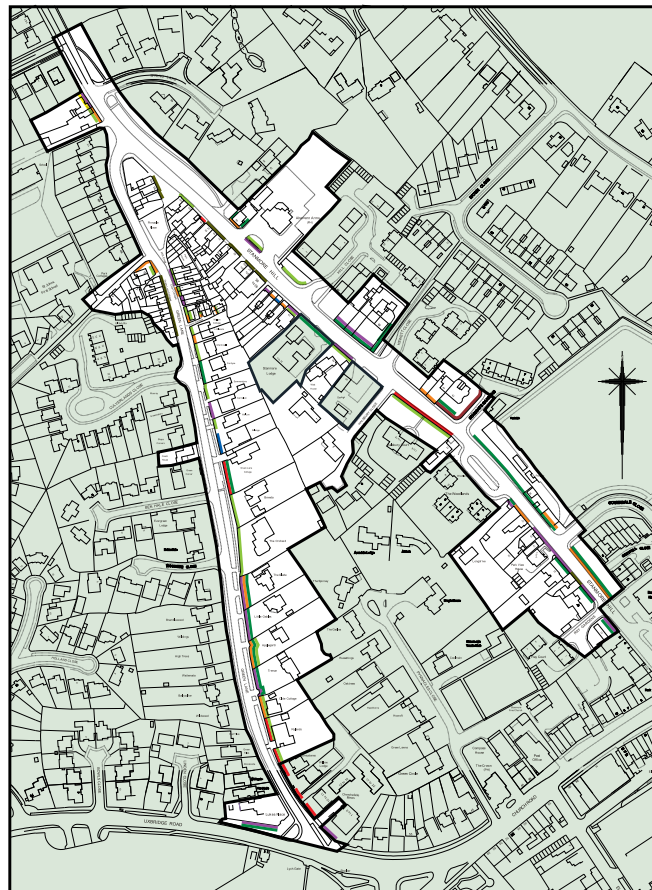
2.2.7 Streetscape

2.73 The floorscape, street furniture and boundary treatments are vital to the historic and soft, suburban character of the area. They are considered in the following paragraphs.










- **Boundary treatments**

2.74 Boundary treatments are important as they give definition to the street scene, maintain the distinction between public and private space, and help retain a sense of enclosure within the road. So, accesses are usually well screened by planting and kept to a minimum. Increases in number of car accesses would break into the boundaries and grass verges, and reduce the amount of

planting. In contrast to the east side, the west of Green Lane (outside the CA), front gardens are usually open to the street either without boundaries or with simple low walls, to the detriment of the CA setting.



Key

 Hedge	 Low Brick Wall
 Vegetation	 No Boundary Treatment
 Fence	 Building Fronts Pavement
 Medium To High Brick Wall	 Low Metal Railings
	 Low Render Wall

**Picture 2.69 Boundary Treatments © Crown copyright.
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2.75 The boundary treatments help create the soft, suburban character rather than a hard urban feel as the range includes good informal, semi-rural dense planting, wooden fences no higher than 1.5m, hedges and (usually brick) walls of less than 1m, often combined with planting and very occasionally metal railings. Some of the taller walls are historic brick walls marking the boundaries of large houses. The variety adds streetscene interest. Boundary treatments are usually low adding interest by allowing pleasant views into gardens. The soft, suburban character to the streetscene created by boundary treatments is complemented by treatment of car accesses which are usually open but otherwise use low timber, rural style five bar gates or other soft, permeable gates, rather than tall and/or hard, metal urban treatments. The importance of historic walls to the CA is covered in the 'Prevalent and Traditional Building Materials and Detailing' section.



Picture 2.70 Soft suburban character, middle of Green Lane



Picture 2.71 Soft picket fencing surrounding the locally listed The Cott, no. 80 Stanmore Hill

2.76 Notwithstanding the importance of boundary treatments to the streetscene, along the top of Green Lane and towards the top of Stanmore Hill on the west side there is a slightly more formal character given the number of cottages (such as Green Lane Cottages) and the shopping parade, which directly face onto the pavement thereby omitting the need for boundary treatments and creating a slightly harder and more enclosed character.

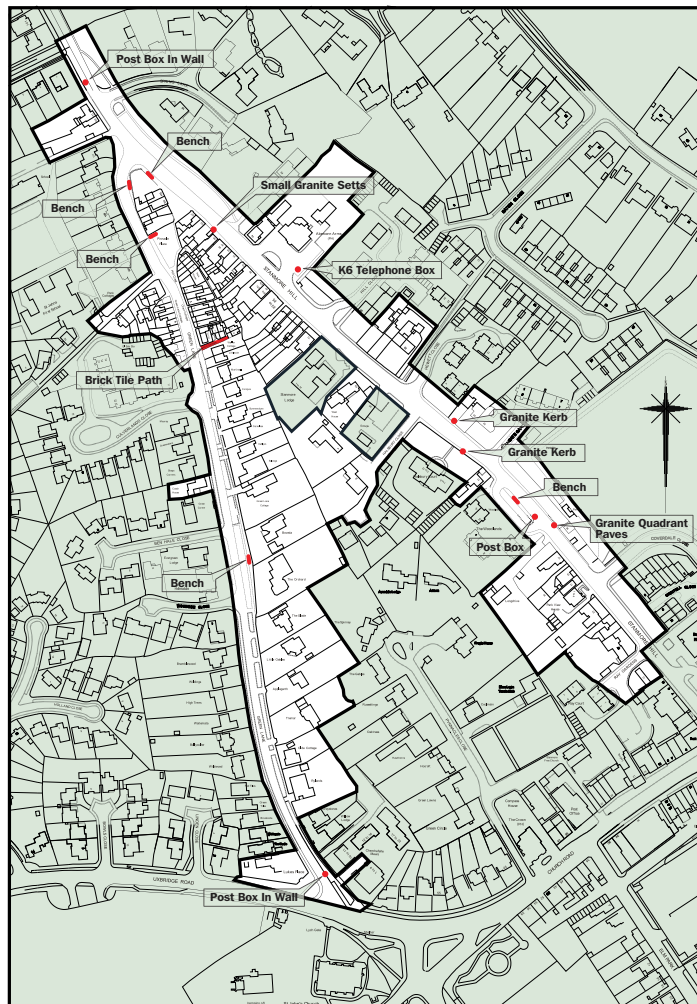


Picture 2.72 Low boundary treatments along streetscene, Upper Green Lane

- **Historic Surfaces**

2.77 Intermittent historic floor surfaces positively enhance the CA by adding texture and historic interest. Locations are mostly shown on the 'Street Furniture and Historic Surfaces' map. For example, small granite setts are on the drive to 103 Stanmore Hill, though some have been covered with more modern surfacing. The front path to 52 Stanmore Hill is of cobbles, an attractive, informal historic surface adding character. Good cobbles exist just south of the Cottage, Green Lane. There is attractive hardsurfacing at the entrance to Franklyn Cottages which has been surfaced with red

bricks. This identifies this as a separate alleyway to the enclave of houses behind the street frontage. Most importantly granite kerbs exist throughout and these are of a higher quality than concrete which would be blander.



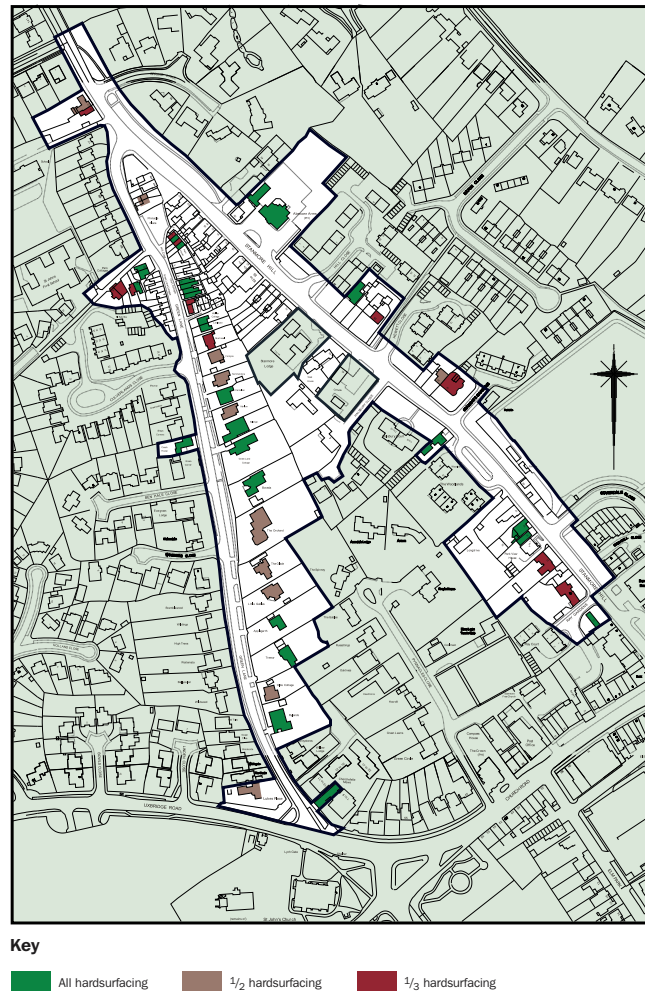
Key

● Street Furniture

Picture 2.73 Important Street Furniture and Historic Surfaces N.B. This map is not exhaustive but indicates the types of street furniture and historic surfaces that are important. © Crown copyright. All rights reserved 100019206, 2010

● **Other Surfaces**

2.78 Front gardens often have over half covered in soft landscaping. Any reduction would be detrimental to sustainability and visually to the buildings' settings. When driveways, pathways and forecourts are hardsuraced they are made from various materials, although shingle or gravel drives are more apparent and surfaces tend to have an informal, subtle character. There has been some unfortunate use of brightly coloured aggregate drives.



Picture 2.74 Hardsurfacing © Crown copyright. All rights reserved 100019206, 2010

2.79 Tarmac roads create an urban appearance. There are few road markings though and reasonably little street furniture adding to the soft, suburban and reasonably uncluttered character. Roads and pavements along both sides of Stanmore Hill and Green Lane are relatively wide compared to Green Lane, reflecting Stanmore Hill's character as a relatively busy route. However, the pavements widen south of the top of Green Lane allowing space for grass verges. There is a relatively formal character to Stanmore Hill given the pavements are predominantly of paving stones whereas Green Lane uses tarmac. Although there is relatively hard, urban character to Stanmore Hill greenery and open spaces here as elsewhere adds to the area's soft suburban character (see 'Green Spaces and Ecology' section).

- **Street furniture**

2.80 Historic street furniture enhances the area. Key examples are illustrated on the 'Important Street Furniture and Historic Surfaces Map'. For example, red post boxes and red telephone box. Other important pieces include the intermittent wooden benches, for example, around the public open space at the junction of Green Lane and Stanmore Hill and one half way up Stanmore Hill. These allow passers-by enjoy good views. There is a good modern bus stop by the entrance to

Hill Close. Narrow pavements in some areas restrict the location of many items. Other items could benefit from greater care in placement and design to ensure prevent streetscene clutter. This includes planters, salt bins and communications equipment.



Picture 2.75 Red post box, Stanmore Hill



Picture 2.76 Bench and streetscape greenery, Green Lane



Picture 2.77 Red telephone box, Stanmore Hill

2.81 It is interesting to note that a cattle trough used to be located near the top of Stanmore Hill CA. This was relocated to the Old Church Lane CA to the south over 20 years ago to the open space outside St. John's Church and now positively enhances the setting of the adjacent St. John's Church.



Picture 2.78 Historic cattle trough when it was located in the Stanmore Hill CA, but which is now located in the Old Church Lane CA

2.2.8 Green Spaces and Ecology

2.82 Greenery exists throughout and within the immediate CA setting. This supports a range of fauna and contributes strongly to the local visual amenity. It softens the streetscene and provide a high quality setting to the buildings. Greenery is given by public street trees and grassed areas (including grass verges) and greenery within gardens visible from the street. This creates a soft, suburban character and complements the village feel towards the upper reaches of Stanmore Hill and Green Lane. Examples of key open spaces and greenery are highlighted by the next map. This is not exhaustive but aims to identify greenery and open spaces that are typically important. It should be seen in conjunction with the 'Boundary Treatments' map. Examples of good front garden greenery include greenery visible behind the historic wall to Halsbury Court and the small garden at the junction of Green Lane and Stanmore Hill visual interest at this junction. Gardens to Spring Lake are similarly important. Elsewhere good informal semi-rural dense planting is used.



Picture 2.79 Important Streetscene Greenery and Open Spaces N.B. Trees within the CA are safeguarded by CA status and numerous Tree Preservation Orders © Crown copyright. All rights reserved 100019206, 2010

2.83 Good public open spaces and greenery include the open space by Pinnacles Place, which is very important to the streetscape for providing a focal point for views (see the 'Townscape Character' section). Grass verges and trees on the east side of Stanmore Hill help soften and vary the streetscene for example beyond the Abercorn where the pavement widens as trees and grass create shaded pedestrian walkways. Lower down Stanmore Hill there is thick planting outside Stanmore Recreation Ground and glimpsed views into it providing a green backdrop, as does the area of open space at the junction of Stanmore Hill and Green Lane. So, despite its urban appearance, Stanmore Hill has much soft planting. Indeed, although along Stanmore Hill the narrow pavements does not allow for roadside trees, planting in front gardens helps to increase the greenness. Trees and planting within private gardens, particularly at 52-62 Stanmore Hill, help soften the streetscape. Trees and verges to The Woodlands provide additional interest.



**Picture 2.80
Important public
greenery to the very
north of Stanmore
Hill**

2.84 Green Lane does not have a rural character, but its openness and greenery is maintained throughout its lower reaches. This is an important reminder of its historical evolution. Here there is a particular abundance of greenery considerably adding to the character. There are wide public grass verges (some of which contain trees including silver birches) and particularly important are those at the foot of Green Lane which help mark the road entrance. Also, many front gardens have hedges and trees and planting. A perception of openness and visual amenity is provided by the gardens. Whilst there is a lack of street trees in some areas, this only serves to emphasise the value of street side gardens and trees and those which make up attractive views. Importantly, some openness and greenery is found throughout the CA particularly where in parts there are detached and semi-detached buildings set in relatively large grounds. Even the small areas of open space around the buildings, for example at the very top of Green Lane, add to the townscape quality.



**Picture 2.81 Front garden
greenery helps to soften the
streetscene in places on a small
side road off Green Lane**



**Picture 2.82 Important green
space, Pinnacle Place**



Picture 2.83 Grass verges are important as they help to soften the street scene in places

2.3 Summary of Conservation Area

2.3.1 Summary and Main Assets

The assets of the conservation area derive from a combination of factors including:

1. The high quality of architecture, reflected in the number of statutorily, locally listed and positive unlisted buildings.
2. Interesting form and grain of townscape reflecting the historic settlement pattern along the through-route of Stanmore Hill and the clustering of older properties around the top of Green Lane.
3. The predominance of residential single-family dwelling houses but with a concentration of commercial uses towards the top of Green Lane
4. The medium-scale of buildings usually not exceeding two stories except where a dormer has been inserted within the roofslope.
5. Important areas of open space within the townscape and streetscape, such as the small greens, grass verges etc.
6. Green and well treed spaces behind the main street frontage, and visible from the street which contribute to the street scene.
7. Views up and down the hill in terms of the visual interest in the changing topography but also certain focal points such as architectural qualities or tree tops.
8. The generally high standard of maintenance of houses and grounds.

2.3.2 Problems, Pressures and Potential for Enhancement

Pressures, Issues or Potential for Enhancement	Address:	Description:
Pressure for inappropriate extensions of an intrusive scale, bulk, type or design, for example, roof and porch extensions and rooflights.	Throughout	The area's desirability means pressure for extensions/alterations and new build and without careful consideration this could compromise the characteristic densities of development and architectural qualities. Some buildings along the south of Green Lane have fewer requirements for planning permission for certain works than others within the CA.
Inappropriate alterations including loss of traditional materials and detailing, for example, loss of clay roofing tiles or the introduction of uPVC windows and modern, metal garage doors. Plastic rain water goods are widespread.	Intermittent	<p>High quality traditional materials and details characterise the area, contributing to special interest. Minor alterations including replacing slates with modern materials, loss of decorative details and plastic rainwater goods cumulatively have a high detrimental impact that can be as severe as larger alterations.</p> <p>Original timber and iron windows are important. Poor quality materials such as UPVC and aluminium cannot replicate window style in the same way as timber; they detract from local character. Demand for repairs could mean an increase in plastic windows and synthetic roof materials.</p> <p>Some buildings towards the south of Green Lane have fewer requirements for planning permission for certain works than others within the CA.</p>
The drive for sustainability may lead to proposals for replacement windows and doors to increase the energy efficiency of a home	Intermittent	As stated above, the importance of the original and traditional windows to these properties is high. Some buildings towards the south of Green Lane have fewer requirements for planning permission for works than others within the CA.
Pressure for shop front, signage and lighting alterations	Commercial properties on Stanmore Hill	Carried out inappropriately, this can be very intrusive. For example, via cumbersome signage, inappropriate canopy blinds or poor quality/internal illumination.

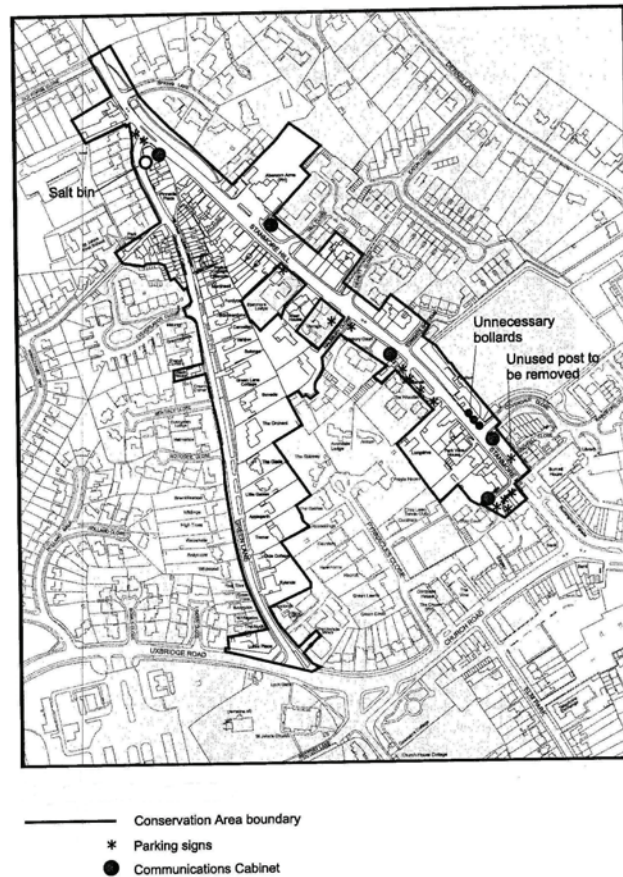
Pressures, Issues or Potential for Enhancement	Address:	Description:
Opportunity to enhance open space beside entrance to Stanmore Recreation Ground	Entrance to Stanmore Recreation Ground	There is an opportunity to enhance this area of green space.
Opportunity to enhance green space	Green space between Stanmore Hill and Green Lane	Littering and weeds are an issue here.
Decay to historic brick walls fronting pavement along Stanmore Hill	Several along Stanmore Hill	Sections have suffered weathering of mortar and decay of bricks.
Pressure for hardsurfacing of gardens and associated creation of driveway access points	Throughout	Front garden greenery and boundary treatments are very important to the area as outlined earlier.
Loss of boundary treatments	Along Green Lane	<p>Loss of front boundaries has a detrimental impact on the streetscene. Chart Cottages originally had brick walls with ornate, black cast-iron railings on top. This boundary unified the terrace and provided an attractive streetscene element. Tall historic walls are an important part of the character of the CA.</p> <p>Unlike other front boundary treatments along Green Lane, the historic wall in front of Greystones, Willow Lodge and Churchefelle Mews has limited protection. This wall marks the former boundary of a larger historic house.</p>
Pressure for flat conversions	Throughout	This usually results in associated alterations including hardsurfacing and greater demand for bin storage. Also, single family dwelling houses help create the quiet suburban quality.

Pressures, Issues or Potential for Enhancement	Address:	Description:
Street furniture	Intermittent, including the edges of grass verges along Green Lane, along the junction between Stanmore Hill and Green Lane and at Halsbury Close and the Woodlands. See the next map.	In places these can create a cluttered feeling due to siting and number, and can be obtrusive in design. For example, several communications cabinets on the edges of grass verges are along Green Lane blocking pavement space. The junction between Green Lane and Stanmore Hill is cluttered with street furniture including guard rails, communication boxes and bins. Street furniture has more of an impact where pavements are narrower. At Halsbury Close and the Woodlands there appear to be too many signs on separate posts cluttering the area. Benches at Pinnacles Place and in front of Boveda, Green Lane appear worn out.
Bins outside buildings that directly front the pavement	At the top of Green Lane	These bins clutter the pavements which are already quite narrow.
Expanse of hardsurfacing	At the petrol station on Stanmore Hill	Unattractive hardsurfacing and lack of boundary treatments detracts from the streetcene.
Street surfaces	Intermittent	Pavements are occasionally in poor repair and have patchy surfaces. Different materials have been used to repair the surfaces, especially after utility companies works.
The petrol garage on Stanmore Hill, within the setting of the CA	The petrol garage on Stanmore	This detracts from the setting of the CA.

Pressures, Issues or Potential for Enhancement	Address:	Description:
	Hill, within the setting of the Conservation Area	
Locally listed buildings and positive unlisted buildings	Intermittent	Some may be worthy of a higher status which would afford them greater protection. For example, Old Cottage, Green Lane (currently locally listed), Rylands, Green Lane (currently locally listed), the wall to Halsbury Court (currently locally listed) and the wall in front of Churchefelle Mews, Greystones and Willow Lodge (currently positive unlisted). The wall to Halsbury Court for example marks the boundary of a large historic house along Stanmore Hill since demolished. It provides excellent character and streetscene definition. Planning permission would be required to alter this one as it is set in front of flats.
Traffic and parking	Green Lane and Stanmore Hill near the Abercorn.	Increasingly over the years, Green Lane has become a rat run. There is at times excessive parking near the Abercorn.



Picture 2.84 Bins on public highway, Upper Green Lane



**Picture 2.85 Street Clutter © Crown copyright.
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2.3.3 Public Consultation

2.85 This document was subject to public consultation. Notification letters were sent to ward councillors, amenity groups (including the Stanmore Society and the Stanmore and Harrow Historical Society), the Conservation Area Advisory Committee and other stakeholders. It was available to view at a number of places, including the Council's website, Stanmore Library, the Civic Centre Library and the Planning Services reception at the Civic Centre. Posters were put up within the CA. Copies of the document were available on the internet and there was an opportunity to comment directly into the Objective software. A public meeting was held and there was an opportunity to provide comments and discuss the document in person. The Conservation Team also offered to hold separate meetings with interested parties to discuss the document. The responses were used to strengthen the document. It was adopted as part of the Stanmore and Edgware Conservation Areas Supplementary Planning Document, as part of the Council's Local Development Framework.

2.4 Conservation Area Management Strategy

2.4.1 Purpose of the Strategy

2.86 Conservation Area Appraisals provide an analysis of the character and appearance of conservation areas to identify elements that should be protected and opportunities for change, improvement or enhancement. This management strategy uses this analysis to look forward and

set out how the area's character will be preserved or enhanced. It sets out guidance and controls to protect and preserve the area and actions to enhance it. Each section is linked to the relevant policy guidance, providing the framework for the future management and enhancement. The following proposal statement provides a list of actions, related to pressures, issues or opportunities for enhancement identified in the previous section.

2.87 Unless otherwise stated, the following should be regarded as a statement of intent. There are no set time limits. However, it is important to note that Conservation Area Appraisals and Management Strategies will be reviewed every 5 years.

2.4.2 Management Proposals

Pressures, Issues or Potential for Enhancement	Address:	Description:
Pressure for inappropriate extensions of an intrusive scale, bulk, type or design, for example, roof and porch extensions and rooflights and removal of original chimneys.	Throughout	<p>Owners and occupiers are also encouraged to follow the guidance in this document, including its design guide to ensure new works preserve the special character of the area. Since the majority of buildings make worthy contributions to the appearance of the area there is a presumption against their demolition which serves as a starting point.</p> <p>The pressure for development is partly managed as there are more requirements for planning permission in CAs, enhanced further by Article 4(2) directions.</p> <p>Another Article 4(2) direction is being proposed to control rooflights and roof alterations (such as removal of chimneys) and porch extensions for the following buildings along Green Lane: Applegarth, The Glade and The Orchard. These make a positive contribution to the character of the CA, but without this Article 4(2) direction have less protection than others within the CA.</p>
Inappropriate alterations including loss of traditional materials and detailing, for example, loss of clay roofing tiles or the introduction of uPVC windows and modern, metal garage doors. Plastic rain water goods are widespread.	Intermittent	The owners of historic properties are encouraged to follow the guidance within this document including the design guide. They are encouraged to remove modern, unsympathetic materials, such as plastic windows and to replace them with appropriate timber ones. It is recommended that plastic rain water goods could be changed to traditional cast-iron or other cast metal guttering.

Pressures, Issues or Potential for Enhancement	Address:	Description:
		<p>The Article 4(2) Direction and the listed status of some properties protects traditional detailing. Unauthorised alterations when noted will be reported to the Planning Enforcement team.</p> <p>An additional Article 4(2) Direction is proposed to the following buildings along Green Lane to protect traditional detailing and require planning permission for the alteration of windows and doors thereby bringing them more in line with others along Green Lane: Applegarth, The Glade and The Orchard.</p>
<p>Associated with the above, the drive for sustainability may lead to proposals for replacement windows and doors to increase the energy efficiency of a home</p>	<p>Intermittent</p>	<p>Owners and occupiers are also encouraged to follow the guidance in this document, including its design guide.</p> <p>Such alterations are in part managed by the listing of many properties and the existing Article 4(2) direction.</p> <p>An additional Article 4 (2) direction is proposed for the following buildings along Green Lane to require planning permission for the alteration of windows and doors thereby bringing them more in line with others along Green Lane: Applegarth, The Glade and The Orchard.</p>
<p>Pressure for shop front alterations, installations, changes to signage and lighting</p>	<p>Commercial properties on Stanmore Hill</p>	<p>Encourage alterations to shopfronts to follow the guidance contained within this document including the design guide.</p>
<p>Opportunity to enhance open space beside entrance to Stanmore Recreation Ground</p>	<p>Entrance to Stanmore Recreation Ground</p>	<p>Consider more maintenance.</p>
<p>Opportunity to enhance green space</p>	<p>Green space between Stanmore Hill and Green Lane</p>	<p>This area has been managed well under the Council's Adopt a Flower Bed scheme whereby members of the public can adopt a flower bed to maintain for a year. The area may benefit from a consultation with Parks concerning ways to address the litter and weeds issues perhaps</p>

Pressures, Issues or Potential for Enhancement	Address:	Description:
		via the introduction of a litter bin and the possibility of some geotextile with bark chippings to suppress the annual weeds.
Decay to historic brick walls fronting pavement along Stanmore Hill	Several along Stanmore Hill	Provide advice on maintenance and guidance on possible sources of grant aid.
Pressure for hardsurfacing of gardens and associated creation of access points to private driveways	Throughout	The article 4(2) direction is in place to manage proposals to hardsurface front gardens. Encourage alterations to follow the guidance contained within the document including the design guide.
Loss of boundary treatments	Along Green Lane	<p>An article 4(2) direction is in place to manage proposals to alter most boundary treatments along Green Lane. Alterations to boundary treatments should follow the guidance contained within this document including the design guide.</p> <p>An article 4 (2) direction is proposed to cover the wall in front of Churchefelle Mews, Greystones and Willow Lodge which are largely just outside of the CA although the wall is within the CA.</p>
Pressure for flat conversions	Throughout	Resist proposals for flat conversions.
Street furniture	Intermittent, including the edges of grass verges along Green Lane, along the junction between Stanmore Hill and Green Lane and at Halsbury Close and the Woodlands.	Consult with the Highways department concerning removal of elements of street furniture where possible and enhancing siting of some.
Bins outside buildings that directly front the pavement	At the top of Green Lane	Encourage consideration of other storage options for these bins.
Expanse of hardsurfacing	At the petrol station on Stanmore Hill	Encourage the introduction of more soft landscaping here.

Pressures, Issues or Potential for Enhancement	Address:	Description:
Street surfaces	Intermittent	It is very important that where works have been carried out surfaces should be replaced to match the surrounding area and not leave an ugly scar behind. When re-surfacing is undertaken, the tarmac should have aggregate rolled into the surface during application which will add texture, aid weathering and provide a more visually appealing surface.
The petrol garage on Stanmore Hill, within the setting of the CA	The petrol garage on Stanmore Hill, within the setting of the Conservation Area	Proposals for development should have regard for the need to preserve the setting of the CA and should ideally enhance it.
Locally listed buildings and positive unlisted buildings	Intermittent	Consider buildings for higher status following careful survey and justification. An article 4(2) direction is being introduced for the wall front of Churchefelle Mews, Greystones and Willow Lodge.
Traffic and parking	Green Lane and Stanmore Hill near the Abercorn.	Traffic calming measures are proposed on Green Lane. These would be sympathetic to the CA's character. Parking restrictions are being considered to address parking issues near the Abercorn.

2.4.3 Reviewing the Conservation Area's Boundaries

2.88 Having considered the immediately surrounding areas it is not considered appropriate at this stage for the Conservation Area boundary to be amended. However, whilst it is outside the Stanmore Hill CA, Helmedale is considered to contribute positively to the CA setting. It has distinctive tall chimney breasts on either side of the property and a high pitched roof. There is a decorative brick arch over the front door with recessed brick work. The external elevations are composed of slightly varied shades of red brick that add to the overall building character.



**Picture 2.86 Helmedale,
Green Lane**

2.4.4 Article 4 Directions

2.89 Permitted developments are already restricted nationally for any CA (see the Harrow Council's Conservation Areas Residential Planning Guidelines – Do I Need Planning Permission?' leaflet available on the Council's webpage from: www.harrow.gov.uk/conservation).

2.90 A detailed review of the area and of the development trends in 2003 suggested that there would be benefits to the character and appearance of the area if Article 4 directions were introduced. They require planning permission for some aspects of development normally classed as 'permitted development'. This gives greater control over aspects of design and materials in sensitive areas. This is needed here as many of the Victorian cottages and houses in the area are reaching the stage where major repairs are becoming necessary, and so modern materials such as plastic windows and synthetic slate are likely to become increasingly widespread in the CA. Part of what makes the terraces attractive is their common use of materials and detailing of 19th century design. When these designs are lost, or materials altered, then the whole terrace is compromised. Similarly, many of the larger houses further down Green Lane are locally listed and their quality in terms of architecture, detailing and materials could easily be compromised by the insensitive alteration of the front elevation by replacement of windows, painting etc. Also, much of the special character of the area is derived from the lush, green front gardens, which help to soften the appearance of both streets. Hardsurfacing of front gardens and alterations to existing drives is therefore controlled. Front boundary treatments are very important to the character and appearance of the CA, whether as informal hedges and fences in Green Lane, or brick walls in Stanmore Hill. Therefore, in 2003 some relevant Article 4 Directions were introduced as shown on the map below.



Key

Permitted development is controlled and therefore planning permission is required, where fronting a highway, waterway or open space where it relates to:

- | | |
|--|---|
| <ul style="list-style-type: none"> 1) The enlargement, improvement or other alteration of a dwelling house 2) Any other alteration to the roof of a dwelling house 3) The erection or construction of a porch 4) The provision within the curtilage of a hard surface 5) The installation, alteration or replacement of a satellite antenna 6) The erection, construction, maintenance, improvement or alteration of a gate, fence, wall or other means of enclosure 7) The painting of the exterior of any building or work | <ul style="list-style-type: none"> 1) The erection, construction, maintenance, improvement or alteration of a gate, fence, wall or other means of enclosure 2) The provision within the curtilage of a dwelling house of a hard surface |
|--|---|

Picture 2.87 Article 4 Directions © Crown copyright. All rights reserved 100019206, 2010

2.91 Following this review of the CA, and the changes in the General Permitted Development Order in 2008, it is considered that the area would benefit from a few additional Article 4(2) Directions, as explained and justified within the tables in the 'Problems, Pressures and Potential for Enhancement' and 'Management Proposals' sections. This is because many of the larger properties south of the Victorian terraces on Green Lane have been identified as making a positive contribution to the character of the CA yet there is limited control protecting these from certain inappropriate alterations. For example, demand for roof extensions could mean characteristic roof tiles and tall chimneys could be removed and inappropriate modern materials used as plastic windows. Detailing and materials could be compromised by other insensitive alterations, for example, porch extensions. Also, it is noted that the wall to Churchefelle Mews, which also runs in front of Greystones and Willow Lodge just outside of the CA, makes a positive contribution yet has limited protection.

The following article 4 directions are proposed to require planning permission for these works where they face a highway, waterway or open space, and, subject to representations received will be formally confirmed.

Applegarth, The Glade and The Orchard

- 1) Works for the extension or alteration of the dwelling house.
- 2) Alterations to the roof of the dwelling house including the installation of a chimney, flue or soil and vent pipe on a dwelling house.
- 3) The erection or construction of a porch.

The wall facing Green Lane in front of Churchefelle Mews, Greystones and Willow Lodge

- 1) The erection, construction or maintenance of a gate, fence, wall or other means of enclosure.

2.92 In some cases within the CA or its immediate setting, where a building is listed or has planning conditions attached in its planning history which restrict permitted development rights, article 4 directions have not been considered necessary. This is because they do not benefit from the same permitted development rights as unlisted single family dwelling homes.

2.4.5 Support

2.93 Relevant parties can contribute to the preservation and enhancement of the CA. These include: local residents, property owners, and local societies such as the Stanmore Association, and national societies such as the Garden History Society, the Society for the Protection of Ancient Buildings, the Victorian Society, The Georgian Group and the 20th Century Society. They should be involved in all stages of devising ideas for management and enhancement of the area.

2.94 The above enhancement and improvement proposals and other possible future schemes can require funding. Much of the works would need to be completed by private owners but the council will continue to apply for grants wherever possible, for example, to the Harrow Heritage Trust. There may also be scope for securing planning gain funds towards improvements to the public realm, where the Council is responsible for these. In line with English Heritage's guidance

it is essential when planning works within CAs that a considered approach, which preserves or enhanced the area's character or appearance, is adopted. Where a conflict with general planning and highways policies occur special care must be taken to find a solution that meets both the needs of the local community and the historic environment.

2.4.6 Guidance

2.95 To ensure consistent decision-making the following guidance has been identified as being of key relevance to this area with reference to the conservation area appraisal:

Maintaining Stanmore Hill's Townscape and Built Character

To ensure that the character of the conservation area and its setting is both preserved and enhanced, all new development should:

- a) Respect the existing layout and historic form of the townscape and street scene, especially its building lines and heights, and not diminish the gap between buildings.
- b) Complement existing buildings in terms of bulk, design, siting, detailing, scale, materials and use. Any extensions will be encouraged to be at the property's rear and subservient in scale to the original property, as well as match the existing house in design and materials.
- d) Not entail side extensions that significantly reduce the gap between buildings or diminish the architectural balance or detailing of the main building.
- e) Respect and harmonise with existing buildings in terms of design, siting, detailing, scale and materials.
- f) Avoid impeding views between buildings or into areas of open space.
- g) Retain original design features (as identified within this character appraisal and management strategy) and where replacement is necessary, the architectural detailing should closely match that of the original in traditional materials.
- h) Not involve the painting of unpainted brick surfaces
- i) Ensure material alterations to buildings protect the appearance of elevations that face onto a highway, including alterations to chimneys and rooflines. Dormers and rooflights on front and side roof slopes will be discouraged.
- j) Retain visually important boundary treatments which are a characteristic of Stanmore Hill conservation area.
- k) Not entail the positioning of satellite dishes and aerials in prominent positions.
- l) Usually avoid change of use to flats and other institutional uses.
- m) Ensure microgeneration equipment is carefully sited to protect streetscene views and historic built fabric.

Maintaining Stanmore Hill's Greenery and Open Spaces

To ensure that the soft character of the conservation area is both preserved and enhanced Harrow Council will:

- a) Encourage the retention and improvement of both public and private green spaces and open land, including trees, hedgerows and grass verges.
- b) Discourage applications for development on existing areas of open land that have been defined as contributing to the character of the conservation area.
- c) Further protect trees, and groups of private trees, by creating additional TPOs where appropriate.
- d) Discourage development that adversely affects significant trees.
- e) Encourage the retention, or where necessary, replacement of street trees.

Protecting Stanmore Hill's Archaeology

a) Harrow Council recognises the archaeological importance of Stanmore's conservation areas and their settings, and will help to protect these by continuing to consult with English Heritage to ensure the appropriate action or works such as surveys are carried out before development commences.

b) Where appropriate, and in discussion with English Heritage, the existing Archaeological Priority Areas will be revised, and/or new Archaeological Priority Areas created, to safeguard Stanmore and Edgware's archaeological remains.

Maintaining Stanmore Hill's Streetscape

To ensure that the character of the streetscene is both preserved and enhanced, Harrow Council will:

- a) Refer to existing policy on tall structures where telecommunications equipment or wind mills are proposed.
- b) Encourage the utility companies to install the minimum amount of new and replacement street furniture and to locate this sensitively in suitable locations.
- c) Encourage the retention, or reinstatement, of traditionally designed street furniture and materials, such as paving.
- d) Encourage street furniture to be well sited and designed and for redundant and unsightly street furniture, and signage, to be removed where opportunities occur.

e) Encourage the retention of original floorscape materials, such as granite kerbs, and wherever practicable, replacement floorscapes will be encouraged to be of traditional materials.

2.5 Design Guide

- **Introduction**

2.96 This design guide is specific to this Conservation Area (CA). It aims to ensure that care is taken during any works to preserve or enhance characteristics which contribute to the special interest of the Stanmore Hill CA, largely outlined within earlier sections of this CAAMS. The design guide is aimed at owners and occupiers of properties within the CA, and their agents, builders and joiners, since they can all make an important contribution to the area's character and appearance. It concludes by providing guidance on requirements for planning permission and information on companies that specialise in building conservation.

2.97 Due to the diversity of architecture, materials etc in this CA, it is not possible for guidance to be wholly exhaustive or go into detail on precise styles and types of repair or alterations. In such cases, further advice is available from the Council's Conservation Team. Guidance is given here though on certain common features and some particular notable characteristics. So, particular attention has been paid to: Victorian cottages at the top of Green Lane, brickwork repairs, stucco repairs, boundary treatments, satellite dishes, microgeneration equipment and hard surfacing and front gardens.

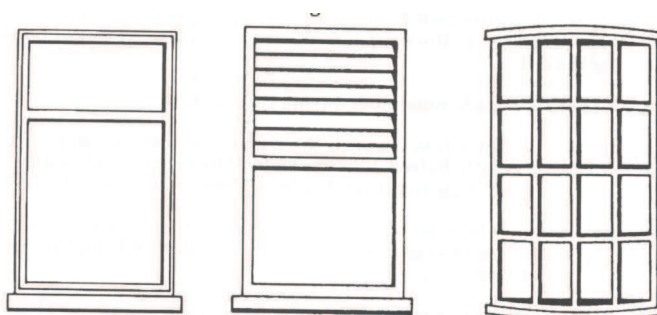
- **Timber windows, doors and bargeboards repairs/replacements**

2.98 Timber windows, doors and occasional bargeboards are a common architectural quality. Thorough and regular painting and maintenance can prevent need for repairs by avoiding decay by moisture penetration. Careful repair is often cheaper than new work and is always preferable since it helps maintain quality and historical authenticity. It is rare that timber features get in such a poor condition that repair is impossible and there are now many firms specialising in the repair and renovation of existing. Where wet rot is recognisable by cracked and wavy paintwork and the timber beneath is very soft, replacement sections can be pieced in, taking care that the original profile is accurately reproduced. Also, strengthening can be used. Repairs and replacements should be of the same type of timber as the existing, although hardwood is acceptable for window sills.

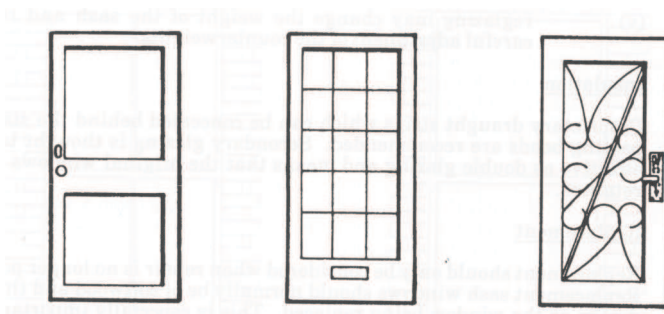
General points to remember during repair to timber:

- (i) Where timber has decayed, cut back to sound timber, removing no more than is necessary
- (ii) Use preservative-treated timber in repairs and treat remaining timber which may be at risk with a fungicidal or insecticidal preservative.
- (iii) For windows, the joints between the frame and the wall were traditionally made with haired lime mortar. Modern mastic sealants can be disfiguring if carelessly applied or joints over filled.
- (iv) Sash windows should be glazed using steel sprigs and traditional linseed oil putty.
- (v) For sash windows, re-glazing may change the weight of the sash and require careful adjustment of counterweights.

2.99 Replacement should only be considered where repair is not possible and should normally be of the same design as existing. For example, traditionally the doors of Victorian terraced houses and cottages would have been of soft wood and panelled simply, with no glazing. Replacements, if found to be absolutely necessary, should replicate original styles. Modern designs in hardwood, aluminium and wrought iron screens are not in character with the area. For guidance on the suitability of different windows see the 'Prevalent and Traditional Building Materials and Detailing' section.



Picture 2.88 Generally inappropriate window styles for the conservation area



Picture 2.89 Generally inappropriate door styles for the conservation area

2.100 Windows, doors and energy efficiency

2.101 English Heritage provides guidance on this at their Helm website at www.helm.org.uk. Although the majority of heat loss is through the roof of your house, a considerable amount can also be lost through windows. This can lead to proposals for replacement windows and doors to increase the energy efficiency of a home. However, there are numerous other less costly and intrusive basic energy efficiency works to consider instead for example: repair of window and doors, appropriate loft and wall insulation, draught proofing and secondary glazing.

2.102 Improved heat and sound insulation can be achieved in unobtrusive ways by draught-proofing measures. If the hinges are loose for example it may be a case of just tightening these up slightly to reduce draught through the window frame to improve heat retention. Insulation strips or internal/double glazing can also reduce heat loss. Several forms of draught-proofing are available, which operate in different ways. Some types simply act as gap fillers, and are applied as mastic or foam. Other forms keep out the weather by means of a snug, slightly oversized fitting, comprising silicone rubber tubes, polypropylene and nylon-filled pile brushes, or with rubber, polyester, or sprung-metal Z and V fins.

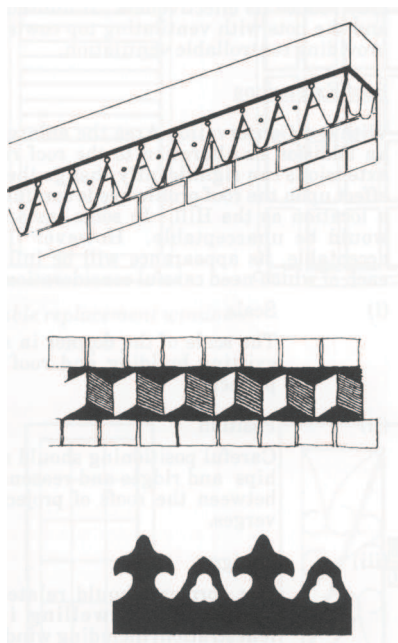
2.103 There are lightweight secondary glazing systems available, which have improved significantly in appearance as well as performance in recent years. Secondary glazing uses framed glass panels, which are attached on top of existing window frames internally. It is a cheaper alternative to replacement double-glazing but is nevertheless very effective and has the added benefit of ensuring there is minimum change to the external appearance of the building and would be unlikely to require planning permission although Listed Building Consent would be required for windows on Listed Buildings. Double-glazing is usually considered inappropriate for historic building and given the age, quality and value of windows within this CA it is unlikely that double-glazing would be appropriate.

- **Iron casements and railings**

2.104 Some of the Victorian buildings within the CA have iron casements and other buildings have iron railings which contribute to the architectural quality of the area. These can often be repaired, avoiding the need for wholesale replacement. It is important to note that rust occupies seven times the volume of unoxidised iron and so may appear to be a more serious problem than it really is. Renovation can be carried out on site using wire brushes and files to remove rust, or in a factory where windows can be grit-or shot-blasted and galvanised (or for more fragile windows, zinc-sprayed). Where replacement is necessary great care would be needed to ensure all details, including the profile, matched the existing.

- **Traditional Materials, Details and Decoration**

2.105 The 'Prevalent and Traditional Building Materials and Detailing' section shows that use of a number of details and decorative features such as dentil courses are important, as is using high quality materials, for example, clay tiles or slates. These features should therefore be retained where possible. Efforts to introduce modern elements and materials would on the whole be out of keeping.



Picture 2.90 Examples of typical 19th century details and decoration

- **Brickwork Repairs**

2.106 Red and yellow stock brick is the common building material for most buildings and walls. Historic brick boundary walls are very important to the character of the area and many houses have fine ornamental brickwork with decorative coursing and finely gauged arches. 17 Stanmore Hill is notable for its tuck pointing. The brickwork is often original or historic meaning they have subtle colours and texture enhanced by age and weathering so that the brickwork is often attractive. Much is laid in traditional bonding patterns such as Flemish bond or English garden wall bond and these bonds should be retained whenever repairs are undertaken. These qualities are worth preserving. Brickwork damage may be difficult to recover if bricks are defaced by inconsiderate or inept repairs. Advice on repair work can be found at the Council, but for the gauged brick work and the tuck pointing it is necessary to use only a specialist contractor with experience of this work to retain these qualities.

2.107 The object of brickwork pointing is that it should decay, not the brickwork. So, it should be softer than the bricks (and so lime based) to allow it, rather than the bricks, to decay as part of the weathering process. This is because bricks are more expensive and harder to replace and repair. However, modern, hard cement rich mortar does the opposite of this, forcing water and salts to evaporate through the softer brick, causing its disintegration. Where bricks are wearing away but the mortar pointing is still in place, cement rich mortar has been used. Also, the cement mortar often cracks as it is inflexible, unable to absorb the slightest movement. So, where it has been used cement rich mortar should be removed and replaced with lime rich mortar.

2.108 Repointing can be expensive and so it is advisable only to repoint where necessary and to limit repairs to as small an area as possible, matching old pointing in shape, colour and texture. This is a lime rich, soft mortar. Old brickwork was built using mortar made by mixing 1 part lime with 3 parts sand in water. Even when set this mortar is flexible enough to withstand slight movement

in the wall without cracking. Also, being relatively weak, lime mortar allows moisture within the wall to evaporate through the mortar, rather than through the face of the bricks. In exposed locations, a mixture of 1 part Portland cement, 1 of lime and 6 of sand may be acceptable.

2.109 Aside from weathering, excessive damp caused by leaking rainwater goods can exacerbate erosion, and the effects of frost tends to make matters worse. So, if any sources of damp affecting brickwork these should be addressed. Brick front boundary walls are often severely damaged by mineral salts which are splashed on to them from passing traffic and which eat away at the brick faces. Rising damp often brings salt crystallisation forcing faces of softer bricks to spall off. Where decay has taken place, cutting out bricks should be kept to a minimum, particularly for fine brick work. Bricks should be removed in a manner that causes least disturbance and replacements should match the existing in terms of colour, texture, dimensions, strength and durability.

- **Stucco repairs**

2.110 Stucco is an architectural quality of the CA. Cracks can be repaired by raking out, undercutting the edges if possible. For general restoration purposes it is best to use a cement-lime-sand render for the first two layers mixed in the proportions 1:1:6, then finish with a slightly weaker mix of 1:2:9 for the top coat. If repair is neglected, rainwater gradually penetrates and soaks the wall behind. Being unable to dry out efficiently the masonry retains the moisture which expands during frosty weather, pushing patches of render off the wall. Repairs to stucco mouldings around doors and windows should be carried out by a professional plasterer as considerable skill is required.

- **Location of Satellite Dishes, Aerials**

2.111 The appearance of many attractive buildings that otherwise retain original features can be spoilt by badly sited aerials, conduits and numerous water goods. Satellite dishes should be located within rear gardens, or if absolutely necessary on the rear or unexposed locations. Satellite dishes will not normally be acceptable on the front elevations and planning permission is usually required.

- **Microgeneration equipment**

2.112 It is likely that sustainability measures will lead to an increase in proposals involving solar panels and wind turbines. If well designed and integrated these should be able to be accommodated without disrupting local character. However, the sloping land makes this area particularly sensitive to such installations. They should therefore be carefully sited to protect streetscene views and historic built fabric. English Heritage has a range of guidance on the different considerations involved in the use of micro-generation technologies in CAs which can be accessed on their Historic Environment: Local management (HELM) website by entering energy efficiency into the search engine in the English Heritage section of the Guidance Library at www.helm.org.uk.

- **Re-surfacing and hard surfacing of front gardens and drives**

2.113 Planning permission is usually required to resurface, alter, enlarge or create of areas of front garden hard surfacing. The key principle is that the hard surfaced area should be kept to a minimum, so that the soft, natural and green appearance of the conservation area is not depleted. Small extensions to the original hardsurfaced area may be acceptable, but front gardens should remain as gardens, not car parks. Materials should be traditional, natural materials in association with abundant planting since generally, the 'harder' the material, the more visually damaging large

areas of surfacing become. Shingle of an appropriate natural colour can be laid loose on the flat or rolled on a resin base which is both hard-wearing and attractive and can be used on gently sloping sites. This is a simple, traditional surface which retains the softness of the area. Brick pavements when used in large expanses, such as driveways appear too harsh and garish and are less successful. Some forms of modern pre-cast paving, provided they are the sett type (small, square or rectangular units) can be successful. They should be laid in random courses, again to retain the informality in the streetscene. Natural materials, such as granite, weather well and can provide a simple, yet traditional, backdrop to the houses. However, modern concrete grey setts can be manufactured to have an older, more natural feel. Any hardsurfacing also needs to be permeable. To assist in recognising what constitutes a permeable material, the department for Communities and Local Government (DCLG) has produced guidance on driveways. This can be found at: <http://www.communities.gov.uk/documents/planningandbuilding/pdf/pavingfrontgardens.pdf>

- **Boundary Treatments and Accesses**

2.114 The boundary treatments area important. So, these should be retained and repaired wherever possible and any accesses should be well screened by planting and kept to a minimum. Where replacement is acceptable, this should be like for like since the variety adds to the area's visual amenity. Also, the soft, suburban character of boundary treatments and accesses, rather than a hard, urban feel is important. This is due to the boundary treatments comprising: semi-rural dense planting, wooden fences of no higher than 1.5m, hedges and (usually brick) walls, often combined with dense planting. Metal railings do occasionally exist but are less likely to be appropriate. To retain the character of the area accesses should usually remain open but otherwise use low timber, rural style five bar gates or other soft, permeable gates, rather than tall and/or hard, metal urban treatments.

- **Change of use**

2.115 As most buildings are single-family dwelling houses this contributes to the suburban character of the area. Conversion to flats would be detrimental as it would increase pressure for alterations and detract from the suburban character of the area. The concentration of commercial units at the top of the hill contributes to the vitality of the area and is an important reminder of the historical evolution of the area. This should therefore be maintained.

- **Shopfronts**

2.116 Original shopfronts should be retained. Lighting is currently simple, external lighting over signs rather than as internally illuminated box signs which would create a harsh, modern character. Where illumination is acceptable, it should be unobtrusive, kept to a minimum and neatly designed. Inappropriate new shopfronts, or altered existing ones via the insertion of large expanses of plate glass or louvre windows create an inappropriate modern character. Fascias should be in proportion and of traditional materials.

- **Guidelines for Other Alterations/Extensions**

2.117 Within a CA the appearance and effect of a development on the recognised character of the area, as expressed in its townscape, streetscene and architecture, is especially important.

2.118 Extensions should not compete with, nor overpower, the existing form and scale of the original dwellinghouse. It is normally appropriate to set extensions back from the main or front elevation so as to appear subordinate and to avoid the obvious joint of new meets old. Also, the

building lines of the properties are usually well defined. So, extensions should not intrude into this feature. Some properties (particularly 18th century ones) depend upon symmetry for their form and this should not be offset by extensions. Similarly, extensions wrapping around two or more elevations can greatly detract from the integrity of the original building's form and architecture. Where properties are detached or semi-detached side extensions are not usually appropriate as they detract from the medium densities of development and the sense of openness and greenery of the area. They begin to create a terraced effect. Two storey extensions are usually inappropriate as they detract from these building's medium or small scale.

- **Requirements for Planning Permission, Advertisement Consent and Listed Building Consent**

2.119 Please note that applications for planning permission should take into account the guidance given within this design guide. As a Conservation Area, Planning permission is required for certain development that would not normally require permission. This is a requirement under national legislation and is outlined within Harrow Council's guidance leaflet entitled: 'Conservation Areas Residential Planning Guidelines – Do I Need Planning Permission?' available on the Council's webpage at: www.harrow.gov.uk/conservation. Also, advertisement consent is required for many advertisements and several properties are Listed buildings which means Listed Building Consent is required for any internal or external alterations affecting their special character. There are further planning controls for the residential properties due to the existence of an Article 4(2) Direction. This is because the CA can be sensitive to even minor development, particularly cumulatively.

- **Historic Building Companies for Repairs and Alterations**

2.120 The Council can provide information on specialist historic building companies. This never represents a recommendation by the Council but provides a starting point for research. The Building Conservation Directory is especially good at recommending products and services. The website address is www.buildingconservation.com.

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Old Church Lane

Conservation Area Appraisal & Management Strategy



December 2013

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3.1 Introduction to the Conservation Area

3.1.1 Introduction

3.1 The Old Church Lane Conservation Area contains an unusual mix of very old and important buildings and 1930s development in an "Old-World" style which attempts, successfully, to mimic more historic buildings around it. Although there has been some more recent development and the area is close to the hustle and bustle of Stanmore district centre, the area still retains its picturesque charm, which is quite different in character to the rest of Stanmore. The very old buildings that are integral to the area include its grade II* listed red brick Old Stanmore Church, Church Road with numerous surrounding grade II* listed monuments in the Churchyard, and the adjacent grade II* listed stone Church of St. John the Evangelist, Uxbridge Road.

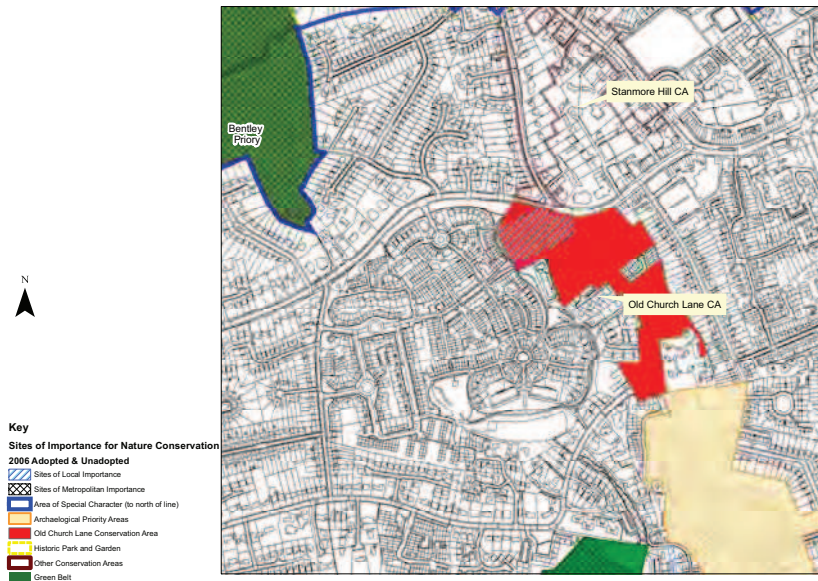


Picture 3.1 The grade II* listed Church of St John the Evangelist, Uxbridge Road



Picture 3.2 View towards the tower and ruined walls of the grade II* listed Old Stanmore Church, Church Road and a historic monument within the churchyard

3.2 The Conservation Area (CA) is in the north-east of the Borough, south of the Stanmore Hill CA, which includes the southern reaches of Stanmore Hill. Its setting in relation to other surrounding CAs and Metropolitan Open Land is shown on the maps below.



Picture 3.3 Old Church Lane Conservation Area in relation to other designations. © Crown copyright. All rights reserved 100019206, 2010



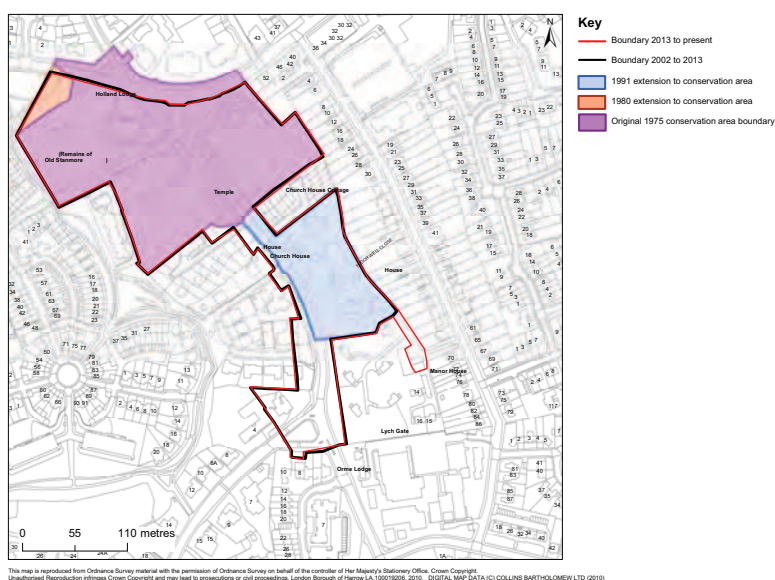
- | | |
|--|--|
| 1. Little Gheerston, Harrow | 15. Edgeway Hill, Green, Edgeway |
| 2. Brompton Hill, Harrow | 16. Harrow Lane, Harrow |
| 3. Old Church Lane, Harrow | 17. Wessend Green, Harrow |
| 4. Pinner Hill, Pinner, Harrow | 18. East Hill Lane, Harrow |
| 5. Pinner Green, Harrow | 19. Brentwood Park, Harrow |
| 6. Pinner Hill, Harrow (on the A5) | 20. North Hill Station, Harrow (on the A5) |
| 7. Harrow Green, Harrow (on the A5) | 21. The Mount Road, Harrow (on the A5) |
| 8. Harrow Park, Harrow (on the A5) | 22. Westwood Hill, Harrow (on the A5) |
| 9. Harrow on the Hill Village | 23. Mount Lane, Harrow |
| 10. Goldhill Hill, Harrow (on the A5) | 24. Harrow Hill Station, Harrow |
| 11. Brentford Hill, Brentford & Harrow | 25. Mount Road, Harrow |
| 12. Harrow Green, Harrow (on the A5) | 26. Colindale Park, Harrow |
| 13. Harrow Hill, Harrow (on the A5) | 27. Harrow Hill Station, Harrow |
| 14. Brentwood Park & Harrow, Harrow | 28. Harrow Lane |

Picture 3.4 Old Church Lane Conservation Area in relation to Harrow's Other Conservation Areas © Crown copyright. All rights reserved 100019206, 2010

Old Church Lane Conservation Area includes the following roads in part:

Old Church Lane, Cherry Tree Way, Church Road, Gordon Avenue, Manor House Estate, Rectory Close, Rectory Lane, Tudor Well Close and Uxbridge Road.

3.3 The initial boundary of the CA, which was designated in 1975, enclosed the church and church yard of St. John the Evangelist, Bernays Gardens and a number of timber framed buildings some of which are of medieval origin. In 1980 this was extended to include the original Georgian stone gate piers to Stanmore Park which are a record of the former house. By 2002 it had extended southwards including parts of Rectory Close, Cherry Tree Close and Gordon Avenue. In 2013 it was extended to include the former coach house built as a garage with chauffeur's flat above to the Manor House.



Picture 3.5 Changing boundaries map, Old Church Lane Conservation Area.© Crown copyright. All rights reserved 100019206, 2010

3.1.2 Planning Policy Context

3.4 Section 69 of the Planning (Listed Building and Conservation Areas) Act 1990 requires local authorities to determine those areas the environment of which is considered worthy of preservation and enhancement and to make these CAs. A CA is defined as an area of special architectural or historic interest, the character or appearance of which it is desirable to preserve or enhance. Local Authorities are further obliged to formulate guidance and proposals for the preservation and enhancement of these CAs, and to pay due regard to the views of the residents and public in the formulation of guidance and proposals. These principles are reinforced by the National Planning Policy Framework. The purpose of this Conservation Area Appraisal and Management Strategy (CAAMS) is to provide clear analysis of the architectural importance, character and appearance of the area, to help form the basis for making sustainable decisions about the area's future. It also identifies opportunities for enhancement along with guidance to protect the area's character.

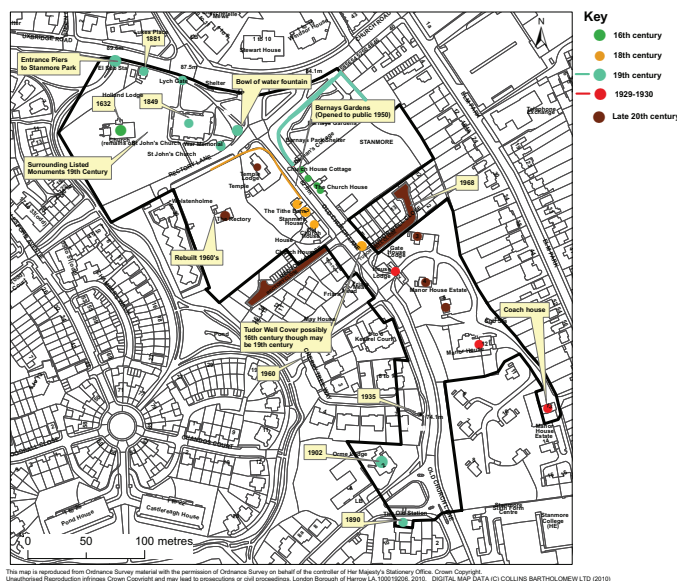
3.5 It was subject to public consultation and in December 2013 superseded the Old Church Lane Conservation Area Appraisal and Management Strategy which was agreed by Cabinet in April, 2006. This document required updating to reflect the area's changes. It carries weight as a material planning consideration for assessing all development proposals. This CAAMS forms an appendix to the Stanmore and Edgware Conservation Areas SPD. It is set within the broader context of CA policy guidance for Harrow contained within the Local Plan. It is also set within the National Planning Policy Framework particularly pages 30-32. It is important to note that: **no appraisal can be completely comprehensive and that the omission of a particular building, feature or open space should not be taken to imply that it is of little or no interest.**

3.1.3 Summary of Special Interest

3.6 The special interest of the Old Church Lane Conservation Area relates to its unusual mix of very old buildings and 1930s development in an "Old-World" style which successfully attempts to mimic the historic buildings around it. These buildings are complemented by the surrounding open spaces and greenery. Whilst there has been some more recent development and the area is close to the hustle and bustle of Stanmore town centre, it still retains its picturesque charm, making this area quite different in character to the rest of Stanmore. The very old buildings that are integral to the area include its grade II* listed red brick Old Stanmore Church, Church Road which is a highly picturesque ruin dating to 1632 with numerous surrounding grade II* listed monuments in the Churchyard, and the adjacent grade II* listed stone Church of St. John the Evangelist, Uxbridge Road. It is due to the first of these Churches that the name 'Old Church Lane' developed. The northern parts of the Old Church Lane CA immediately adjoin the Stanmore Hill CA, and contribute to its setting.

3.1.4 Short History

- Early History**



Picture 3.6 Age of buildings map NB Age refers to the earliest known part of the building © Crown copyright. All rights reserved 100019206, 2010

3.7 To understand the area's character today, it is important to consider its history. Its setting within Great Stanmore can be traced back to entries in the 1086 Domesday Survey. This refers to manors called Stanmere, owned by Robert Count of Mortain (William the Conqueror's half brother) and Stanmera, owned by Roger de Rames. Stanmere became Great Stanmore and included Old Church Lane. Stanmera became Little Stanmore.

3.8 The Domesday survey of 1086 records Stanmore as having a priest. This is evidence of the Saxon later medieval Church known as St. Mary which once stood on the site of the Old Station. Deterioration of this church and an increase in population led to a new brick church consecrated in 1632. St. Mary's is the old church to which Old Church Lane refers.

3.9 The Domesday Survey suggested that much of the land in Stanmore was in plough or lapsed arable use. Agriculture continued to be the main land use. This explains the Tithe Barn on Old Church Lane, which would have been used to store crops given in payment to the manor by the Parish. This dates back to the 17th century or earlier but has been altered. Cowman's Cottage, Church House Cottage and the Church House are of the 16th century and later.



**Picture 3.7 Grade II listed Tithe Barn,
Old Church Lane**

- **17th and 18th Centuries**

3.10 During the 17th and 18th centuries, Old Church Lane would have consisted of large residences such as the Manor House and their grounds (once in the grounds of Bernays Gardens), surrounded by meadows. The red bricked Old Stanmore Church which is now a picturesque ruin dates to the early 17th century and is attributed to Nicholas Stone. It was consecrated in 1632 by Archbishop William Laud (then Bishop of London). This church replaced an earlier medieval building and was paid for by the City merchant adventurer Sir John Wolstenholme. A font and porch within the Church were paid for by Nicholas Stone, Master Mason to Charles I. A number of the grade II* listed monuments within the Churchyard were added in the 18th century.



Picture 3.8 Bronze panel on Old Stanmore Church outlines its origins and history

3.11 In 1721 the 1st Duke of Chandos assisted George Hudson in building a rectory. It was a fine house with a pedimented gable. It was demolished in 1960 and a new rectory built on the same site.

3.12 Stanmore Park, though mostly outside the CA, would have had a significant impact on Old Church Lane. Recent archaeological excavations undertaken there revealed that there was previously a smaller building on the site. This may have been a Squire's villa, probably dating back to the early 18th century, which was subsumed into a much larger mansion, built in the 1760s, for the banker Andrew Drummond. The increase in large houses, such as these, along with the large number of gentlemen's residences in the area, required servants and tradesmen; who would have lived in the lower status houses at the bottom of Stanmore Hill.

- **19th Century**

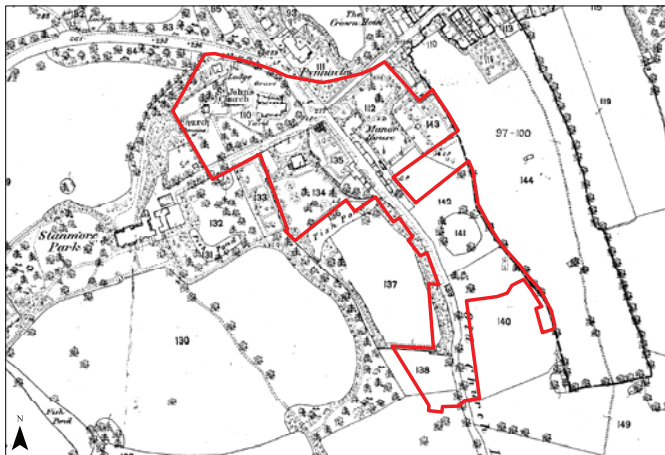
3.13 In the 19th century additional historical interest was added to the Old Stanmore Church, as the coffin of the 4th Earl of Aberdeen, Prime Minister in 1852-55, was deposited in a vault here. Again increase in population coupled with deterioration of the new brick church led to a new stone church within the same Churchyard, that is, the Church of St John the Evangelist in 1849. Partial demolition of the brick church in 1851 to raise funds by sale of materials led to its present ruined state. Its roof was therefore subsequently removed. It now has grade II* listed status for the numerous monuments transferred from the Old Church. The new church was consecrated by the Bishop of Salisbury in absence of the Bishop of London in 1850. Within the Churchyard there is a small lodge built to commemorate Robert Hollond, the owner of Stanmore Hall, who was an MP and famed for ballooning.



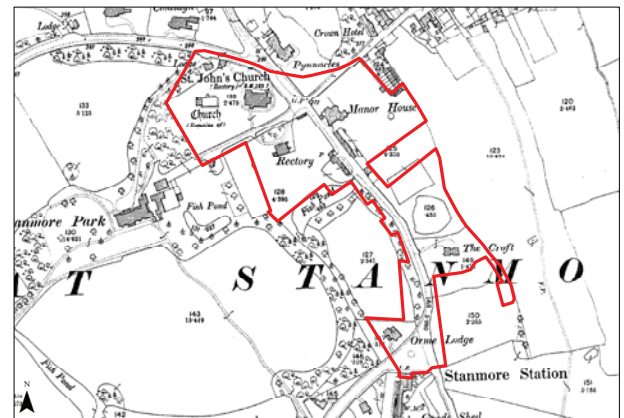
Picture 3.9 Grade II listed Holland Lodge, Uxbridge Road

3.14 The above developments prior to 1890, which are still evident today are highlighted on the current map of Old Church Lane below. Similarly, developments from 1890 to 1935 and from 1935 onwards which are still present today are highlighted. Details of these follow.

3.15 In 1890 the railway line was extended from Wealdstone to Stanmore. This extension and a terminus in Old Church Lane was paid for by Frederick Gordon, who owned Bentley Priory and had converted it to a hotel. He was keen to bring in visitors. The station and line had closed by 1964 as they were not profitable. The station was converted into a private house and the station yard was built upon. The lower portion of the station building still exists although much altered.



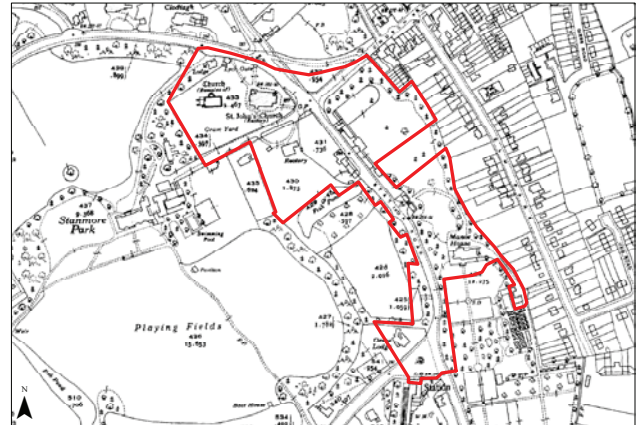
Picture 3.10 Historical map - 1864-1894 © Crown copyright. All rights reserved 100019206, 2010



Picture 3.11 Historical map - 1896 © Crown copyright. All rights reserved 100019206, 2010



Picture 3.12 Historical map - 1913-1914 © Crown copyright. All rights reserved 100019206, 2010



Picture 3.13 Historical map - 1932-1941 © Crown copyright. All rights reserved 100019206, 2010

- **Early 20th Century**

3.16 The tomb of Betty Jellicoe was added to the churchyard in 1911. This is of historic interest as Betty was the five-year old daughter of Admiral of the Fleet Earl Jellicoe (1859-1935) and his wife Florence nee Cayzer; at the time of her death he was serving as Commander of the Atlantic Fleet. He went on to command the Royal Navy at the Battle of Jutland in 1916. This was added at the same time as the grave to W S Gilbert.

3.17 The majority of changes, and where Old Church Lane achieves much of its picturesque charm, is from the 1930s and was due to Samuel Wallrock. The previous house on the site of the Manor House, which was built in the early 1900s on the site of a 17th century house and gardens, was demolished in 1930. Wallrock began to build an "Old World" Manor House in its place from 1929-1930. The new Manor House was made to look older with second hand clay tiles, stained glass from a church and panelling from Lord Leverhulme's estate, even older trees were transported to site.



Picture 3.14 Grade II listed Manor House, Manor House Estate

3.18 The range of buildings from Cowman's Cottage to the Church House were reconstructed by Wallrock using 17th century materials. This occurred circa 1930 and transformed cottages and outbuildings, probably of the Old Manor, to form a 'Tudor' banqueting hall and guest accommodation for the new Manor House. The Gatehouse Lodge and Coach House are also contemporary.



Picture 3.15 The range of Grade II Listed buildings from Cowman's Cottage to Church House, Old Church Lane

3.19 The Ministry of Defence acquired the Manor House for use by the Royal Air Force. It was after World War II that St. John's Church purchased the estate, keeping the Banqueting Hall and Verger's Cottage. The northern part and Cowman's Cottage and Cow Sheds (ie Bernays park shelter) were sold to Harrow Council in 1948 who opened it to the public as Bernays Gardens in 1950. The park shelter and Cowman's Cottage were sold by the Council in 2012. Wallrock became bankrupt in 1933 having spent an estimated £100,000 on the house and estate, so the Church took over the decorative outbuildings as a Church hall and the verger's residences.

3.20 On the other side of Church Road, Pynacles burnt down in the 1930s and so several acres of land were released for development. The loss of these two major buildings on the cross-roads allowed the increasingly busy junction here to be altered, changing the layout of the top of Old Church Lane.

3.21 From 1938, when the RAF moved into Stanmore Park, pressure for additional residences for personnel led to increasing development off Old Church Lane, such as Cherry Tree Way, which was built in the late 1960s. The Manor House was taken over by the RAF in 1940. Other developments such as Rectory Close in 1958 and Tudor Well Close in 1968 have changed the face of Old Church Lane. Most recently new houses and flats in an 'Old World' Arts and Crafts style have been built on Cherry Tree Way as the RAF properties were sold.

3.22 New developments have often incorporated relics of the past within them. The locally listed Tudor Well Cover, where Tudor Well Close gets its name, was likely moved from the grounds of the original timber framed Manor House. The origins of the locally listed old lychgate, located in the open space by Cherry Tree Way, are not clear. It could be associated with the Manor House which was built in 1930 as a photograph exists of a lychgate showing the south elevation of the house entitled 'The Manor house through the lych gate'. A lych gate appears on a 1935 O.S. Map in a more northerly position than it is located today, and appears in its current position on an OS map of 1964. Alternatively, the lych gate could have a connection with the former church on the

site, as the land was previously part of the grounds of the Rectory to St John's Church. The bowl of water fountain now outside St John's Church was originally located at the junction of Green Lane and Stanmore Hill.

- **Late 20th Century Development to the Present Day**

3.23 More recent development has on the whole respected the historic and architectural character of the area and its densities of development. For example, the open spaces within the CA, which are important to the setting of buildings within the CA, and provide good relief, have not been developed.



Picture 3.16 Open green spaces provide good relief to the setting of most buildings within the Conservation Area, as illustrated here in front of number 4 Manor House Estate

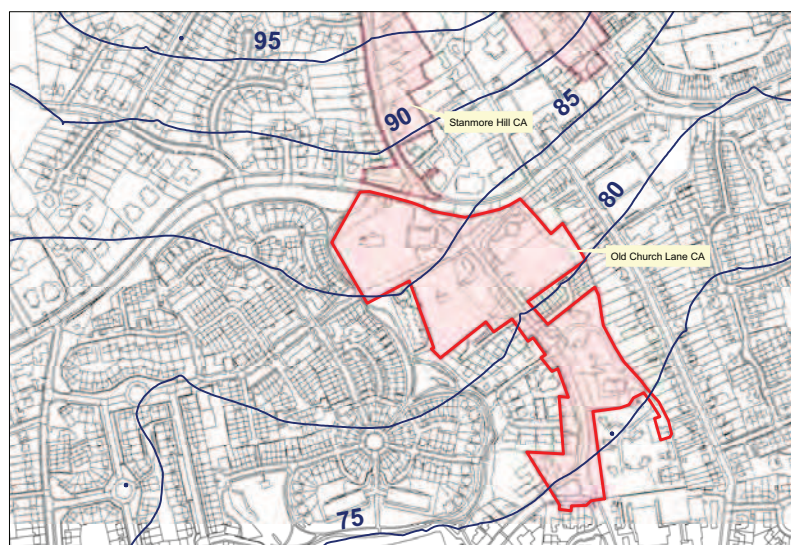
3.1.5 Archaeology and geology

3.24 Archaeology and geology for this conservation area is considered in the overarching document entitled, Stanmore and Edgware Conservation Areas Supplementary Planning Document, in consultation with English Heritage.

3.2 The Character of the Conservation Area Today

3.2.1 Density of Development, Topography and Plan Form

3.25 The topography of the land is gently sloping from north to south, which provides interest to the streetscene. For example, the ornate Tudor style chimneys of properties just south of Bernays Gardens (i.e. Cowman's Cottage, Church House Cottage and the Church House) are staggered in line with the slope. The plan form of the area is set by Old Church Lane which runs from north to south. This provides the central route through the CA from north to south from; all other conservation routes are offshoots running west to east, often as Closes. With the exception of the Old Stanmore Church and The Rectory, all development is set along Old Church Lane or on the routes which run off it. Overall the densities of development within the area are relatively low to medium, as it comprises a mix of large open spaces and groups of closely spaced buildings.



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3.2.2 Townscape Character

3.26 The area contains an interesting mix of large open spaces and groups of tightly packed buildings. This mix reflects the area's history. Large houses in substantial grounds were part of the early character of the area. These large houses were replaced with smaller buildings spread throughout their grounds, but still retaining considerable open space around them. The following draws the area together: similar building materials, important mature trees and the primarily residential use of space. Indeed, many historic buildings were converted to residential use including the Tithe Barn. Unifying the area further, many buildings are of one or two storeys. Some later 1960s development is higher but does not sit well with the historic structures around.

3.27 Around the junction of Old Church Lane and Church Road/Uxbridge Road, there is a significant area of open public space. The junction itself is large but is broken up by areas of soft landscaping and mature trees. Adjacent to this is the large churchyard of St John's which is surrounded by hedging and has many attractive trees, helping to create calm within the churchyard. The hedge and tree screen on the boundaries to The Rectory and Wolstenholme not only act as an important setting to the two churches, but also create an attractive green 'tunnel' over Rectory Lane. This forms one of a number of key views within the area.



Picture 3.18 Green 'tunnel' over Rectory Lane

3.28 Old Church Lane's attractive roofscape helps make this area stand out. The two towers of the churches both create dramatic views whilst the large, ornate chimneys on the Church House, The Gatehouse Lodge and the Manor House give the skyline interest. Together unusual roofs, key views across open spaces and to significant buildings, form additional points of interest.

3.29 The high brick walls to Temple Lodge and Bernays Gardens, the range of 'Tudorbethan' buildings from Cowman's Cottage south and the Tithe Barn which all front directly onto the pavement, make the entrance into Old Church Lane feel quite enclosed and immediately give the area a strong architectural historic character. Large trees project over these walls, softening the built streetscape whilst further enclosing views up and down the road. They also indicate that there are significant areas of open space behind the high walls. Bernays Gardens feels secluded and separate from the roads outside because of these high walls and large trees, which is a key part of its attraction as a space.



Picture 3.19 Bernays Gardens

3.30 Further down Old Church Lane, the streetscape widens out, as there are open front gardens and wide grass verges. These grass verges soften the street scene and combined with a change in level between the road and the pavement, help to separate pedestrians and houses from the road. Gatehouse Lodge is set away from the road, signifying its role as a separate entry-way and allowing short views to this attractive building.

3.31 Beyond the Lodge, the thick mature tree screen surrounding the Manor House Estate is key to the character of this part of the CA providing glimpsed views to the Manor House behind the trees.



Picture 3.20 Thick mature tree screen surrounding the Manor House Estate

3.32 Opposite, the open space to Cherry Tree Way also has significant trees which helps to soften the street scene. At the junction with Gordon Avenue, the buildings face onto a triangular piece of green, again with dense tree cover, which makes this junction distinct. Orme Lodge, as one of the taller buildings in the CA, is prominent and gives strength to this corner. The Old Station, with stone mullioned windows and heavy timber door with Gothic arch above, and small stone trefoil window, also looks out on the mini Green. Though much altered, this provides an element of architectural and historical interest, indicating the historical development of the area.



Picture 3.21 Locally Listed Orme Lodge, junction of Gordon Avenue and Old Church Lane



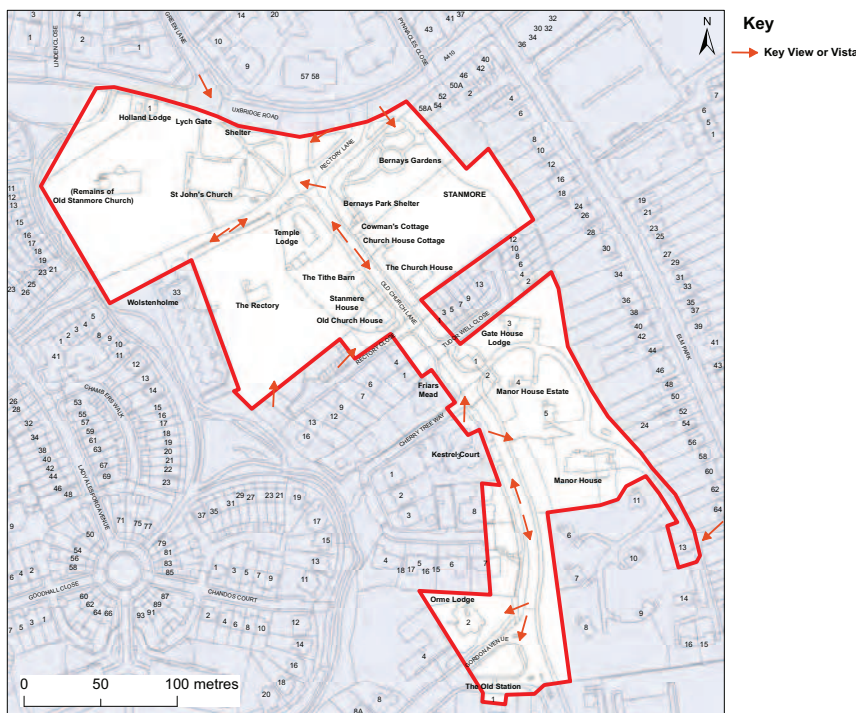
Picture 3.22 The Old Station fronting mini Green, junction of Gordon Avenue and Old Church Lane

3.2.3 Activity and Uses Within the Area

3.33 Most buildings within the CA are used as single family dwelling houses which provides a tranquil, suburban quality to the CA. Otherwise, there are two Churches which are integral to the historic character of the area, and number 2 Orme Lodge is a residential care home which complements the suburban character of the CA, to some extent. The public open space of Bernays Gardens is a public park, and this contains a park shelter (though in some disrepair), which again complements the suburban character of the area and provides some relief despite the close proximity to Stanmore town centre.

3.2.4 Key Views and Vistas

3.34 Examples of key views and vistas are highlighted on the following map and photos within this document. They include those within, into and out of the CA. Good views include those towards buildings which are identified within this document as making a positive contribution to the character of the CA, or even just some of their notable architectural details. For example, the high brick walls to Bernays Gardens. They also include views towards soft landscaping, trees and open spaces which contribute to the soft suburban character of the CA, particularly by the 'Townscape Character' section.



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Picture 3.23 Key views and vistas N.B.This map is not exhaustive but indicates types of views that are important.



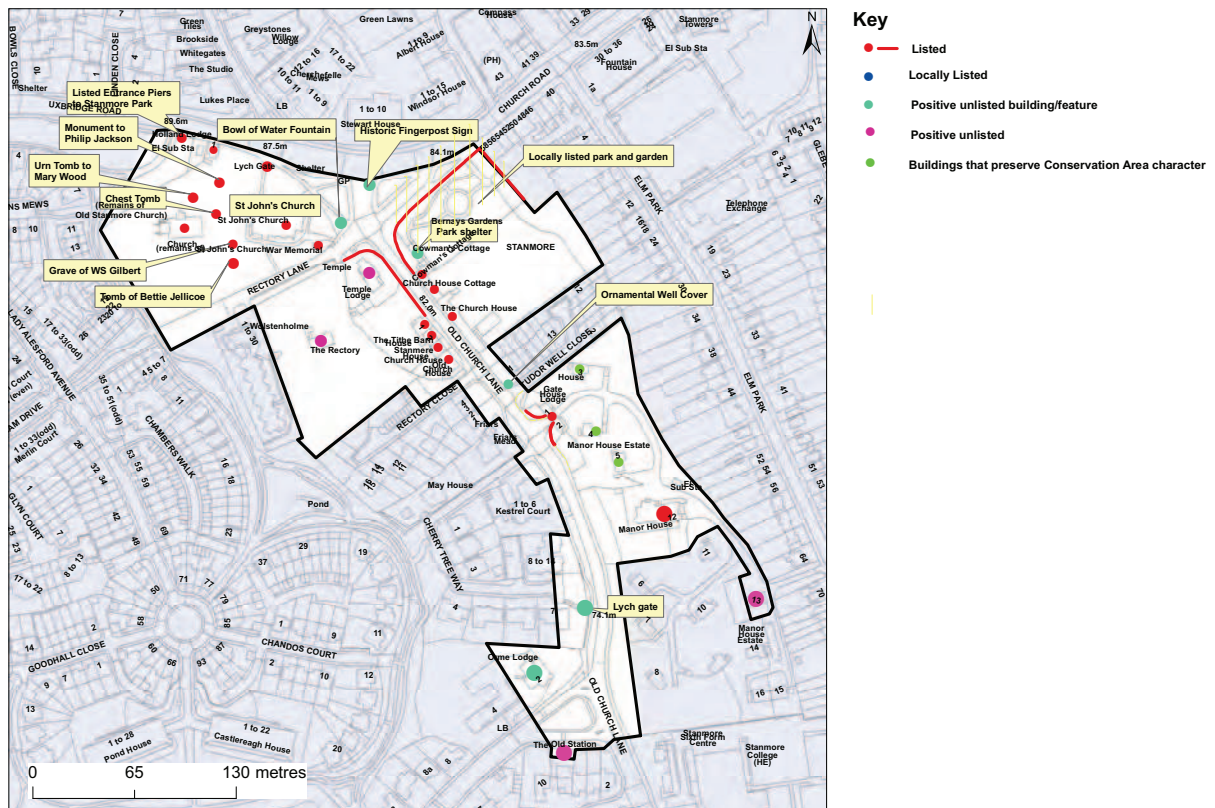
Picture 3.24 Decorative architectural details provide the source of shorter distance views, such as the Lych Gate on the Uxbridge Road

3.2.5 Architectural Qualities

3.35 The architectural character reflects the development of the area. Much development occurred either as new build or re-modelling existing buildings from the 1930s onwards by Samuel Wallrock in a Tudor Revival style as he created a Tudorbethan style estate, complementing the genuinely ancient buildings nearby. The following explains key buildings in the area. These are highlighted in the map below as listed, locally listed buildings and positive unlisted buildings. The map also highlights the locally listed Bernays Gardens which contains some of the Tudorbethan estate in the form of listed walls and the locally listed cow sheds (once the Bernays Park Shelter) and natural remnants of Samuel Wallrock's estate in the form of large trees moved to the grounds (see the 'Green Spaces and Ecology' section).

- **Churches and Churchyard Monuments**

3.36 The two churches are the most striking and dominant buildings in the CA and they make an unusual pair as it is very rare to have two churches within the same Churchyard consecrated. The ruined brick church (1632) is a highly picturesque ruin and also of significant architectural importance as a rare example of an early Caroline Classicism brick church showing the impact of Inigo Jones. It was stark in its simplicity without aisles or a choir. Churches of this period are relatively few. The ruin is open to the public each summer and some services are still held there, weather permitting.



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Picture 3.25 Positive buildings



Picture 3.26 View towards the remains of a wall to the grade II* Old Stanmore Church, with the grade II* Church of St John the Evangelist behind

3.37 The Old Stanmore Church is of red brick with Portland stone dressings and has a rectangular plan with west three-stage tower. Its tower is notable for its diagonal buttresses, an arched door with blocked quoins, arched window openings (paired at the upper stage) with stone surrounds, and stair tower to the north-east corner; reinforced with later massive brick buttresses. Its side walls partially survive and have tall framed rectangular window openings (some blocked or altered) with wooden mullion and transoms; single storey two-stage brick mortuary chapel attached to north side, with blind arched panels and stepped dentil cornice. Inside the Old Stanmore Church are numerous memorials and ledger slabs which were placed inside the tower. The Gothic Hollond tomb of 1867 was built (of red sandstone and marble) was later placed in the centre of the former nave, together with other Victorian graves. The interior was paved over with stone flags in 1991-2.

Important architectural details of the grade II* Old Stanmore Church



Picture 3.27 The interior of the tower in which was placed memorials and ledger slabs



Picture 3.28 The Gothic Hollond tomb of 1867 built of red sandstone and marble now in the centre of the former nave



Picture 3.29 Memorial within the Old Stanmore Church



Picture 3.30 Monuments fixed to an external wall grade II* listed Old Stanmore Church

3.38 Surrounding the Old Stanmore Church are four grade II* listed monuments and one grade II listed monument, which are of historic and architectural importance in their own right and complement the setting of this church. They are listed in the box below.

Listed Monuments surrounding the Old Stanmore Church:

1) The monument to Philip Jackson (d.1779) in Churchyard. This is a short obelisk, on scroll feet standing on plinth. It is located between the east end and road to the north.

2) The chest tomb of 18th century ashlar with paired fluted pilasters at corners and garlands and Cherubs round oval panels on long sides. The inscription is eroded. It is located adjacent to north-east corner of Old Stanmore Church.

3) The urn tomb to Mary Wood (b.176(?)). This is an urn with scrolls to corners of base, pedestal with wreathed circular panels on each side. It is located to the north of east end of Old Stanmore Church.

4) The grave of WS Gilbert. (1911). This is of white marble and has an angel with wings displayed above a cambered slab and chamfered base. It is located to the south west of the Church of St. John.

5) The tomb of Betty Jellicoe d.1911. (grade II listed). This is of Carrara marble and is a variant on the Athenian stela, or grave-marker, comprising a scallop-headed upright, against which is a high relief carving of an angelic girl, clutching a posy of flowers and soaring heavenwards. The inscription closes 'Gracious Saviour Gentle Shepherd / Little Ones Are Dear to Thee / Gathered with Thine Arms and Carried / In Thy Bosom May she be / Sweetly Fondly Safely Tended / From all Want and Danger free'. It is an unusual memorial, probably incorporating a portrait of the dead girl, encapsulating the tender sentimentality of its date.



Picture 3.31 The grade II* Listed urn tomb to Mary Wood within the Churchyard



Picture 3.32 The grade II* Listed monument to Philip Jackson in the Churchyard.



Picture 3.33 Detail of the grade II* listed monument to Philip Jackson

3.39 The 1850 Church of St John the Evangelist is a handsome building by Henry Clutton in Decorated Gothic style. It is of Kentish Rag and Bath Stone materials which stand out against the dark red brick of the surrounding buildings. The Church is now grade II* like the adjacent Church due to the monuments housed there, which were transferred from Old Stanmore Church. These include those to: John Burnell (d.1605), John Dalton (d.1785), Sir John Wolstenholme (d.1699) under canopied monument in tower, Sir John Wolstenholme (d.1634; effigy by Nicholas Stone), John Wolstenholme (d.1669), John Dalton (by Bacon 1791), Elizabeth Dalton (d.1812) and First Earl of Aberdeen (by Boehm, 1875). Its font was also transferred from the other church. It is by Nicholas Stone circa 1632. There are numerous other C18 and early C19 wall monuments in the tower.



Picture 3.34 Detail to the grade II* listed Church of St John the Evangelist, Old Church Lane

3.40 Notably the Church of St John the Evangelist has 2-light stained glass windows by Edward Burne-Jones (1885) on its south aisle and there is a five-light east window, by Thomas Willement circa 1849 (artist in stained glass to Queen Victoria). Its north aisle has 2-lights circa 1896 in the style of C E Kempe, possibly by Burlison and Grylls. Its battlemented tower is probably its key architectural characteristic in terms of its contribution to the character of the CA as it forms the

focus of views around the area and particularly down Green Lane and from Old Church Lane. On the north side it also has an impressive lych gate, built of oak which is referred to within the street furniture section below.



Picture 3.35 View of the battlemented tower of the grade II* St John the Evangelist from within the Old Stanmore Church. This tower forms the source of numerous key views.

- **Historic Outbuildings and Barns**

3.41 The Tithe Barn on the west side of Old Church Lane dates back to 15th century, but was rebuilt extensively in the 18th century. At the same time stabling for 6 horses and a covered way was added at the southern end, which now form Stanmere House and Old Church House. Their former role, and this organic growth, has ensured that the buildings do not have a conventional residential appearance, being more informal with differing roof pitches and shapes. They make an attractive group with leaded lights, exposed timber framing, and small, pitched dormer windows. All are listed Grade II.



Picture 3.36 Grade II Tithe Barn, Old Church Lane



Picture 3.37 Good grouping of grade II Tithe Barn, Stanmere House and Old Church House

3.42 Opposite, outbuildings with elements dating from the 16th century onwards, which were formerly associated with the old Manor House, were remodelled to form a row of brick buildings, now in use as residences and as the Church Hall, which are described in more detail.

- **19th Century Buildings**

3.43 The small lodge in the churchyard, number 1 Uxbridge Road, known as Holland Lodge in memory of Robert Hollond, is an attractive Victorian building with decorative tile roof, and ornate ceramic panels. It has exposed timber framing in common with other buildings in the CA. This is grade II listed. The Station built in the late 19th century is much altered, having lost its decorative tower entrance. The building retains its stone mullion windows and is important in terms of the history of the area.

Various decorative details to the grade II Holland Lodge, Uxbridge Road



Picture 3.38 Decoratively carved timber work to gable end with delicately carved terracotta panel and stone mullioned windows within



Picture 3.39 Good decorative tile roof



Picture 3.40 Very good ornate ceramic panels



Picture 3.41 Good timber framing and decorative timber porch detail

3.44 Orme Lodge opposite is a substantial Edwardian building, now used as a care home. It is in attractive red brick with decorative tile hanging and locally listed. It links in with the Tudorbethan style of the area given its mock timber framing against darker render detail and jettied bay window with supporting brackets shown below. It also has an attractive gauged brick framed oval window evident below. The building provides a strong architectural feature on this corner site.



Picture 3.42 Locally listed Orme Lodge

3.45 The Station is unlisted but makes a positive contribution to the area, and it would be damaging to lose it.

- **"Tudorbethan" development in the 1930s**

3.46 An important part of the special interest of the CA relates to the several Tudorbethan style buildings built or remodelled by Samuel Wallrock in 1930 as he created his own Tudorbethan style estate. The Manor House, Gatehouse, Coach House, Cowman's Cottage, Church House Cottage and Church House were constructed or remodelled circa 1930 to create deliberately "period" buildings using Tudor revival historic details such as stone mullion windows, leaded lights and exposed timber framing. Typical Tudorbethan details used also include decoratively carved timberwork, particularly bargeboards, tall decoratively moulded or angled brick chimneys, cat slide roofs and an interesting and varied roofscape including gable ends, steeply pitched roofs and small pitched dormers. They were constructed using 17th century materials circa 1930, transforming cottages and outbuildings, probably of the old Manor, to form 'Tudorbethan' development that was typical during the interwar period in Stanmore. Tudor revival details used are explored further in the 'Prevalent and Traditional Building Materials and Detailing' section.

3.47 Illustrating the Tudorbethan style, the Manor House has tall chimneys, steeply pitched roofs, leaded glass windows, stained glass details, jettied floors, oriel window and an elaborate porch with timber supports carved like barley twists. It features half timbering detail, carved timber barge boards, prominent gables, stained leaded glass, tile hanging, excellent heavy carved oak detail, bay windows, very tall Tudor style chimneys, steeply pitched roofs, Flemish bond and herring bone pattern.

3.48 Samuel Wallrock began his estate with the Manor House which was modelled to look much older using the design, historical knowledge and materials of other older buildings around the country. To achieve this Samuel Wallrock searched all over the country buying old barns and second hand 100 year old moss covered clay tiles (50,000 tiles were collected in total). He used oak beams from many houses in English villages, 400 year old leaded glass and stained glass from numerous churches, panelling from Lord Leverhulme's estate in Cheshire and a carved oak

staircase copied by old designs from a Worcestershire village 16th century example. The house probably also used some materials from the nearby old 17th century Manor House which was demolished around then. An article in the Sunday Express of the time reported on the details of the building and reasons behind construction. This states, for example, that he included a Tudor style dining room, Empire drawing room and old oak beams brought from villages all over England. He included a Tudor Oak front door. Windows on first floor show arms of Mr Wallrock's regiment, school, the Court of Middlesex and the Incorporated Society of Auctioners of which he was the past president, the British Red Cross Society and Royal Horticultural Society. Externally these details remain apparent. It is notable for its high quality detailing and largely unaltered state.

3.49 Importantly, no machine made article were allowed to be used in the construction of the house. Workmen were encouraged to feel that being given the chance they were capable of doing as well with their craftsmanship as Tudor workmen. Wallrock was admired for his philanthropy in using private funds to preserve craftsmanship which was perceived as waning in twentieth century England. Woodwork, ironwork, leadwork and wood-carving were all carried out at the manor house. He wanted to show that workers of the day were not machines but craftsmen. Interestingly a detailed description of the Manor house interior design and its gardens and their condition is contained in booklet from 1988 held within the local history library.

3.50 This building has added historic interest as Wallrock became bankrupt in 1933 having spent an estimated £100,000 on the house and estate and following this the Ministry of Defence acquired the Manor House and Gate House for use by the Royal Air Force. From 1969 it was a residence for senior officers. The first from 1954-1957 was Air Vice Marshall Chamberlain – who was a 'brilliant signals and electronics specialist and helped to develop the air interception radar used by night-fighters in the Battle of Britain'. Another from 1970 to 1974 was Sit Christopher Foxley-Norris who became the RAF's commander-in-chief in Germany. Also, Sir Donald Hall from 1977-79 station commander at Akrotiri, responsible for organising airlift of 20,000 people from the island following the Turkish invasion of 1974.

Good Tudorbethan details to the listed Manor House, Manor House Estate



Picture 3.43 Varied roofscapes, decorative mock timber framing, tile hanging and jetty overhang



Picture 3.44 Stained glass detail to the leaded light oriel window with delicately carved timber work around it

3.51 Similarly, illustrating its Tudorbethan style the symmetrical gate house (pictured below) uses red brick and has tall central chimneys set on an angle, brick nogging in herring bone patterns above the entrance arch, exposed timber framing, steeply pitched roof, clay tile hanging, jettied central first floor, leaded windows, white render and interesting coat of arms above the central drive through the Gatehouse entrance. This too uses old timbers just like the Manor House. Complementing its setting there are also good low curved brick walls in front with the name of the Manor House beyond and a good floorscape underneath the arch and on the ground in front made of a fanned layout York Stone and cobbles which together form good elements of street furniture. Over the entrance is inscribed the words from Troilus and Cressida ‘Welcome ever smiles and farewell goes out sighing’.



**Picture 3.47 Listed
Tudorbethan Gatehouse
Lodge, Old Church Lane**

The grade II listed row of buildings from Cowman's Cottage to Church House Cottage and then the Church House also have ornate Tudor style chimneys, stone mullion windows with leaded lights and exposed timber work with infill lathe and plaster panels. Cowman's Cottage is separated from Church House Cottage to the south by a carriage-way but the roof above the carriage-way links Cowman's Cottage to Church House Cottage to form a continuation of Church House. The west frontage of all three buildings provides the appearance of a single phase of construction which is reflected in them all having the same grade II list description.



**Picture 3.48
Tudorbethan
style chimneys
to Church
House Cottage,
Old Church
Lane**



**Picture 3.49 Lathe and
plaster infill on wall to the
grade II listed Cowman's
Cottage, Old Church Lane
and part of its roof over the
carriage-way**



**Picture 3.50 Grade II listed
Cowmans Cottage,
Church House Cottage
and The Church House**

3.52 The locally listed Bernays Park Shelter (otherwise known as the Cowsheds - though it is not known if these were originally cowsheds or just intended to mimic them) is sited towards the west end of the locally listed Bernays Gardens park, backing onto the north garden of Cowman's Cottage. Its five pitched gables to the east elevation form a principal feature of Bernays Gardens. This building has a strong architectural presence, forms part of key views and is a key part of the historical development of the area.



**Picture 3.51 The positive
unlisted Bernays Park Shelter,
Bernays Garden**

3.53 Like the Manor House and Gatehouse, the coach house and brick adjacent brick wall was built c1929-30 for Samuel Wallrock, to designs by Douglas Wood. It was built using traditional materials in the inter-war vernacular revival style like the Manor House and Gatehouse and similarly treated group of listed cottages on Old Church Lane. They are of architectural interest as a coherent group with these buildings. The coach house is also of interest as a purpose-built inter-war garage and chauffeur's flat associated with the Manor House.



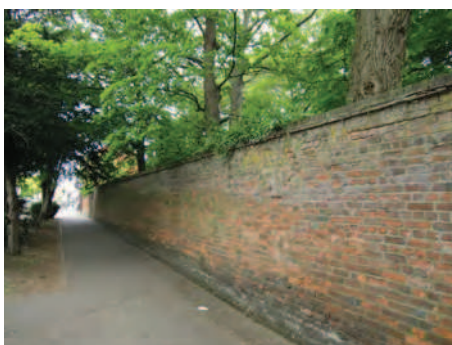
Picture 3.52 Coach House, Old Church Lane makes a positive contribution



Picture 3.53 Historic wall adjacent Coach House

- **Street Furniture**

3.54 The importance of the good low curved brick walls in front of the gatehouse and the York stone and cobbles as street furniture in front of the gatehouse is outlined above and in the 'Floorscape' section. The grade II listed 19th century red brick walls to Bernays Gardens form both a definite boundary, enclosing the streetscene, and also create a "secret" garden within which is locally listed. They are of red and yellow brick and are about 12ft high. They were buttressed later. The walls have clearly been repaired and rebuilt several times and comprise blocked doorways, buttresses and different bricks. These alterations add to their aesthetic appeal. The grade II listed wall fronting the road running north west from the corner of the Tithe Barn, turning along Rectory Lane for approximately 20 yards is similarly important. It dates to the 19th century and is red brick, about 6ft high. It provides a good setting to Temple Lodge. Both these high walls add to the traditional character of the area and add good enclosure to the streetscene.



Picture 3.54 Grade II listed red brick walls to Bernays Gardens



Picture 3.55 Grade II listed wall on Old Church Lane, which provides a good setting to Temple Lodge

3.55 The tudor well cover, now used as a large, ornate plant pot, is easier to miss but an interesting relic of the past which has elaborately detailed stonework. It is a stone ionic well cover, with intricate carved details and coat of arms and once stood in the gardens of the early late 16th or 17th century timber framed Manor House which was demolished in 1930. It is in the form of a debased Ionic capital, with shallow scrolled volutes. The shaft is fluted but the necking is plain,

embellished with opposing rosettes and shields crossed by pennants. Holes in the top, to the side of the circular basin, mark fixings for a decorative ironwork superstructure which was illustrated in drawings of the well head when it was in-situ in the gardens of the old manor house, but has since been removed. The well head appears to have been sculpted as a single element, rather than being a reworking of something earlier and while it could be C16 in origin, the slender form of the decorative detail suggests it is C19 and probably later C19, designed for a revivalist Tudor garden at a date when surviving garden structures are more common. It is of local interest for its association both with the former manor house and with Samuel Wallrock's Manor House and antiquarian collection of the 1930s.



Picture 3.56 The Locally Listed Tudor Well Cover, Old Church Lane

3.56 The lych gate to St John the Evangelist Church is of architectural interest due to its contribution to the streetscene and as it strongly complements the setting of the church behind. Its very decorative carved oak details are of particular note. It is a curtilage listed building. The second lych gate, by Cherry Tree Way, which is locally listed is constructed of fairly old timbers, although these are not joined together. Despite not being as old as it might appear, it has a quirky and attractive presence in the street scene. The timbers are possibly salvaged. Its origins are not fully known but are explored within the short history section.



Picture 3.57 Grade II* curtilage listed lych gate to St John the Evangelist Church, Uxbridge Road



Picture 3.58 Lych gate by Cherry Tree Way on Old Church Lane

3.57 The entrance piers to Stanmore Park are an attractive reminder of the scale and grandeur of the house that once stood there and were recently restored following the redevelopment of Stanmore Park. The piers are Georgian as they were built as part of the Drummon Families estate in Stanmore either at the time of construction in 1760s or the improvements in 1780s. They are of limestone with interesting, as they are square with vermiculated rustications and Greek fret frieze, consoles to right and left. These have a blocking course and flat pyramid cap. The north piers are within the CA on Uxbridge Road, the south piers (which are matching) are on Gordon Avenue, with both sets being grade II listed.



Picture 3.59 Grade II Listed entrance piers to Stanmore Park

3.58 The historic fingerpost sign was introduced in the 1920s and is locally listed. Its history is interesting as it was introduced following a review of the traffic signing system in 1921, which recommended that signs displayed the roads classifications for the first time. Thus it was necessary to incorporate the road numbers on directional signs. To this end, fingerposts were standardised with place names in 3-inch high black block capitals on a white background. 'Class I' roads were indicated by a black 'A' and a number on a white background. This sign post was restored in 2006. The sign and method statement for repair and maintenance is given within the Harrow Heritage Street Furniture Audit (March, 2007).



Picture 3.60 Locally listed historic fingerpost sign, Uxbridge Road

3.59 The grade II listed War Memorial of 1920, in the form of a large Celtic cross, with interlace enrichment to the arms of the cross and upper parts of the shaft, provides an attractive landmark within the CA. It is of grey Cornish granite, roughly hewn to the base and its two-stage base stands on three square steps. It has good rectangular bronze panels to each side of base list the names of the 57 men of Stanmore who sadly did not return from action in the Great War; the front panel reads '1914 - 1918. Remember with thanksgiving the true and faithful men who in these years of war went forth from this place for God and the right, the names of those who returned not again are here inscribed to be honoured for evermore'. It is an imposingly large example of its type, and one possessing considerable group value with the churches behind, and their highly picturesque graveyard.



Picture 3.61 Grade II Listed War Memorial, Rectory Lane



Picture 3.62 One of the three bronze panels on War Memorial, Rectory Lane



Picture 3.63 Names inscribed on another bronze panel on the War Memorial

3.60 The locally listed water fountain bowl which is now used as a plant bed was originally located on the pavement just north of the green, north of number 113 Stanmore Hill, as shown below. This provides an interesting link between this CA and another of Stanmore's CAs, namely Stanmore Hill CA. Now it provides a good architectural and historic focal point to complement the setting of the grade II* listed St John the Evangelist Church.



Picture 3.64 Locally listed water fountain bowl complements the setting of the St John the Evangelist Church, Old Church Lane



Picture 3.65 The water fountain bowl in its former location on Stanmore Hill in the 19th century

3.2.6 Prevalent and Traditional Building Materials and Detailing

3.61 Dark red handmade bricks and handmade clay tiles are the predominant materials used in this area. There is some exposed timber framing and panels of render. A key factor drawing the area together is the Tudorbethan character of much of the development here. As described in the 'Tudorbethan' development in the section above, this is largely on the Tudorbethan style buildings. A lot of this development dates to the 1930s and is particularly notable as it uses genuinely old fabric. However, Tudorbethan characteristics sometimes form characteristic elements of the remaining buildings. For example, Orme Lodge features an oriel window, jetty and mock timber framing and the Old Station features stone mullioned windows and a heavy timber door with Gothic arched top and a small trefoil stone window. Examples of these types of Tudor Revival style details, which are important to the CA, are listed within the box below and some are contained in the photographs below.

Examples of traditional Tudor revival style details which are important to the Conservation Area include:

- 1) Small timber framed windows with square or diamond leaded lights, some using stained glass panels and timber lintels above
- 2) Varied roofscape with sloping tiled roofs and various gable ends and some ornate tall brick chimneys
- 3) Decorative timber carving, particularly as bargeboards
- 4) Clay tile hanging
- 5) Jetties
- 6) Oriel windows
- 7) Stone mullion windows
- 8) Herring bone panels within timber framework
- 9) Heavy, thick timber doors with iron work and Gothic arch above

Examples of typical traditional Tudor Revival style details



Picture 3.66 Stone and timber Tudor revival style details to the windows and door of Church House, Old Church Lane



Picture 3.67 Herring bone patterns infilling mock timber framing panels on the locally listed Gate House Lodge, Old Church Lane

3.62 In keeping with the traditional character of the area and the small scale of most buildings, most do not exceed two storeys. Where another storey is provided this is due to small dormers within the roofscape as indicated by the following photographs.



Picture 3.70 Small pitched roof dormer on Church House Cottage, Old Church Lane



Picture 3.71 Sloping pitched roof dormer to the Tithe Barn, Old Church Lane

3.63 Another interesting characteristic of the CA is the use of small plaques, historic and/or decorative details or inscriptions that highlight the names or origins of buildings or monuments. The carved inscriptions to the curtilage listed Lych Gate, Uxbridge Road (see the 'Key Views and Vistas' section) is a key example. Further examples are shown in the photographs below.



Picture 3.72 Inscription and carved detail on Holland Lodge, Uxbridge Road



Picture 3.73 The Church House's name carved onto a lintel above a ground floor window, Old Church Lane



Picture 3.74
Traditional style
lamp with name
panel on the Tithe
Barn, Old Church
Lane



Picture 3.75 Bell
on the Grade II
listed Tithe Barn

3.64 Another important local detail includes the delicately carved stone details on the Churches and within the Churchyard. This usually includes the monuments and associated inscriptions within the Churchyard but also gargoyles on the grade II* listed St. John the Evangelist Church. Examples of these are shown in the series of photographs below.

Delicately carved stone details within the Churchyard



Picture 3.76 Stone carved tomb
within the churchyard



Picture 3.77 Detail of the
stone tomb (left) within the
churchyard



Picture 3.78 Stone plaque to the grade II Listed monument to Bettie Jellicoe



Picture 3.79 Gargoyle detail to St John the Evangelist Church, Old Church Lane

3.2.7 Streetscape

3.65 The floorscape, street furniture and boundary treatments are important to the historic and soft, suburban character of the area and are explored in the following paragraphs.

- **Boundary treatments**

3.66 The map highlighting key boundary treatments within the CA is given within the 'Green Spaces and Ecology' section. The tall grade II listed 19th century brick wall to Bernays Garden is a key architectural feature of the CA. Likewise the 6 foot high grade II listed 19th century brick wall fronting the road running north west from the corner of the Tithe Barn turning along Rectory Lane for approximately 20 yards is similarly important. This is outlined within the 'Architectural Qualities' and 'Street Furniture' sections. The low brick walls to the locally listed Gatehouse are also important as they provide a good setting to this building. They both curve inwards towards the building providing a sense of grandeur to the entranceway. The plaques (one on each wall) have the lettering: 'The Manor House' which signal the Gatehouse's connection with the Manor House beyond.



Picture 3.80 The plaques on the Gatehouse walls showing their connection to Manor House beyond

3.67 Otherwise, boundary treatments are predominantly comprised of soft landscaping either as hedges, trees or soft planting which draws the area together and adds to the soft suburban character of the CA.



Picture 3.81 Hedges and shrubs form a number of boundaries within the Conservation Area



Picture 3.82 Good soft landscaping complements the setting of the Tithe Barn, fronting Old Church Lane

- **Floorscape**

3.68 The area has a mix of quite wide pavements and soft grass verges which provides good definition to Old Church Lane. The high importance of soft landscaping to the CA is explored in the 'Townscape Character' section and the 'Green Spaces and Ecology' section. The interesting cobbled surface in fan patterns in front of the Gatehouse, Old Church Lane is important to the area as it provides an excellent textured and historic setting to this building.



Picture 3.83 Wide pavements and soft grass verges provide good character to Old Church Lane Conservation Area



Picture 3.84 Cobbled surface in front of the Gatehouse, Old Church Lane provides a good setting to this building

- **Street Furniture**

3.69 Many elements of historic street furniture within the Old Church Lane CA add to the character and interest of the streetscene and help indicate its historical development. Examples are listed within the table below along with reference to their listed status and are also shown on the next map. The location of more historic items is also illustrated on the 'Positive buildings within the Old Church Lane Conservation Area' map within the 'Architectural Qualities' section and their contribution to the CA is described under the 'Street Furniture' heading within that section. The Harrow Heritage Street Furniture Audit (March, 2007) refers to a number of these elements, again indicating their importance as heritage assets within this CA.

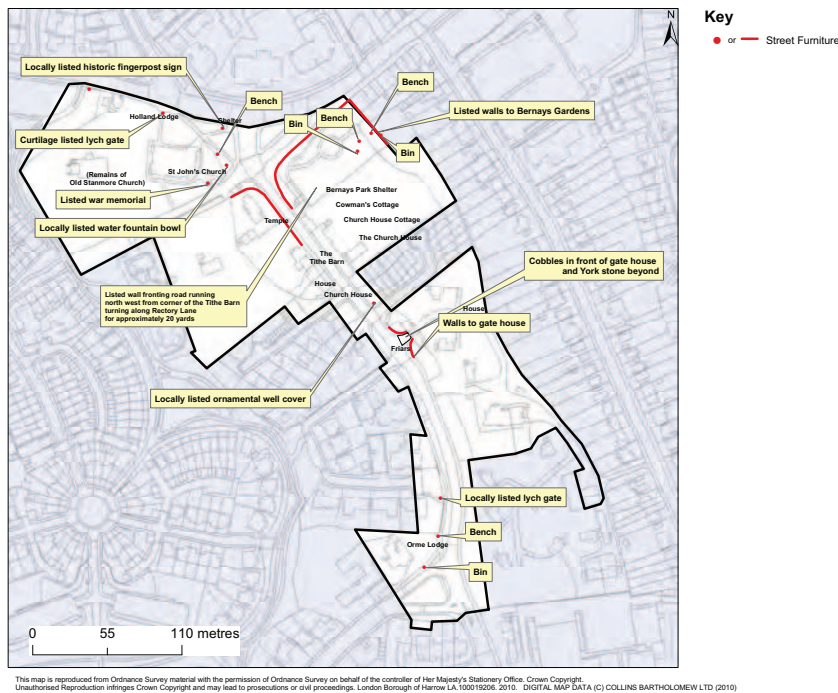
Important items of historic street furniture include the:

- 1) Entrance piers to Stanmore Park, on the Uxbridge Road - grade II listed.
- 2) Lych gate to St. John the Evangelist Church, on the Uxbridge Road - grade II* curtilage listed.
- 3) Fingerpost sign just off Uxbridge Road and Old Church Lane.
- 3) Bowl of water fountain just off Rectory Lane and Old Church Lane. In front of the St. John the Evangelist Church, on the Uxbridge Road - locally listed.
- 4) War Memorial just off Rectory Lane - grade II listed.
- 5) Walls to Bernays Gardens - grade II listed.
- 6) Wall from the corner of Tithe Barn Turning along Rectory Lane (20 yards) - grade II listed.
- 7) Ornamental Tudor Well Cover on Old Church lane just north of the Gate House Lodge - locally listed listed.
- 8) Lych gate north of Orme Lodge on the Uxbridge Road - locally listed.

3.70 Otherwise modern street furniture within the CA is minimal and includes benches, to allow people to stop and enjoy the qualities of the area, and bins. These items are highlighted on the map below. Their minimal number means they complement the historic and traditional character of the area. An increase would be likely to create visual clutter and would need to be carefully sited and considered, to minimise any impact on the setting of nearby buildings and greenery.



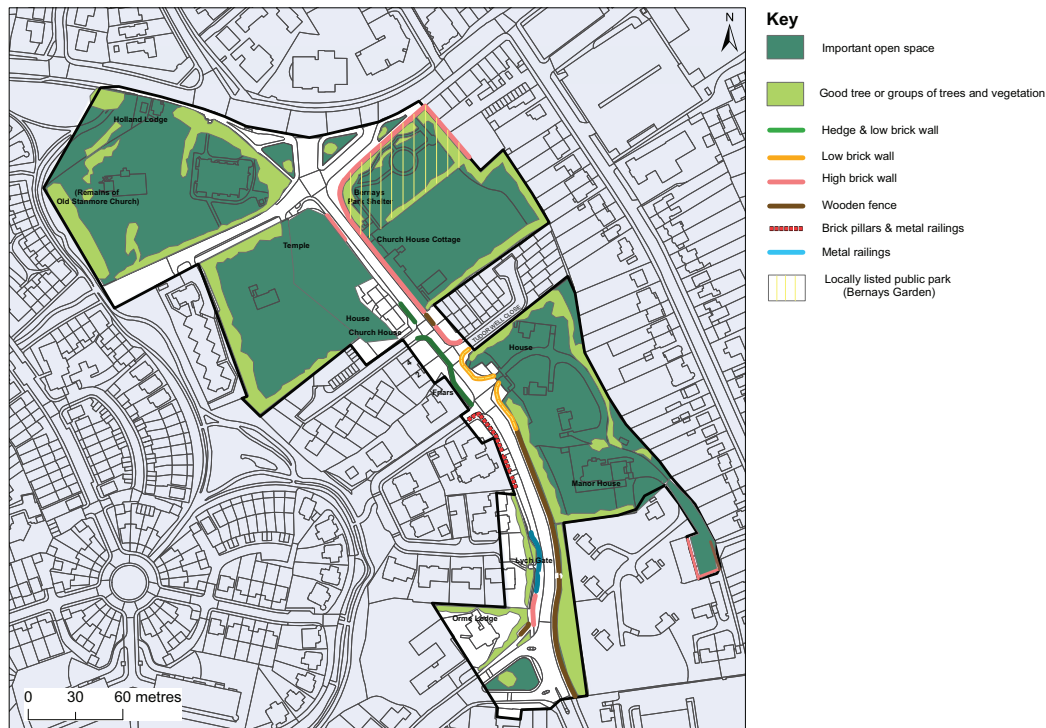
Picture 3.85 Example of street furniture which adds to the character of Old Church Lane CA. In this case a bench in front of St. John the Evangelist Church and the historic water fountain bowl behind



Picture 3.86 Examples of good street furniture

3.2.8 Green Spaces and Ecology

3.71 Examples of important greenery and open spaces are shown on the map below. Please note that this map is not exhaustive. Open spaces and garden greenery within the CA are important since large houses in substantial grounds were part of the early character of the area. These large houses were replaced with smaller buildings spread throughout their grounds, but still retaining considerable open space around them. The open spaces and garden greenery are also important as they provide valuable trees and tree cover.



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Picture 3.87 Important greenery, open spaces and boundary treatments

3.72 Also, much of the open spaces within the CA are important as they form the remains of the 4.5 acre grounds estate of Samuel Wallrock who created a Tudorbethan estate commencing with the Manor House in 1930s (see the architectural qualities section). He remodelled this house and grounds and built many other houses within his grounds, such as the cow sheds (now Bernays Park Shelter), Cowmans Cottages, and Old Church House, to create an impressive Tudorbethan style development. The grounds was cultivated and intended to be revenue producing. He spent £100,00 on this and the house and at one point had 50 gardeners for it. The gardens created were acclaimed to be the most wonderful gardens in the country. Large trees were brought from Aldenham House and replanted in the grounds. Alpine gardens and caves were built reminiscent of the Cheddar Caves. Wallrock was distinguished in the Royal Horticultural Society. Wallrock was known worldwide for his garden. He won many prizes country wide. Sweets peas was one of the specialities grown and on occasions they were sent to the Royal Family. Some remains of this garden in terms of historic trees are particularly found within the public Bernays Gardens. This is a particularly important as an area of open space as identified by its locally listed status. The local list description reads: 'Bernays Gardens: surrounded by high red brick Grade II listed walls enclosing gardens with large mature trees, grassed areas, areas of York stone pavement and Cow Sheds shelter; a quaint 1930s mock Tudor single storey building comprising several rooms and covered Veranda.'

3.73 Other important open spaces include that around the junction of Old Church Lane and Church Road/Uxbridge Road, including areas of grassland. The junction itself is large but is broken up by areas of soft landscaping and mature trees. This provides a good and well defined entranceway to the CA.



Picture 3.88 Green relief near the Uxbridge Road and Old Church Lane junction which helps to create a good setting to the Church behind

3.74 The greenery within Bernays Gardens is a key example of public open space and greenery. A similarly important area of open space is that just opposite the Old Station; this provides a good definition to this entranceway to the CA, and complements the setting of the station behind.



Picture 3.89 Green island provides a good setting to the Old Station, Old Church Lane

3.75 The large churchyards help to create calm and complement the setting of the listed tombstones and Churches within. The hedge and tree screen on the boundaries to The Rectory and Wolstenholme not only act as an important setting to the two churches but also create an attractive green 'tunnel' over Rectory Lane.



Picture 3.90 Greenery provides a good setting to the Church of St John the Evangelist



Picture 3.91 Excellent greenery within the St John the Evangelist Church complements the setting of the monuments here

3.76 Further down Old Church Lane, the streetscape widens out, as there are open front gardens and wide grass verges. These front gardens and grass verges are very important as they soften the street scene and combined with a change in level between the road and the pavement, help to separate pedestrians and houses from the road. They also help to draw the CA together and provide relief to the setting of the buildings. They include the land adjacent to Rectory Close and the boundary of the Old Church House.



Picture 3.92 Open front gardens to properties help to soften the streetscene and draw the area together, as here in front of 4 Rectory Close



Picture 3.93 View of important greenery along mid section of Old Church Lane



Picture 3.94 Important grass verges along Old Church Lane, here near Kestrel Court

3.77 Beyond the Lodge, the thick mature tree screen surrounding the Manor House Estate is key to the character of this part of the CA, providing glimpsed views to the Manor House behind the trees. Opposite, the open space to Cherry Tree Way also has significant trees which helps to soften the street scene.

3.3 Summary of Conservation Area

3.3.1 Summary and Main Assets

The assets of the conservation area derive from a combination of factors including:

- 1) The high quality of architecture, reflected in the number of statutorily, locally listed and positive unlisted buildings.
- 2) The mix of very old buildings and 1930s development in an "Old-World" style which attempts, successfully, to mimic the historic buildings around it.
- 2) Interesting form and grain of townscape reflecting the historical development of the area.
- 3) The open spaces, soft landscaping and greenery.
- 4) The medium-scale of buildings within the conservation area as properties are of one or two storeys.
- 5) Historic street furniture.

3.3.2 Problems, Pressures and Potential for Enhancement

3.78 Problems and issues are comprehensively outlined in the following table. The table includes elements that are found to put pressure on the special character of the area, as well as identifying areas where there is opportunity for enhancement. The accompanying 'Management Strategy' addresses any issues raised. In dealing with development proposals within the area, the Council will be mindful of securing opportunities to address/overcome such issues or any subsequent pressures.

Pressures, Issues and Opportunity for Enhancement:	Address:	Description:
Street lamps	Intermittent locations throughout CA	Old Church Lane is relatively free of clutter in terms of signage/bollards etc. However, the street lamps are old, not of a homogenous style and do not respect the historic character of the area. Some have now been replaced with a sympathetic design. However, placing is of some concern.
Bowl of water Fountain	Junction with Uxbridge Road, to the front of St. John's Church	This is not well displayed or explained in any way. It also lacks much of its original fittings.
Concrete barriers	The end of Rectory Lane, previously known as Colliers Lane, a public highway. Now a dead end, with access to southwest corner of St. John's Churchyard	This is blocked temporarily with concrete barriers to reduce the dumping of rubbish there, pending the establishment of ownership of the area.
Litter bins	Intermittent throughout CA	These have been put in with a green colour rather than a more sympathetic black colour.
Lych gate	Towards the south of Old Church Lane CA	This has a poor setting and would benefit from repair work.
Important open space, trees and hedges	From Cherry Tree Way (on both sides of the road) south to Orme Lodge	The open spaces, trees and hedges from Cherry Tree Way (on both sides of the road) south to Orme Lodge are key to the character of the area, including views towards them. Front gardens, where plenty of landscaping exists, and which add to the character of the CA are not always protected from hard surfacing or alterations to boundary treatments. However, much of it is protected as it sits in front of flats which do not benefit from permitted development rights for walls or hardsurfacing.
Empty listed/locally listed buildings	Hollond Lodge, Cowmans Cottage and Bernays Park Shelter	This puts the maintenance of the quality of the buildings at risk. In terms of Cowmans Cottage, this is structurally robust but has been vacant for four years since the last resident left, and is in a poor and deteriorating condition. It is poorly presented and provides limited facilities.

Pressures, Issues and Opportunity for Enhancement:	Address:	Description:
		Bernays Park Shelter is unstable and so has temporary propping to the gables to the east elevation. It is vacant and enclosed behind security fencing, which is increasing the threat of vandalism.
Status of buildings	Coach house	This building is now included within the CA but its local interest may warrant local listing.
Listed wall requiring repair work and locally listed park behind would benefit from better access	Listed wall facing Old Church Lane and Church Road and locally listed park behind	This wall would benefit from repair. The locally listed Bernays Gardens behind only has one entrance and exit. Better access would encourage greater public use of the park by providing a better sense of safety.
Sustainability measures	Throughout	It is likely that there will be a rise in proposals for sustainability measures such as wind turbines and solar panels.
Pressure for extensions/alterations	Intermittent throughout	The popularity of this area means that this pressure exists.

3.3.3 Public Consultation

3.79 This document was subject to public consultation. Notification letters were sent to ward councillors, amenity groups (including the Stanmore Society and the Stanmore and Harrow Historical Society), the Conservation Area Advisory Committee and other stakeholders. It was available to view at a number of places, including the Council's website, Stanmore Library, the Civic Centre Library and the Planning Services reception at the Civic Centre. Posters were put up within the CA. Copies of the document were available on the internet and there was an opportunity to comment directly into the Objective software. A public meeting was held and there was an opportunity to provide comments and discuss the document in person. The Conservation Team also offered to hold separate meetings with interested parties to discuss the document. The responses were used to strengthen the document. It was adopted as part of the Stanmore and Edgware Conservation Areas Supplementary Planning Document, as part of the Council's Local Development Framework.

3.4 Conservation Area Management Strategy

3.4.1 Purpose of the Strategy

3.80 Conservation Area Appraisals provide an analysis of the character and appearance of the conservation area to identify those elements that should be protected as well as opportunities for change, improvement or enhancement. This Management Strategy uses this analysis to look forward and set out how the area's character will be preserved or enhanced. It sets out guidance to protect and preserve the area and actions to enhance it. Each section is linked to the relevant

policy guidance, which provides the framework for the future management and enhancement of the CA. The following proposal statement provides a list of actions, related to pressures, issues or opportunities for enhancement identified in the previous section.

3.81 Unless otherwise stated, the following should be regarded as a statement of intent. There are no set time limits. However, it is important to note that Conservation Area Appraisals and Management Strategies will be reviewed every 5 years.

3.4.2 Management Proposals

3.82 Pressures, issues and opportunity for enhancement are outlined in the linked Conservation Area Appraisal and are addressed in the following table.

Pressures, Issues and Opportunity for Enhancement:	Address:	Description:
Street Lamps	Intermittent locations throughout CA	Their gradual replacement with more sympathetic designs would be welcomed. Investigate their placing.
Bowl of the water fountain	Junction with Uxbridge Road, to the front of St. John's Church	Restore original fittings. Encourage Harrow Heritage Trust to erect an explanatory plaque. Possibly relocate nearer its original location. Future planning gain funds could be allocated towards restoration.
Concrete barriers	The end of Rectory Lane, previously known as Colliers Lane, a public highway. Now a dead end, with access to southwest corner of St. John's Churchyard	Propose the removal of these barriers once ownership of the land is established by issuing a Section 215 notice. Planning gain money from Stanmore Park is intended to improve the end of Rectory Lane
Litter bins	Intermittent locations throughout the CA	Consider replacement with the more sympathetic black colour
Lych gate	Towards the south of Old Church Lane CA	Establish owner and work with them to reach a solution.
Unsafe park shelter, graffiti and broken paving	Bernays Gardens Park Shelter	Encourage new use and repair for building.

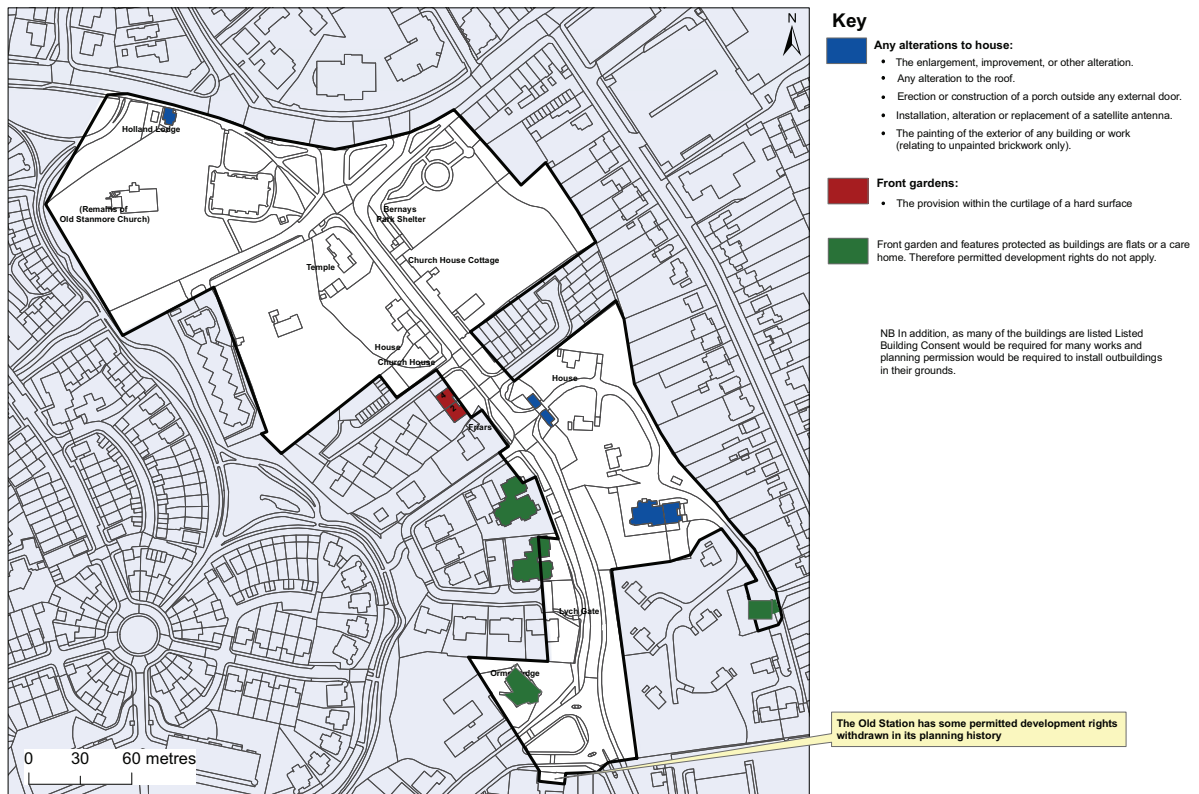
Pressures, Issues and Opportunity for Enhancement:	Address:	Description:
Important open space, trees and hedges	From Cherry Tree Way (on both sides of the road) south to Orme Lodge	<p>Encourage introduction of tree protection orders on important trees/groups of trees.</p> <p>An Article 4(2) direction is proposed to require planning permission where it fronts a highway, waterway or open space for 7 Cherry Tree Way, Friars Mead, Cherry Tree Way, and 1 Tudor Well Close for:</p> <p>1) The erection, construction maintenance of a gate, fence, wall or other means of enclosure. 2) The provision within the curtilage of a dwelling house of a hardsurface.</p> <p>And for 1-4 Rectory Close for:</p> <p>1) The erection, construction maintenance of a gate, fence, wall or other means of enclosure.</p>
Empty listed/locally listed buildings	Hollond Lodge, Cowmans Cottage and Bernays park shelter	Consider options for use of the buildings and engage with owners.
Status of buildings	Coach house, Old Church Lane	Consider recommending the building for local listing following appropriate research, consultation and English Heritage's 2013 decision on nationally listing this building which highlighted the building's local interest.
Listed wall requiring repair work and locally listed park behind would benefit from better access	Listed wall facing Old Church Lane and Church Road and locally listed park behind	A Listed Building Consent application has been approved by the Council for repair work and an additional park access. Consider options for implementing these works.
Sustainability measures	Throughout	If well designed and integrated, these should be able to be accommodated. English Heritage has a range of guidance on the different considerations involved in the use of micro-generation technologies in CAs which

Pressures, Issues and Opportunity for Enhancement:	Address:	Description:
		can be accessed on their Historic Environment: Local Management (HELM) website by entering "energy efficiency" into the search engine in the English Heritage section of the Guidance Library at www.helm.org.uk .
Some pressure for extensions/alterations	Intermittent throughout	Any development needs to preserve the character of this CA. The information within this document provides good guidance for this. Also, Planning Policy Statement 5 Planning Practice Guide available at: http://www.communities.gov.uk/publications/planningandbuilding/pps5 provides guidance on extensions, alterations and repair within Conservation Areas. This guidance is also important to consider.

3.4.3 Reviewing the Conservation Area's Boundaries

3.83 The special character of the area which led to its original designation still stands. It is considered appropriate to extend the CA boundary to include the coach house. The Manor House and Gatehouse were listed grade II in October 2013. In making this designation English Heritage identified the coach house as of group value with these and the similarly treated group of listed cottages in Old Church Lane. Like these, the coach house was built c1929-30 for Samuel Wallrock, to designs by Douglas Wood. Whilst it has lost some of its details, it remains of interest as a purpose-built inter-war garage and chauffeur's flat associated with the Manor House. As part of the cohesive group within the CA, it is appropriate to extend the boundary to include this building and this has been done. But it is not considered necessary to otherwise change the CA boundary.

3.4.4 Article 4 Directions



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Picture 3.95 Article 4 Directions

3.84 Article 4(2) Directions apply to this CA. They exist to manage development that could potentially damage special character. They require planning permission for some works normally classed as 'permitted development'. Permitted development is already restricted nationally for any CA (see the Harrow Council's Conservation Areas Residential Planning Guidelines – Do I Need Planning Permission?' leaflet available on the Council's webpage from: www.harrow.gov.uk/conservation), but sometimes additional management is needed. It does not stop reasonable developments, but means there is greater control over proposals particularly design and materials.

3.85 The special character of this CA derives in part from use of decorative and historic architectural detailing and historic fabric and areas of open space and soft landscaping, including boundary treatments. The existing Article 4 Directions relate to such matters and the article 4 directions being introduced that are listed below and justified in the 'Problems, Pressures and Potential for Enhancement' and 'Management Proposals' sections do as well.

The following article 4 directions are proposed to require planning permission for the following works where they face a highway, waterway or open space, and, subject to representations received, will be formally confirmed:

7 Cherry Tree Way, Friars Mead, Cherry Tree Way, and 1 Tudor Well Close

- 1) The erection, construction maintenance of a gate, fence, wall or other means of enclosure.
- 2) The provision within the curtilage of a dwelling house of a hardsurface.

1-4 Rectory Close

- 1) The erection, construction maintenance of a gate, fence, wall or other means of enclosure.

3.86 In some cases within the CA or its immediate setting, where a building is flats, listed, a care home or has planning conditions attached in its planning history which restrict permitted development rights (e.g. the Old Station), Article 4 Directions have not been considered necessary. This is because they do not benefit from the same permitted development rights as unlisted single family dwelling homes.

3.4.5 Support

3.87 Relevant parties can contribute to the preservation and enhancement of the CA. These include: local residents, property owners, and local societies such as the Stanmore Association, and national societies such as the Garden History Society, the Society for the Protection of Ancient Buildings, the Victorian Society, The Georgian Group and the 20th Century Society. They should be involved in all stages of devising ideas for management and enhancement of the area.

3.88 The above enhancement and improvement proposals and other possible future schemes can require funding. Much of the works would need to be completed by private owners but the council will continue to apply for grants wherever possible, for example, to the Harrow Heritage Trust. There may also be scope for securing planning gain funds towards improvements to the public realm, where the Council is responsible for these. In line with English Heritage’s guidance, it is essential when planning works within CAs, that a considered approach, which preserves or enhanced the area's character or appearance, is adopted. Where a conflict with general planning and highways policies occur, special care must be taken to find a solution that meets both the needs of the local community and the historic environment.

3.4.6 Guidance

3.89 Section 6 of the national Planning Policy Statement 5 Practice Guide gives general advice and guidance on the principles to consider when proposing repairs or alterations within CAs and within their setting.

3.90 To ensure consistent decision-making the following guidance has been identified as being of key relevance to this area with reference to the conservation area appraisal:

Maintaining Old Church Lane's Townscape and Built Character

To ensure that the character of the conservation area and its setting is both preserved and enhanced, all new development should:

- a) Respect the existing layout and historic form of the townscape and street scene, especially its building lines and heights, and not diminish the gap between buildings.
- b) Complement existing buildings in terms of bulk, design, siting, detailing, scale, materials and use. Any extensions will be encouraged to be at the property's rear and subservient in scale to the original property, as well as match the existing house in design and materials.
- d) Not entail side extensions that significantly reduce the gap between buildings or diminish the architectural balance or detailing of the main building.
- e) Respect and harmonise with existing buildings in terms of design, siting, detailing, scale and materials.
- f) Avoid impeding views between buildings or into areas of open space.
- g) Retain original design features (as identified within this character appraisal and management strategy) and where replacement is necessary, the architectural detailing should closely match that of the original in traditional materials. Aluminium and UPVC replacement units will not normally be considered appropriate.
- h) Not involve the painting of unpainted brick surfaces.
- i) Ensure material alterations to buildings protect the appearance of elevations that face onto a highway, including alterations to chimneys and rooflines. Dormers and rooflights on front and side roof slopes will be discouraged.
- j) Retain visually important boundary treatments (particularly its walls) which are a characteristic of Old Church Lane conservation area.
- k) Not entail the positioning of satellite dishes and aerials in prominent positions.
- l) Usually avoid change of use to flats and other institutional uses.
- m) Ensure microgeneration equipment is carefully sited to protect streetscene views and historic built fabric.
- n) Proposals for flats or houses within the curtilages of existing grounds will not normally be appropriate.

Maintaining Old Church Lane's Greenery and Open Spaces

To ensure that the soft character of the conservation area is both preserved and enhanced Harrow Council will:

- a) Encourage the retention and improvement of both public and private green spaces and open land, including trees, hedgerows and grass verges.
- b) Discourage applications for development on existing areas of open land that have been defined as contributing to the character of the conservation area.
- c) Further protect trees, and groups of private trees, by creating additional TPOs where appropriate.
- d) Discourage development that adversely affects significant trees.
- e) Encourage the retention, or where necessary, replacement of street trees.

Protecting Old Church Lane's Archaeology

a) Harrow Council recognises the archaeological importance of Stanmore's conservation areas and their settings, and will help to protect these by continuing to consult with English Heritage to ensure the appropriate action or works, such as surveys, are carried out before development commences.

b) Where appropriate, and in discussion with English Heritage, the existing Archaeological Priority Areas will be revised, and/or new Archaeological Priority Areas created, to safeguard Stanmore and Edgware's archaeological remains.

Maintaining Old Church Lane's Streetscape

To ensure that the character of the streetscene is both preserved and enhanced, Harrow Council will:

- a) Refer to existing policy on tall structures where telecommunications equipment or wind mills are proposed.
- b) Encourage the utility companies to install the minimum amount of new and replacement street furniture and to locate this sensitively in suitable locations.
- c) Encourage the retention, or reinstatement, of traditionally designed street furniture and materials, such as paving.
- d) Encourage street furniture to be well sited and designed, and redundant and unsightly street furniture and signage, to be removed where opportunities occur.

e) Encourage the retention of original floorscape materials, such as granite kerbs, and wherever practicable, replacement floorscapes will be encouraged to be of traditional materials.

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Kerry Avenue

Conservation Area Appraisal & Management Strategy



December 2013

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4.1 Introduction to the Conservation Area

4.1.1 Introduction

4.1 Kerry Avenue Conservation Area (CA) is primarily residential, consisting mainly of inter-war, International or Modern Movement architecture, with some post-war homes of quality. The existence of the area is due to the extension of the Underground service and the creation of Stanmore Station in the 1930s. The area has a symmetrical layout based upon the axis of the station, and represents a very good example of the formal estate layout characteristic of the period. It contains two excellent examples of attractive speculative building projects on Valencia Road and the lower end of Kerry Avenue. There is an overall sense of suburban, residential and semi-rural seclusion. This is enhanced by its panoramic views to the east and south, close proximity to Stanmore Country Park and open character of wide roads; as well as the low density nature of development, and plentiful greenery present that was fully intended to complement the setting of the buildings.



**Picture 4.1 Number 2
Valencia Road - Modernist
style set off by plentiful
greenery**

4.2 Kerry Avenue CA is situated in the north-east of the Borough, to the north-east of Stanmore District Centre and immediately south of the Stanmore Country Park. It includes Stanmore Station and continues north from the northern edge of Kerry Court to include all of Kerry Avenue, extending west along Valencia Road to include number 10, and east into Glanleam Road to include number 1. The location of this CA in relation to others within the borough is shown on the map below. The CA borders Stanmore County Park, a designated Green Belt, and an Area of Special Character. This is shown on the next map.

The following roads are within the Conservation Area:

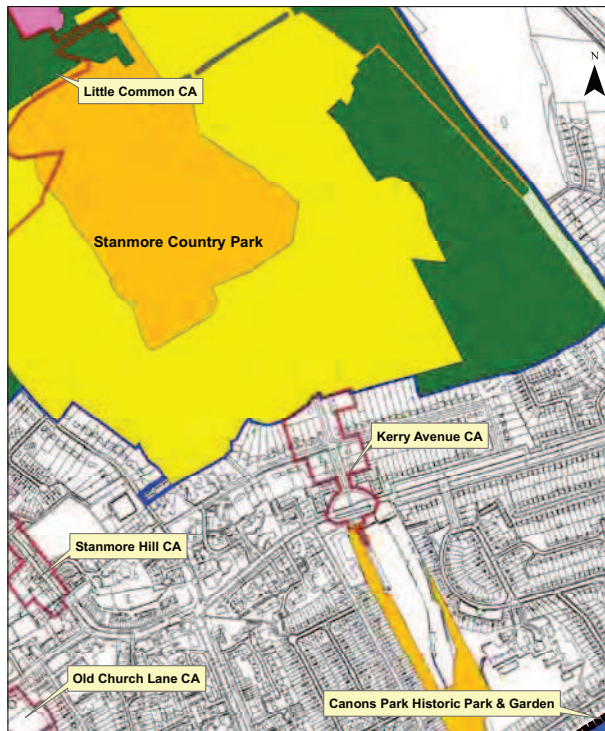
Glanleam Road (in part: no. 1), Kerry Avenue, Kerry Court, London Road (in part: section containing Stanmore Station), and Valencia Road (in part: nos. 2-10 even)



- | | |
|--|--|
| 1. Registered Historic Parks and Gardens | 16. Sites of Metropolitan Importance |
| 2. Conservation Area Boundary | 17. Sites of Local Importance |
| 3. Archaeological Priority Areas | 18. Sites of Borough Importance Grade II |
| 4. Metropolitan Open Land | 19. Sites of Borough Importance Grade I |
| 5. Green Belt | 20. Sites of Importance for Nature Conservation 2006 Adopted & Unadopted |
| 6. Area of Special Character | |

Picture 4.2 Kerry Avenue CA in relation to the other Conservation Areas in Harrow © Crown Copyright. All rights reserved 100019206, 2010

- Key**
- | | |
|---------------------------------------|--|
| Registered Historic Parks and Gardens | Sites of Importance for Nature Conservation 2006 Adopted & Unadopted |
| Conservation Area Boundary | GRADE |
| Archaeological Priority Areas | Sites of Borough Importance Grade I |
| Metropolitan Open Land | Sites of Borough Importance Grade II |
| Green Belt | Sites of Local Importance |
| Area of Special Character | Sites of Metropolitan Importance |



Picture 4.3 Other designations © Crown Copyright. All rights reserved 100019206, 2010

4.1.2 Planning Policy Context

4.3 Kerry Avenue was first designated as a CA in 1980 and its boundary amended in 1986 and 1991. More recently in January 1999 the area was again reviewed and amended; it now totals 3.05 hectares.



Picture 4.4 Changing Conservation Area Boundary © Crown Copyright. All rights reserved 100019206, 2010

4.4 Section 69 of the Planning (Listed Building and Conservation Areas) Act 1990 requires local authorities to determine those areas the environment of which is considered worthy of preservation and enhancement and to make these CA. A CA is defined as an area of special architectural or historic interest, the character or appearance of which it is desirable to preserve or enhance. Local Authorities are further obliged to formulate guidance and proposals for the preservation and enhancement of these CAs, and to pay due regard to the views of the residents and public in the formulation of guidance and proposals. These principles are reinforced by National Planning Policy Framework. The purpose of this Conservation Area Appraisal and Management Strategy (CAAMS) is to provide clear analysis of the architectural importance, character and appearance of the area, to help form the basis for making sustainable decisions about the area's future. It also identifies opportunities for enhancement along with guidance to protect the area's character.

4.5 This document was subject to public consultation and in December 2013 superseded the existing Conservation Area Policy Statement adopted June 1999. This document required updating to reflect the area's changes. It carries weight as a material planning consideration for assessing all development proposals. This CAAMS forms an appendix to the Stanmore and Edgware Conservation Areas SPD. It is set within the broader context of CA policy guidance for Harrow contained within the Local Plan. It is also set within the National Planning Policy Framework particularly pages 30-32. It is important to note that: **no appraisal can be completely comprehensive and that the omission of a particular building, feature or open space should not be taken to imply that it is of little or no interest.**

4.1.3 Summary of Special Interest

4.6 The special interest of Kerry Avenue CA relates to its unusual concentration of the Modern or International Style idiom demonstrated in its collection of inter-war and post-war houses. It is recognised as the 'earliest domestic group in west London to adopt the principals of the modern movement' (Pevsner and Cherry, *London 3: North West*, 1991) and is, on the whole, well preserved in terms of the original fabric, details and layout. The continuity of building style, type and materials, while also maintaining individuality, is central to the area's character. The area's symmetrical layout based upon the axis of the station represents a very good example of the formal estate layout characteristic of the period. Given the property market's emphasis on retro driving value, these core principles of original Modernist design and formal estate layout undoubtedly bestow a premium to the area. Where occasional unsympathetic alteration has occurred that detracts from these core principles the opportunity exists for homeowners to add value by making sympathetic changes and the Conservation Team would be happy to advise.



Picture 4.5 Number 3 Kerry Avenue

4.7 While the CA includes part of the busy London Road, for the majority of the area there is little to suggest this hustle and bustle, giving a tranquil quality. There is a high level of open and enclosed space (usually soft landscaped) that complements the architecture, as well as a streetscape furnished with trees and grass verges, including an 'island' of trees and shrubs running down lower Kerry Avenue. The greenery is integral to the philosophy behind the construction of the estate which was that 'not a tree will be felled or alteration made in the land other than those that may in detail become absolutely unavoidable' (according to the National Builder, 1935). This was in line with the Garden Suburb ideal of the time. The semi-rurality is heightened by the close proximity to Stanmore Country Park. Along with the gently rising gradient which gives way to extensive views east and south, altogether, there is a high quality of area.



Picture 4.6 View towards grass verges and front gardens, from the 'island' on lower Kerry Avenue

4.1.4 Short History

4.8 The following paragraphs outline the area's historical development. The next map shows the ages of buildings. The age shown refers to the earliest known part of buildings.



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Picture 4.7 Age of Buildings © Crown copyright. All rights reserved 100019206, 2010

- **18th and 19th Centuries**

4.9 The land designated as the Kerry Avenue CA was historically part of the area surrounding Warren House, and is mentioned in the posthumous 1753 marriage settlement of James Brydges (1674-1744, the first Duke of Chandos, who rebuilt the Little Church of St Lawrence, Little Stanmore) and Margaret Nicholl as part of the Warren House Estate: “the messuage called The Warren House or The Warren and lands of Bailey and Gray, rent £12pa” (GLROM Acc. 788/12).

4.10 The Warren House Estate was gradually broken up over the following two centuries, though little to no redevelopment occurred until the early 20th century. The map below shows the area still undeveloped in c.1913-14.

- **Early 20th Century**



**Picture 4.8 1913-1914 -
London Road surrounded by
undeveloped agricultural
land. © Crown Copyright. All
rights reserved 100019206,
2010**

4.11 In 1922, various parts of the original estate were inherited by Major General Sir John Fitzgerald, Irish Baronet and Knight of Kerry. Sir John Fitzgerald continued the estate's development, as well as making the decision to sell off some of the land for housing. The area surrounding Warren House included that which now constitutes the Kerry Avenue CA. A title deed dated 1st November 1926 states that 'Sir John Fitzgerald has agreed to sell certain hereditaments situate at Stanmore aforesaid known as the Warren House Estate to the Company.' (Harrow Local History Library Archives). The 'Company' this deed refers to is that of Kerry Estates, whose registered office was at Warren House, Stanmore. The land sold was the southern most strip of the original Warren House Estate.

4.12 However, Kerry Estates went into voluntary liquidation in 1930, and what remained of the estate reverted back to Sir John. In June 1931, Sir John granted a permit for residential development to Douglas Wood Architects, at the southern end of the estate. The area reserved for this development was 17.5 acres to be developed at a density of six residences to an acre (B. Thompson, Warren House Filenotes, 1993). Although the permit to develop was granted in 1931, actual building in this part of the estate did not commence until 1935. Stanmore Station, designed by the in-house architect Charles Walter Clarke, was opened on 10th December 1932, becoming the terminus of the Metropolitan Line after a proposed extension to Elstree was never constructed. This development vastly improved communications to this suburban area and the new station

undoubtedly determined the creation of Douglas Wood Architects' estate. Alterations took place in 1948, when the entrance canopy was rebuilt in its present form, and in 1959-63 when the platform canopy and under-buildings were extended. Alterations for the Underground Ticketing System in 1987 were restricted to the platform areas, leaving the original ticket hall largely intact.

4.13 The new development on the south of the Warren Estate began by the construction of a road (now Lower Kerry Avenue), contemporaneously described in the *National Builder* (1935) as 'a charming country road entry to the pastures and woodland opposite known as the Warren House estate.' This road formed an axial layout linking the station and the new development, crossing the already existing 'timbered road [London Road] from Edgware to Stanmore.' Kerry Avenue was 'declared a highway repairable by the inhabitants at large, subject to payment of the appropriate suspension charges.' (HUDC Highways and Clearing Committee Minutes, 16 Nov 1936). In addition, 110 acres of the estate were reserved as Regional Open Space. A separate 111 acres, excluding the mansion and the land immediately surrounding it, were purchased by Middlesex County Council for Green Belt purposes in 1940. This is the area now known as Stanmore Country Park. The map below of 1935 shows that the current layout of the area, demonstrating very good formal estate planning of the time, had been created.

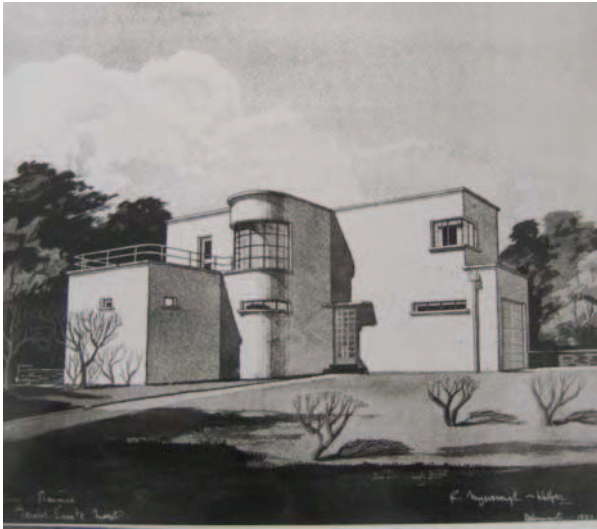


Picture 4.9 1935 - new road layout and houses on Valencia Road. © Crown Copyright. All rights reserved 100019206, 2010

4.14 The road names that were given are important as they recall the Fitzgerald family's Irish heritage. They were the knights of Kerry, hence Kerry Estates and Kerry Avenue, which lead to the name of the CA as a whole. The family's seat 'Glanleam' was located on Valencia Island off the coast of County Kerry, Ireland, hence the presence of Glanleam and Valencia Roads.

4.15 In 1934, Douglas Wood Architects commenced building in Valencia Road, the first part of the estate to be developed, completed in 1935 (see the map above). The following year the building of numbers 1 to 6 Kerry Avenue commenced, designed by the fashionable architect Gerald Lacoste (1908-83). The proposal drawing for number 5 is shown below. Sir John Fitzgerald most likely commissioned Lacoste to make the initial designs for the new houses on Kerry Avenue, as both men moved in similar Mayfair social. It is notable that Lacoste designed these buildings as he was a fleetingly fashionable Architect in the 1930s. With a family background in the interior decorating business, he worked with Oswald Milne and Tomkins, Hamer and Ley (designing, under their name, Gracie Field's Spanish colonial style house in Froggnal Way, Hampstead). He set up on his own in 1933, gaining most of his commissions from the Mayfair fashion world - designing chic

interiors, one of his most famous for the couturiers Hartnell, Molyneux and Rahvis. He was not a doctrinaire modernist, but could design in the modern idiom very competently as he demonstrated at Kerry Avenue.



Picture 4.10 Drawing of the proposed project for number 5 Kerry Avenue, Gerald Lacoste, 1937 (Source: Local history library)



Picture 4.11 Number 5 Kerry Avenue As Built, Pictured 1937 (View from the West) Source: Local history library.

4.16 Sir John Fitzgerald, the estate owner, retained control of the land's development. While delaying immediate profit, this practice, referred to in the *National Builder* (1935) as 'the better business', made clear that the building work respected the existing historic landscape. These new buildings in the modern idiom were to be set in a rural environment and a prestigious estate was to be created. The overriding philosophy was that new building should not become destructive of old landscape.

4.17 The former Kerry House, situated near the entrance to Stanmore Country Park, was built in 1937 for T. Joseph Gough, its plan approved by the HUDC Town Planning Committee on March 31st of that year. In 1986, the house, after undergoing a structural survey (the conclusions of which were agreed by a London Borough of Harrow Structural Engineer), was deemed to be suffering from structural defects giving rise to cracks in the building. Planning permission was given for its demolition in February 1988. The house was not originally included within the CA as it was judged not to be of sufficient quality. However, it did make a contribution to the general character, and the boundary was amended to include Kerry House in July 1986. The new block of seven two and three storey flats with parking spaces was built after planning permission was granted, on appeal, in October 1995.

4.18 Number 14 Kerry Avenue was built in 1937 by the New Zealander architect Reginald Uren, for his wife. Uren was, by this time, an architect of some reputation having designed Hornsey Town Hall (1933-1935), considered to be the first major Modernist style building in Britain, awarded a bronze medal by RIBA (Royal Institute of British Architects).

4.19 Though few details are known regarding the house at number 1 Glanleam Road, it is thought to also date from the inter-war period.

- **World War II to the Late 20th Century**

4.20 Kerry Avenue suffered bomb damage during the Blitz, damaging some original architectural features including windows (see the next picture). Nevertheless, much of this was rebuilt to match.



Picture 4.12 Kerry Avenue after bombing, c.1941

4.21 Interestingly, number 14 Valencia Road (just outside the CA) was built in 1950 as a single-family dwelling house in line with the Modern Movement principles demonstrated within the CA.

4.22 Number 16 Kerry Avenue, designed by Gerd Kauffman, was built c.1972 for Ian and Cherrill Scheer. The house received much contemporary praise, recognised as having a progressive Modernist design, exemplifying the ideals of function dictating form.

4.23 Numbers 1-6 Kerry Avenue and numbers 2-10 Valencia Road were recommended for Building Preservation Notices and became locally listed at a Town Planning Committee Meeting on 29th October 1973. In May of the following year, the Secretary of State for the Environment was asked to approve a Direction under Article 4 in relation to specific alteration proposals that posed a threat to the area's architectural character.

4.1.5 Archaeology and geology

4.24 Archaeology and geology for this CA is considered in the overarching policy document entitled Stanmore Conservation Areas Supplementary Planning Document, in consultation with English Heritage.

4.2 The Character of the Conservation Area Today

4.2.1 Density of Development, Topography and Plan Form

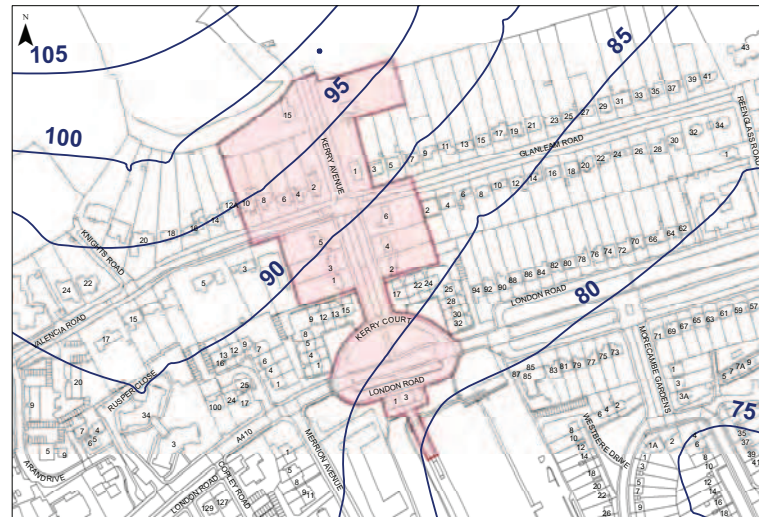
4.25 The topography of the land is gently sloping downwards from north to south, with a higher gradient in upper Kerry Avenue (the next map below shows the gradient of this slope). The roofscape of the CA's houses neatly follows this slope.

4.26 The location of Kerry Avenue with its proximity to the countryside and gentle rising gradient from Kerry Court up into the Country Park, providing good views out, give the area a feeling of 'openness' and semi-rurality. The area's origin as part of a single large estate and subsequent division into spacious plots has also allowed for this as it means the density of development is low. Furthermore, space is an essential characteristic of the area due to the wide roads and the position of the buildings within their plots. The space around Kerry Court has been built on, however

a good sense of space is retained due to the large stretches of grass before all the houses. The open nature of the Conservation Area should be preserved in terms of the space within it and views looking out.



Picture 4.13 Stanmore Country Park entrance at the top of Kerry Avenue



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Picture 4.14 Topography © Crown Copyright. All rights reserved 100019206, 2010

4.27 The plan form of the area is obviously formally laid out, on the basis of axial planning with the principle route being Kerry Avenue which runs from north to south. The north boundary of the area is set by Stanmore Country Park; the south boundary set by Stanmore station and the rest of the Conservation Area encapsulating Kerry Court to the south of Kerry Avenue, and numbers 2-10 (even) Valencia Road and number 1 Glanleam Road. The establishment of Stanmore Station in 1932 gave an axial setting for this linear road arrangement; Kerry Avenue set perpendicularly and Valencia and Glanleam Roads parallel to the already existing London Road. The area's plan form is important as it largely remains as it was designed in the 1930s. It is described in the *National Builder* (1935) as having an entry that is 'semi-circular, opening to the road at two points, and is emphasised by white posts. Where it runs back into the estate it is centred with a long island of flowers and shrubs. The manner in which this has been constructed and stocked suggests the skilled attention and thoroughness of a long established garden.'



Picture 4.15 Part of the formally planned semi-circular opening to the CA, lined by white posts

4.2.2 Townscape Character

- **General**

4.28 The townscape character is dominated by the 1930s Modern-style speculative building projects on Valencia Road and the lower end of Kerry Avenue. The houses are firmly linked by the unifying features of the Modern or International Style largely comprising original fabric and features which provides the special architectural character of this CA. Importantly each house also has its own individual characteristics, which was an important factor in the speculative building projects in order to contrast with the mass-produced housing that was common at the time. It is crucial that any alterations or extensions are carefully considered so they result in proposals that harmonise with both the individual property and the CA's character as a whole. The retro character the original Modernist design and individual character bestows certainly drives up value for homeowners in the property market. There is also good scope for homeowners wishing to enhance the conservation area and add value to their properties where unsympathetic changes have occurred in the past by reverting back to historically accurate elements. Reference to the comprehensive historical record for this area would enable this to happen. This would maximise the potential contribution of each building to the conservation area. The Modernist architecture creates an impression of lightness and warmth created by the white expanses of walls and the reflection of light that would perhaps be more readily associated with Mediterranean settlements.

4.29 The abundance of streetscene greenery complements this Modernist architecture's stark shapes, colours and masses, helping to create the soft, suburban and semi-rural character. It means the skyline is composed of soft, green backdrops punctuated by hard, man-made shapes giving a very interesting profile by night as well as sharply contrasting colours by day.



Picture 4.16 Number 4 and number 6 Valencia Road



Picture 4.17 View towards number 7 Kerry Avenue

4.30 The Modern style houses, regular plot sizes and obviously designed layout pervade the rurality of the area, giving a strong impression of formality and planning. From the highest point, at the top of Kerry Avenue, there are good views back towards Stanmore Station (upon which Kerry Avenue is aligned) so the formal planning and layout of the area can be fully appreciated.



Picture 4.18 Good view from the top of Kerry Avenue back towards Stanmore Station where the formal layout can be appreciated



Picture 4.19 High hedge between London Road and Kerry Court

4.31 There is a uniform tranquil character throughout with the exception of London Road at the south, which has heavy traffic, creating a noisier and more urban and busy character. But this is separated from the rest of the area by high hedges between this road and Kerry Court. It is important to protect these hedges, which do much to shield the residential character of the rest of the area.

4.32 There is also a character of 'openness' and accessibility into the surrounding countryside given the proximity to the countryside and the gently rising gradient from Kerry Court up into the Country Park affording good views, including those out of the Conservation Area. The open nature of this CA should be preserved in terms of the space within it and the retention of the long-distance views looking out. The open and spacious character is accentuated by: the low density

development, the spaces around the buildings, the medium scale of buildings, the constant position of buildings within their plots and building line, and the use of wide roads and much public and private greenery. These factors, along with the use of Modern-style houses, are vital as they contribute to the cohesiveness of the area as a townscape. This continuous and singularly constant texture means that any alterations would need to be very carefully considered as, for example, any rise in height or extension beyond the building line would be likely to be detrimental.



Picture 4.20 View south from the junction of Valencia Road and Kerry Avenue towards number 5 Kerry Avenue

4.33 Notwithstanding the above mentioned townscape generalities though, there are three main character areas (see the map below).



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Picture 4.21 Townscape Character Areas © Crown copyright. All rights reserved 100019206, 2010

- **Valencia Road**

4.34 Valencia Road has a greater degree of formality than the rest of the CA. This more planned and suburban appearance is accentuated by the crossroad junction with Kerry Avenue and Glanleam Road (shown in the next two photographs). This is the prominent focal point of the CA with detached properties on each corner of the junction set in larger plots than elsewhere in the area.



Picture 4.22 View looking towards 2 Valencia Road and 1 Glanleam Road



Picture 4.23 Number 1 Glanleam Road and 6 Kerry Avenue

4.35 The Valencia Road houses have a greater vertical emphasis differing from the horizontal character and simple wall planes of the houses in lower Kerry Avenue (see below). Being of two or three storeys with a sundeck above, the houses are built on a ridge of higher ground running all along the north side of Valencia Road. The natural topography of the road and the extra height of the buildings, together with an extensive use of glass, create a formal and striking impression, drawing the eye vertically instead of horizontally. The added height also obscures some of the vegetation that grows behind the properties thus minimising the alternately soft/stark skyline found in the rest of the CA and introducing a sharper silhouette.

4.36 There are few road markings, which helps to cultivate the area's suburban character (see photograph below). This character is also added to by the grass verges that appear to extend the smaller front gardens, which helps to soften the angular and formal nature of the structures. However, the verges are at their narrowest in this part of the CA matching the narrow road that exists here. These narrower features add to the increased sense of height that is perceived in this stretch of road. The property boundaries were originally created with low walling, sections of which survive. This low walling accentuates the greenery and sense of open space and clearly defines the boundary between public and private space; every effort should be made to ensure their retention.



Picture 4.24 2 and 4 Valencia Road - Vertical emphasis to these buildings



Picture 4.25 Absence of road markings and greenery help create suburban qualities

- **Lower Kerry Avenue**

4.37 The main entrance to the CA is formed by the lower part of Kerry Avenue. In terms of layout, the houses on the street's west side reflect those on the east. Numbers 5 and 6 are detached houses, both forming focal points at the central junction, while the rest are semi-detached houses designed to be near symmetrical reflections of one another (numbers 1 and 3, and numbers 2 and 4) linked by a centre garage. Only the layout is symmetrical as the houses themselves are individual.

4.38 The road is wide with a central planted island which was laid out prior to the commencement of building in the Avenue to form part of the designed layout of the area. This island adds a feeling of seclusion and privacy to the road as it acts as a screen between the two sides. This feeling of seclusion is enhanced by the vegetation found in front of properties.



Picture 4.26 Central planted island, Lower Kerry Avenue



Picture 4.27 Numbers 1 and 3 Kerry Avenue, the western side of Kerry Avenue, viewed through the tree island

4.39 The properties on the western side of Kerry Avenue are well set back behind softly landscaped gardens, approximately 7 metres in depth. In contrast, on the eastern side of the road the 5 metre deep front gardens are hard surfaced to a greater or lesser degree. However, even

though some of these front gardens contain inappropriate paving materials all retain some vital elements of greenery and planting that, as at Valencia Road, do go some way towards ensuring continuity of open, green space within the area. Where this is a depleted stock, it makes the retention of remaining greenery all the more important.



Picture 4.28 Softly landscaped gardens on the western side of Kerry Avenue

4.40 The low walling characteristic of this part of Kerry Avenue further enables the softly landscaped front gardens to contribute both spatially and visually to the character of the street-scene. The walls and landscaping also fulfil an important function in providing a setting to contrast with, and display, the architecture to such advantage.

4.41 To the south of Kerry Avenue is the open semi-circular grassed space surrounded by Kerry Court. The layout of this space provides a good setting for Kerry Avenue and is integral to the formal layout that links the residential area to Stanmore Station.



Picture 4.29 Low wall to one front garden along Lower Kerry Avenue



Picture 4.30 Semi-circular grassed area in front of Kerry Court provides a good setting to Kerry Avenue

- **Upper Kerry Avenue, including number 1 Glanleam Road**

4.42 To the north of the junction with Valencia Road, Kerry Avenue takes on a different character. The verges in this area are very wide, extending along the length of the properties all the way up to Stanmore Country Park (see picture below). The density of building here is much lower than in the rest of the Conservation Area and the majority of this section of the road consists of the long back gardens of the two corner properties at number 2 Valencia Road and number 1 Glanleam Road with only five elevations fronting onto this section of road, which gives a more open and semi-rural character.



Picture 4.31 Grass verge on the west side of upper Kerry Avenue



Picture 4.32 View into long rear garden of number 1 Glanleam Road which adds much to the streetscene

4.43 The road culminates in an attractive cul-de-sac with an attractive rural style enclosure and gate to the open land to the north. The gradient is vital to the character of this area as the feeling is one of gradually travelling up into the countryside as suburbia fades away. This impression is enhanced by the lack of traffic along this road, as this is a no through route. From the highest point at the entrance to Stanmore County Park, the view back down Kerry Avenue is a very attractive one of the railway disappearing into the distance beyond the trees. The main road from Stanmore to Edgware that comes between Kerry Avenue and the Station is almost completely hidden from view.



Picture 4.33 Upper Kerry Avenue creates an impression of suburbia fading away

- **Stanmore Station**

4.44 Stanmore Station provides a visual stop at the southern end of the main axial heart of the area, terminated at the north by open countryside. The station is very important to the CA as it gives context and reason for the layout of the estate (see the historical development section). It is of an attractive Arts and Crafts style design and so helps complement the traditional suburban character of the estate.

4.45 The main station building stands on an embankment overlooking the railway cutting, and is set back from Stanmore Road, behind a small forecourt with a planted area surrounded by a post and chain fence. This grassed and landscaped area in front of the station is important as it forms part of the historic, formal and symmetrical layout of the estate, and helps complement the traditional nature of the design. The central placing of the zebra crossing helps set off and add to this symmetrical layout. The landscaped area also helps shelter Stanmore Station from the busy London Road, helping to provide a sheltered seating area, and provides a good setting to the traditional architecture of the locally listed Station. The low wall to this area, like the low garden walls within the residential part of the CA, helps allow views through to this. On the other side of this landscaped area, there is a very busy, noisy character, and the guard rails running between the pavement and the road on both sides add a sense of street clutter. Likewise, there is a slightly cluttered feeling in front of the station due to the amount of street furniture such as telecommunication cabinets and bins.



Picture 4.34 The area in front of Stanmore Station very busy main road



Picture 4.35 Landscaping in front of Stanmore Station is part of the original, symmetrical planned layout of the area

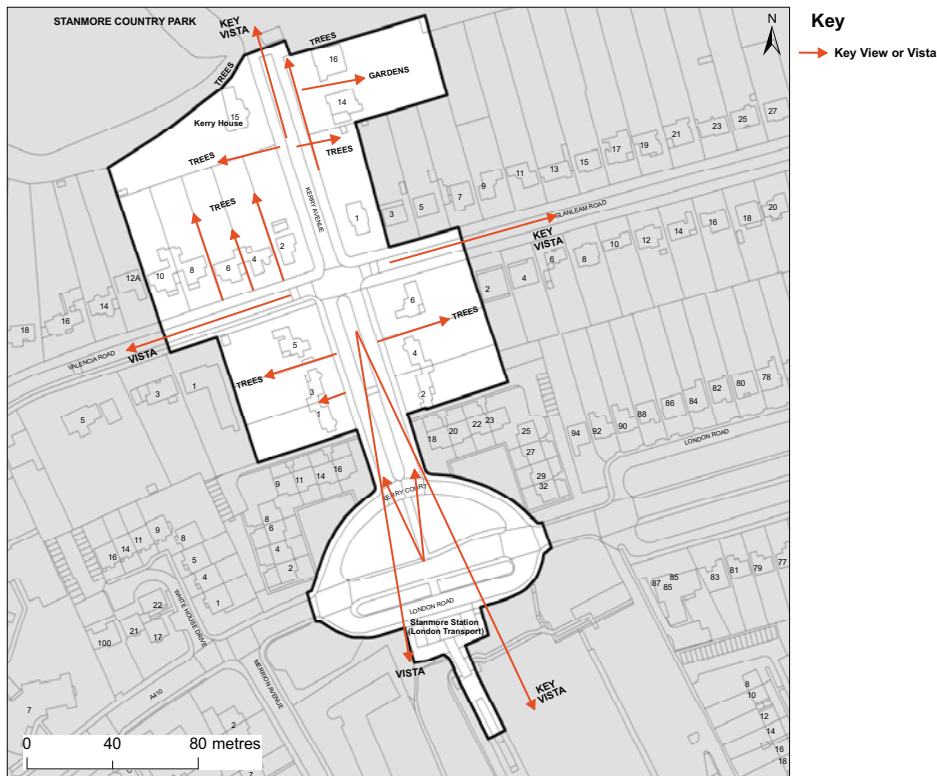
4.2.3 Activity and Uses Within the Area

4.46 Most buildings in the Kerry Avenue CA and its immediate surroundings, extending down Glanleam and Valencia Roads, are single-family dwelling houses. The only exception are the seven flats contained within Kerry House and Stanmore Station, the CA's only non-residential building. This predominance of single-family dwelling houses provides a tranquil, suburban quality to the CA. This character was integral to the original planned estate development, and should be retained. The use of the station as such is important since this is integral to the original development of the estate.

4.47 There is public open space in Kerry Court to the south of the CA, and in front of the station, and access to Stanmore Country Park to the north, which again complements the suburban character of the area and provides some relief despite the close proximity to the busy London Road.

4.2.4 Key Views and Vistas

4.48 There are important views within, into and out of the CA. Key views within the CA are usually provided by: the quality of the architecture, the carefully designed nature of the estate, the plentiful greenery, the low density of development and the gradient of the hill. These factors often work in combination to provide key views. Examples of key views and vistas are highlighted on the following map, including those within, into and out of the CA and are explored in more detail below.



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Picture 4.36 Key Views © Crown copyright. All rights reserved 100019206, 2010

4.49 The cross-roads at the centre of the CA is a good vantage point for views in each direction, which emphasise the openness and semi-rurality of the area. The gentle slope eastwards affords a good panoramic view that takes the eye down Glanleam Road and out into the distance. The view to the north, whilst more truncated due to the gradient and vegetation, leads the eye up to a rural style gate and beyond into the heavily planted entrance to Stanmore Country Park. To the west the view down Valencia Road is typical of a view down a relatively verdant, quiet suburban road disappearing round a bend. The more urban view looking south where Kerry Avenue joins Kerry Court and subsequently the main road from Stanmore to Edgware, lends a certain formality to the area and denotes the entrance to the CA. This formal view has been tempered over time, however, due to the maturing of the trees.



Picture 4.37 Good view to the east down Glanleam Road at the crossroads

4.50 Especially important to the area are the long distance views looking out to the east and the views of the railway line to the south, which remind the onlooker of the historical catalyst for area's development. The retention of this view is particularly important as Kerry Court, the semi-circular entrance to Kerry Avenue, that was once open to views into the countryside and towards the station, has now been built upon, diminishing the original striking impression of axial planning. However, the houses in Kerry Court, being of only two storeys and not infringing on the open grass land in front of them, make a neutral contribution to the CA, and so in this way do not obstruct any further from key views.

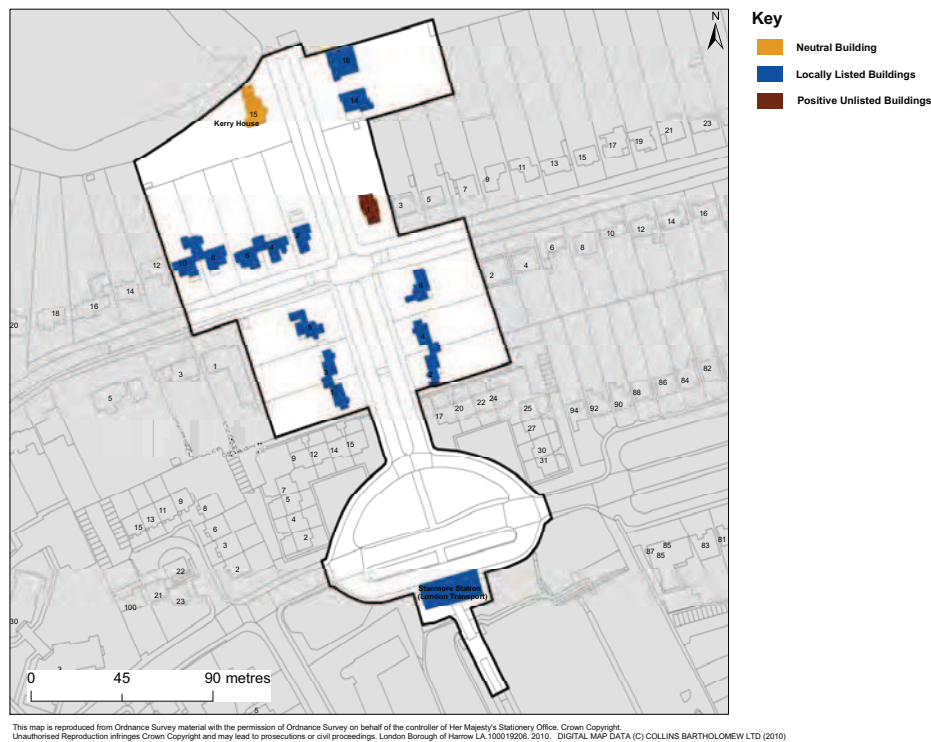


Picture 4.38 View southwards from the Valencia Road and Kerry Avenue junction - illustrates a good long distance view out

4.2.5 Architectural Qualities

- **General**

4.51 The buildings in the CA are all of a very high architectural standard, those houses from the 1930s being of a 'pioneeringly progressive' nature (Pevsner and Cherry, 1991). Most of the houses were architect designed, in the Modern or International style, constituting the cutting edge of contemporary 1930s ideals and technology in their design, materials and construction techniques. Aside from the overall group value of an estate as rare as this, the significant quality of many of the individual buildings (13 in total) has resulted in their inclusion on the local list of buildings of special architectural or historic interest, see the next map.



Picture 4.39 Locally Listed, Positive Unlisted and Neutral Buildings © Crown copyright. All rights reserved 100019206, 2010

4.52 Where changes have been made that are not sympathetic to the high architectural quality of the original houses this undermines the conservation area status and can likewise affect property values. Nevertheless it provides opportunities for enhancement via home improvements sympathetic to the history of the area which are in turn associated with adding heritage value and property premiums. However, despite some alterations and extensions to some of the houses since they were first built, for the most part the changes have been such that the ideals and concepts associated with the Modern style have been retained and their original forms are still easily discernible.

- **Modern and International Style Architecture**

4.53 The Modern or International Style idiom, which is to be found in unusual concentration in the CA, has its origins in the Bauhaus Arts School in Germany (1919-1932) and is influenced by Le Corbusier, Frank Lloyd Wright and the Cubist style in architecture. Although vigorously opposed at the time by the School's Director, Walter Gropius, the liberal and revolutionary ideas that were born at the School developed into a style with unifying characteristics that became known as the International Style. This was based on functionalism, following the premise that a building's design and form should follow its purpose and ornament should be superseded by technological beauty. The style also represented a new political ideology where the search for a new dwelling form was seen as part of the search for a new social order.

4.54 The term 'International Style' originated in Henry Russell Hitchcock and Phillip Johnson's book, written to record the International Exhibition of Modern Architecture held at the Museum of Modern Art in New York City in 1932. The book identified, categorised and expanded upon characteristics common to Modernism across the world. As a result, the focus was more on the

stylistic aspects of Modernism. Hitchcock's and Johnson's aims were to define contemporary style that encapsulated the Modern idiom. They identified three main architectural principles: the expression of volume rather than mass, balance and regularity rather than preconceived symmetry and the expulsion of applied ornament. These principles are demonstrated by the CA's buildings.

4.55 The houses in the CA are unified by their strong forms, design, materials used and steel windows (often manufactured by Crittall) typical of the era. Together, the buildings provide a basis for a strong, singularly cohesive townscape.

- **Valencia Road - Modernist Style**

4.56 The architectural qualities of this road are highlighted by the following description of Douglas Wood Architects' new Valencia Road development, published in the 1936 Middlesex County Handbook: 'Modern houses in the approved and period styles, prices ranging from £1,750 to £2000. Mass produced methods have not, of course, been used in the erection of these houses, each of which is designed individually and subject to expert scrutiny during building.'



Picture 4.40 Good view westwards along Valencia Road, including 2 - 8

4.57 Whilst each house intentionally differs slightly to its neighbour, all have common characteristics reflecting the influence of Le Corbusier and the Cubist movement in architecture:

- All the houses are raised up above the general lie of the land, being constructed upon a slight ridge; thus their setting adds force to the bold designs.
- All of the houses are asymmetrical in design, those along Lower Kerry Avenue being more so, and have strong geometrical forms coupled with much projection and recession.
- All the houses have flat roofs with varied skylines.
- Large expanses of flat wall are broken up by the large window expanses, all of which would all have been originally fitted with Crittall windows.
- According to the *National Builder* (1935) the original brickwork would have resembled concrete from a distance, the mortar made of white cement and the brick surface rendered in "snowcrete" (a cement wash of film-like consistency). To their detriment, numbers 4-10 (even) have all been re-rendered in varying cream colours such that the impression of concrete has been lost.

- According to the *National Builder* (1935) originally tinted tiles were used for decorative purposes at the entrances, as well as panels of tiling on the front elevations that were said to 'relieve the faint greyness of the walls'. In places these remain.
- Internally the special layout of the houses reflects the spirit of the age, incorporating roofs accessible via separate staircases, each holding sun-rooms which originally, and often still do, allow 'exceptionally fine views over the countryside on all sides.'
- Low boundary walling was used, so as not to obstruct the openness of the houses and their front gardens, yet to define the formal boundary of the building.

4.58 Number 2 Valencia Road, on the corner of Kerry Avenue, is the largest and most imposing house in this road. It is the only house in the row not designed as a near symmetrical reflection of an adjacent house, as numbers 4 with 6, and 8 with 10 are. Furthermore it is the only one of the group to not have a circular stair-tower, a feature carried to all the houses built soon after in lower Kerry Avenue. It is three storeys high, though part of the third and second storeys on the front-facing bays were added later and originally held a sundeck like those still present on the adjacent houses. Its simple block-like construction with large expanses of greyish white wall contrasts well with the large expanses of white-framed Crittall windows. From a distance the greyish render of this property gives the impression that it has been constructed in concrete as the primary construction material. However, this is not the case and the walls have been rendered in 'snowcrete' mixture as a cement base applied on top of brick walls. Unfortunately it has had a front and side porch addition that detracts from the original design although the original form of the building remains clear. Fortunately a photograph provides a record of the property prior to the porch addition. This shows how reconsidering the siting and scale of this porch provides an opportunity to improve the potential contribution of the building to the conservation area as a landmark corner building.



Picture 4.41 2 Valencia Road before some recent modern alterations (date unknown). Source: Local history library.



Picture 4.42 2 Valencia Road today

4.59 Numbers 4 and 6 Valencia Road, although detached asymmetrical buildings, were designed as a pair to reflect each other in a symmetrical layout; asymmetry of an individual house as a unit, coupled with a symmetrically planned layout, is typical of the International style. Each building has large quadrilateral rooms the shape of which are easily discernible from the exterior of the property. Thus the buildings' function of convenient living space dictates the form of the property from the

exterior and fulfils another aim of this style of architecture. Both are simplistic and 'blocky' in design and contain a stair-tower built on circular lines which extends to all three storeys and provides curved relief to the stark lines of the buildings.

4.60 The original character and interest of number 6 has been undermined due to the removal of the Crittall windows, the reduction in size of the once flat rectangular front-facing windows, removal of corner windows and addition of a prominent side garage and a door frame wedged next to the circular stair-tower. However the original Art Deco railings on the sun-deck are still present. Number 4 is much closer to the original ideal and fortunately presents number 6 with tangible evidence of original design and features, both the wide (now replacement) Crittall windows and the sun-deck railings, with no further clear additions to the buildings external frame, however, the house has been re-rendered in an orangey-cream colour, which again detracts from the original ideal. The narrow frames of the Crittall windows (in the case of number 4) and the Art Deco wrought iron railings of the sun-decks provide an attractive contrast to the appearance of solidity of these buildings. Like for like reinstatement of the historic windows at number 6 and reconsidering the modern porch/garage addition would certainly help reinstate intended symmetry to the design thereby adding retro heritage value commonly associated with premium property values.



Picture 4.43 Numbers 4 (centre) and 6 (left) Valencia Road, with number 2 in the background



Picture 4.44 Number 4 (right) remains closer to the original Modernist design than 6

4.61 Interestingly, the railings and the windows to these buildings have an interesting correlation. In the centre of the front-facing railings lies a double upward pointing arrow detail (see below right). It is almost certain that this feature would have originally been echoed in the lower large rectangular front-facing windows directly below, as survive in those at number 2 (see below left), but which do not survive in numbers 4 and 6, though a separate window pane where the double arrow frame would have originally been situated is retained at both number 4 and 6. Again replica reinstatement of such design would present an enhancement by the homeowner, adding interest and value.



Picture 4.45 Good arrow detail within window of 2 Valencia Road



Picture 4.46 Good arrow detail within railings of 4 Valencia Road

4.62 Number 8 and 10 Valencia Road (pictured below) consist of two and three storey blocks of brick rendered in a smooth cream finish. These houses, whilst not forming an exact symmetry as exists at numbers 4 and 6, were built to be nearby symmetrical designs for example both have a two storey projecting block in the front with a three storey block behind.



Picture 4.47 8 (right) and 10 (left) Valencia Road

4.63 The front elevations incorporate first floor balconies with French doors overhung by cantilevered concrete canopies (see picture below). This is an important element of their Modernist design in terms of the geometrical shapes used and the association with a healthy outdoor living ideal. Unfortunately the original solid concrete balustrade to this balcony has been removed from both, replaced with railings less in keeping with their strong Modernist design. At ground floor level of both houses an open porch stands over a raised terrace area with French doors. Unfortunately, the insensitive replacement of the original slender steel Crittall windows at each house with thick, plastic versions, has also caused a substantial loss of character to the buildings. The almost wholly original design of numbers 8 and 10 are pictured in the historical black and white photographs below. These photos provide homeowners with supporting evidence by which to explore home improvements that are likely to increase property values given the current emphasis upon retro driving value e.g. like for like reinstatement of windows/doors and balcony balustrades.



Picture 4.48 First floor balcony to 8 Valencia Road



Picture 4.49 Historic photograph of 8 Valencia Road (date unknown). Source: Local history library.



Picture 4.50 Historic photograph of 10 Valencia Road (date unknown). Source: Local history library.

4.64 Number 14 Valencia Road whilst built later, and located just outside of the CA, was built by Young and Eagle Architects to follow the Modernist Movement ideals. This is clearly evident by the strong geometrical forms within its design, for example, the semi-circular bay window for the front ground floor and first floor rooms, and the glass blocks used to create a sweeping corner at first floor level. The horizontal pointing was originally off-white, and the vertical pointing the colour of the bricks to emphasise the horizontal lines of the house. Unfortunately, the addition of a front Georgian style porch and the pitched roof though does not complement the Modern Movement style of the house. The changes to this building serve as a warning for how unmanaged change that is out of keeping with the original Modernist ideals of the CA can harm character. This in turn undermines potential property premiums associated with heritage.



**Picture 4.51 14
Valencia Road,
just outside the
CA - originally
constructed in
Modernist design**

- **Kerry Avenue - Modernist Style**

4.65 In 1936 Gerald Lacoste specially designed six houses for Kerry Avenue in the Modern Movement idiom. The association of these buildings with Lacoste is important; the significance of this architect has been outlined in the Short History section. They were designed as a set-piece to form an impressive entrance to what was intended to be a large modern planned estate. With regard to the Kerry Avenue building project, an article published in *The Builder* (18th October, 1937) stated that: 'the planning and the elevations were carefully considered with the purpose of showing to the house-buying public that speculative building can be treated in an attractive manner, and not necessarily as a continuous repetition of single-fronted houses having no individual character.' So, as with the Valencia Road houses, each of these buildings were specially intended to retain individual characteristics. Reflecting the influence of Le Corbusier and the Cubist Movement in architecture, each was still built in accordance with one another. They therefore have the following common characteristics:

- Bold, asymmetrical designs, with strong geometrical forms broken up by projecting and recessing architectural features.
- Flat roofs with varied skylines.
- Large expanses of flat wall broken up by the large window masses, most of which are, and would originally have been, fitted with Critall windows.
- According to *The Builder*, 18 October 1937, low boundary walling, as used at Valencia Road, was implemented to 'avoid unsightly wooden fencing' and obstruction of the sense of openness.
- Many of the new houses had sundecks, like those on the nearby Valencia Road to reflect the 'healthy outdoor living' ideal that was so popular in the 1930s.

4.66 Primary considerations for the new houses in Kerry Avenue were economic planning of heating and drainage and saving of waste space, due to the contemporary high cost of land (£7 10s per foot). A general plan, based on an analysis of houses in the vicinity, was drawn up stating the criteria that each house was to fulfil and the cost of each individual house was not to be less than £1000. It was decided that clients would require good construction and workmanship, a large sitting-room and dining-room, a large kitchen with cloakroom and each was to be four bedroom with a garage.

4.67 Numbers 1 and 3 Kerry Avenue are the first houses on the Western side of the Avenue and are situated at the bottom of the slight rise up to Stanmore Country Park. The houses are asymmetrical in design but are linked by an integral garage that transforms the houses into a symmetrical pair. Number 1's garage has been extended and altered though, which detracts from this symmetry and it has ensured the removal of the original sundeck feature. The roofs are constructed in reinforced concrete and timber whilst the balconies and garage roofs are also in reinforced concrete. Both buildings are set in relatively large front gardens that are bounded by low, concrete walls, an essential part of the layout of this part of the estate. Like the foundations of all the houses in the lower part of the Avenue, these are constructed of concrete bricks and are faced with lbstock bricks.



**Picture 4.52 1 Kerry Avenue before it was fully rendered and partly extended (date unknown)
Source: Local history library.**



Picture 4.53 Current photograph of 1 Kerry Avenue

4.68 Both numbers 1 and 3 Kerry Avenue are relatively simple in design and consist of a rectangular block that is relieved only by a semi-circular bay that extends from the ground floor lounge up to the first floor bedroom. As shown in the picture below right, originally the bay of number 3 was of board-marked concrete adding to the boldness of the design, which has unfortunately been rendered over. Similarly, number 1 has now been fully rendered which detracts from the intended symmetry of the pair, and the porch of numbers 1 and 3 has been all or partially infilled detracting from symmetry and the intended boldness of the design. The original sundeck feature of number 3 still remains though as shown by the photograph below.



**Picture 4.54 3 Kerry Avenue
(date unknown)**



**Picture 4.55 A current
photograph of 3 Kerry
Avenue, originally a
mirror image of number
1**



**Picture 4.56
Original sundeck
feature above side
garage of 3 Kerry
Avenue**

4.69 Currently the changes listed to numbers 1 and 3 Kerry Avenue undermine the potential contribution of these buildings to the conservation area. Fortunately though historic photos of both 1 and 3 Kerry Avenue allow homeowners the opportunity of adding heritage value associated with property value premiums by reverting back as closely as possible to the original core Modernist design principles e.g. by removing render that was added later reconsidering siting and scale of additions that detract from historic form.

4.70 Across the road are numbers 2 and 4 Kerry Avenue, which are larger versions of numbers 1 and 3 having a wider frontage. Their basic form is one of a rectangular block with a curved, two storey bay. Both buildings are constructed from the same materials as numbers 1 and 3. Numbers 2 and 4 have been subject to several alterations and extensions to the front and side of the properties since they were constructed, as is partly evident from a comparison of historic and current photographs below. For example number 2 has had a front side ground floor extension and some of its original shutters removed and number 4 has a front porch addition and balustrading out of keeping with the modern design. Number 4 being totally rendered in white, whilst number 2 is of the original brick with a white rendered bay. Such alterations serve to underplay the potential contribution of the property to the conservation area's special character associated with Modernist principles of design. Positively though, the underlying forms of each building remain still easily

discernible. Reinstatement of original features and removal / reconsidering later unsympathetic additions to be more in keeping with the Modernist design of these buildings would add heritage values commonly associated with property value premiums.



Picture 4.57 Number 2 Kerry Avenue before some of the modern alterations to the building (date of photo unknown) Source: Local history library



Picture 4.58 Number 2 Kerry Avenue today



Picture 4.59 Number 4 Kerry Avenue before some of the modern alterations to the building (date of the photo unknown). Source: Local history library



Picture 4.60 View towards 4 Kerry Avenue today

4.71 Number 6 Kerry Avenue adjacent to number 4 constitutes the corner property marking the junction of Kerry Avenue with Glanleam Road. This is a detached house and has been individually designed to suit the prominence of its position. Number 6 has been considerably extended since its original construction but this has been done sensitively and has not altered its sprawling blocky character. The building appears to have been constructed from several individual building blocks and retains its strikingly bold appearance.

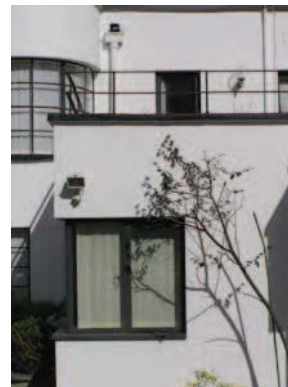


Picture 4.61 Number 6 Kerry Avenue

4.72 Number 6 is arguably the most progressive of all the designs in the CA with a stronger emphasis on machine-made starkness than the more domestic character of the other buildings. It is constructed of Fletton bricks on concrete brick foundations and is faced in Ibstock bricks, as with the other Lacoste houses in the CA. It is rendered in white 'Snowcrete', which is in sharp contrast to the black Crittall frames that characterise the building. The flat roofs have been constructed in reinforced concrete and timber, reflecting the contemporary technology of the day.



Picture 4.62 Bold design and sharp form of 6 Kerry Avenue



Picture 4.63 Flat roof with sundeck feature on 6 Kerry Avenue, key to its Modernist Design

4.73 Number 5 Kerry Avenue is opposite number 6 and also forms the corner property at the junction with Valencia Road. It is again individually designed, but is less stark than number 6 with a central curved bay extending through both storeys and positioned at the apex of the right angles that form the building's shape. As with the other Kerry Avenue buildings it is constructed in brick and is rendered in white. Number 5 has been extended somewhat unsympathetically to the south (as shown by comparing the original design sketch under the 'short history' section with the current photograph below) but overall the building retains its character and the original Crittall windows. Externally the finish is of snowcrete mixture on cement rendering.



Picture 4.64 5 Kerry Avenue before some of the recent alterations, yet still showing some alterations (date unknown). Source: Local history library.



Picture 4.65 Number 5 Kerry Avenue today

4.74 Locally listed number 14, another Modern-style house of interest, was built in 1937, soon after the Valencia Road and Kerry Avenue projects. Described by Pevsner as the area's 'best building' (Pevsner, 1991), it was designed by Reginald Uren, a New Zealander and architect of some reputation, for his wife. The house is of yellow brick and is designed with blocky simplicity associated with the Modern style; it follows the character set by the earlier building projects. It has a third floor, resembling a small tower like structure, incorporated into the main body of the house that would have given excellent views across the then open and unspoilt countryside. The original front door bears a New Zealand rabbit in the glass, thus marking a personal stamp on the building. The house has a basement flat that was converted from heating and storage to house a chauffeur in the early 1950s, which provides an interesting record of social history.



Picture 4.66 Number 14 Kerry Avenue



Picture 4.67 Important original detail - New Zealand rabbit in glass of the front door of 14 Kerry Avenue

4.75 Number 16 Kerry Avenue was built in the early 1970s and was designed by Gerd Kauffman Associates. The house is built on half an acre of sloping ground that overlooks the Stanmore Country Park to the side. The walls are of simple brown brick with large aluminium framed glazed

doors and windows. The house forms what has been described as an “exciting living area”, (*Interior Design*, June 1972, 406-408) with different levels of light intensity relating to the function of the rooms of the house. The interior is decorated with maple floor boards extending up the walls and chrome pillars. Although this building is of a different style to the other interwar houses in the CA, it is nevertheless of an overt and progressive modern style of some quality, in keeping with the character and appearance of the area. It was described within a contemporary article as 'a low spread building with sharp angular roof shapes and large areas of blank brickwork balanced by wide windows'. The house was intended to have form dictated by function, use strong shapes and keep its eyes on the country view.



**Picture 4.68 Locally listed
16 Kerry Avenue - a good
example of late Modernist
architecture**

4.76 Glanleam Road - Modernist / Arts and Crafts Style

4.77 The inter-war property in Glanleam Road, makes a positive contribution to the CA utilising many elements of the International style but in a more restrained manner. The house displays windows in the Crittall style. It's pitched roof sets it apart from the nearby houses, as well as its prominent Arts and Crafts style chimney feature. The CA might benefit from this house being locally listed, in order to protect the character of the CA, it being in such a prominent corner position.



Picture 4.69 Number 1 Glanleam Road

- Kerry Avenue - New Build**

4.78 The original Kerry House was contemporary with the estate (built in 1937). Though it was constructed in a more restrained Modern style than its neighbouring houses, it nonetheless made a positive contribution to the area. Permission was given to re-develop the site in 1988 on appeal.

Planning permission was granted simultaneously for a replacement block of seven flats considered to make a neutral contribution to the character or appearance of the conservation area. Being already fairly bulky, any extension or enlargement to the building would require careful consideration.



Picture 4.70 Kerry House Flats

- **Stanmore Station - London Road**

4.79 Stanmore Station (pictured below), to the south of Kerry Avenue, was designed by Charles Walter Clarke (1885-1972) and built in 1932, and is of considerable charm reflected by its locally listed status. The station was designed by Charles Walter Clark who worked for the Metropolitan Railway between 1910 and 1933, designing around 25 new and rebuilt stations as part of the refurbishment programme that accompanied the railway's electrification. He employed a Beaux-Arts Classical style for the company's central London properties, including the Baker Street head offices (1913) and stations such as Praed Street/ Paddington (1914) and Edgware Road (1928). For out-of-town stations such as Stanmore, he developed a good brick-built domestic revival manner, intended to evoke the local rural vernacular and set the tone for ensuing suburban development: as well as the present station and its neighbour and contemporary Kingsbury station, this is seen at Croxley and Watford (both 1925) - the latter being externally almost identical to Stanmore.



Picture 4.71 Views towards the Arts and Crafts style Stanmore Station



Picture 4.72 Alternate view towards Stanmore Station

4.80 It is built into the level change from London Road, down to the platforms and tracks. It is a rectangular block of one and a half storeys above a basement, with booking hall, ticket office and shops on the ground floor and domestic accommodation in the basement and attic. The station is built in an Arts and Crafts-influenced vernacular style given its construction of high quality, traditional materials namely, multi-coloured, variegated brown brick with plinth of darker vitrified

brick base and clay tile roof, and a dominant hipped roof and sash windows. The front elevation to Stanmore Road has a central double doorway with glazed doors and sidelights; the overlight is formed of a series of diamonds (the Metropolitan logo). On either side are bronze framed poster panels with swan-neck light fittings above. To the left is a large rectangular window with multi-pane glazing in a hardwood frame, originally belonging to the station-master's office. Shops in the outer wings have hardwood-framed plate-glass windows and doors. Two doorways with two-panel doors and glazed overlights give access to the first-floor flats; two further doors in the screen walls to left and right of the main building open onto steps leading down to the basement flats. A glazed canopy on metal posts, rebuilt in 1948, spans the full width of the façade. The roof above has sprocketed eaves, and presents a symmetrical arrangement of three hipped dormers and four tall plain stacks.

4.81 Internally the building has interesting architectural details. The ticket hall is tiled with hardwood trims and mouldings. The booking hall is a double-height space with mustard-tiled walls (the tiles are replacements) and a moulded cornice. To the left are three original ticket windows with hardwood shutters, pilasters and architrave. To the right, a kiosk and a recessed bank of telephones have similar architraves. A single flight of steps with hardwood handrails, set in a glass-roofed brick enclosure, lined with timber poster panels, leads down to the single island platform. Here, beyond the modern ticket offices and UTS barriers, is the original accommodation block, a simple brick box which displays large poster panels and contains a waiting room and toilets, both modernised. A second block, added after 1959 stands beyond this. A simple girder canopy with a glazed roof, partly original and partly post-war, runs about half the length of the platform.



Picture 4.73 Partly original canopy over the platform of Stanmore Station

4.2.6 Prevalent and Traditional Building Materials and Detailing

4.82 The CA houses are two or three storeys high, with a number of characteristic recurring architectural features, in keeping with their Modernist style. These include, flat roofs often with additional sundecks, geometrical massing of flat surfaces, and windows of a range of geometrical shapes, and a two or three storey curved bay which often includes a staircase. Although this has been covered to an extent within the 'Architectural Qualities' section, some of these features and others are outlined in more detail below. In the case of semi-detached houses, these elements are used to create an appearance that is roughly symmetrical. It is essential for any proposed alterations not to disturb the balance, symmetry and geometrical interest of these buildings.

- **Brickwork / Concrete**

4.83 All of the houses are built from brick, but some were designed to have extra surface rendering on top to give the appearance of concrete as a key building material, and to contrast strongly with large expanses of Crittall windows. This is integral to their special character as buildings of the Modernist Style. The Valencia Road houses for example were all built from brick which was originally rendered in white snowcrete such as survives at number 2. Numbers 1-4 Kerry Avenue were constructed with concrete brick, faced with 1bstock bricks. Numbers 5 and 6 used Fletton bricks on concrete brick foundations, and were also faced with 1bstock bricks, and finally rendered in white snowcrete.

4.84 Some of these houses that were part of the original 1930s building projects intentionally have some exposed brickwork, for example, numbers 2, 3 and 4 Kerry Avenue (number 3 is pictured below). This complements their intended starkness of design. Some houses that were not part of the original 1930s building project are constructed more fully of exposed brickwork to add a more traditional character, yet also again to complement the intended starkness of design. Number 14 Kerry Avenue and Kerry House are of yellow brick, number 16 Kerry Avenue of dark-brown brick and number 1 Glanleam Road is of dark reddish/brown brick.



Picture 4.74 Exposed brickwork on the original 1930s Modernist buildings



Picture 4.75 Yellow brick of 14 Kerry Avenue in the foreground and dark brown brick of 16 Kerry Avenue in the background

- **Windows / shutters**

4.85 The windows for the Valencia Road and Kerry Avenue building projects were of steel, usually Crittall manufacture, to create strong geometrical shapes. This is an extremely important feature of these buildings as it forms part of the International Style. The windows generally consist of large flat expanses that help to break up the wall massing.

4.86 The style of those along Valencia Road and 1 Glanleam Road have more of a horizontal emphasis compared to those along Kerry Avenue, as they use delicate metal glazing bars to create prominent horizontal panes (see below left). Also, they display more individual examples of strong geometrical shapes, such as the stepped vertical rectangles on the curved bays of numbers 4 and

6 Valencia Road (see below right), and those on number 2 Valencia Road that follow the straight corners of the building to add to the strong geometrical form of the building. This adds to the intended individuality of these buildings.



Picture 4.76 Crittall windows that use delicate metal glazing bars to create prominent horizontal panes are typical of those on Valencia Road



Picture 4.77 Stepped Crittall windows, number 4 Valencia Road



Picture 4.78 Crittall windows sometimes follow the sharp corner of a building to emphasise the strong geometrical forms as above, and in the picture right, on 2 Valencia Road



Picture 4.79 Original Crittall windows on number 2 Valencia Road

4.87 Along Kerry Avenue the original Crittall windows have a more vertical emphasis. Numbers 1-6 do so as they use strong vertical glazing bars to divide up tall rectangular windows, without, or with only one of the, additional horizontal bars found along Valencia Road running through (see pictures below).



Picture 4.80 Vertical emphasis of Crittall windows along Kerry Avenue, at 4 Kerry Avenue, and right at 5 Kerry Avenue



Picture 4.81

4.88 Interestingly corner properties numbers 5 and 6 Kerry Avenue use a mix of both the Crittall designs found in the CA. This is because the distinctive curved Crittall windows on these buildings have the rows of horizontal glazing bars running through, and the flat window on number 5 Kerry Avenue introduces individuality and a horizontal emphasis to the design (see pictures below).



Picture 4.82 Original windows complement the strong geometrical design of the building



Picture 4.83 Flat window on number 5 Kerry Avenue

4.89 Unfortunately though, despite the above original characteristic windows, a number of original windows have been replaced with plastic or aluminium, which have a crude, bulky and heavy appearance. Where used on the curves of the building these have a particularly poor appearance as they detract from the strong geometrical lines of the building. All windows not of original

manufacture should be replaced with metal frames in the Crittall style, in keeping with the architectural character. It is very unlikely that it would be appropriate to alter the opening sizes or change the window detailing today, since the originals were such a carefully considered and designed feature.



Picture 4.84
Replacement windows here detract from the intended delicate nature of these windows and strong geometrical lines of the building

4.90 A small number of the buildings have rectangular shutters around the windows (2, 3 and 4 Kerry Avenue), which contributes to their strong geometrical form and so to the integrity and completeness of the original design. Number 5 Kerry Avenue also used to have this feature.



Picture 4.85 Original shutters on number 4 Kerry Avenue



Picture 4.86 Original shutters on 3 Kerry Avenue complement the Modernist Design

- **Iron railings / Sundecks**

4.91 The sundeck feature is integral to the healthy outdoor ideals associated with the Modernist design. Iron railings were added as part of the sundeck features of the 1930s building projects on Valencia Road and Kerry Avenue, often above the first floor and above the garages. Their strong horizontal lines contribute to the original International-style form. Few appear to remain, making those that are still in place all the more important to retain. Those attached to numbers 2 and 4 Valencia Road are particularly attractive in character.



Picture 4.87 The sundeck feature



Picture 4.88 Original railings are integral to the sundeck design

- **Doors**

4.92 Some houses either retain original doors, or employ designs, that are in keeping with the Modernist architectural interest of the area. These are simple timber doors, that contain strong geometrical glazed forms within them. Where possible original doors should be retained, or any replacements proposed should harmonise with both the building they adorn as well as the overall character of the CA.



Picture 4.89
Rectangular design of glass panel 3 Kerry Avenue



Picture 4.90
Strong geometrical shapes of door

- **Garages**

4.93 In the Valencia Road and Kerry Avenue housing groups, those houses that are a near symmetrical reflection of each other are without exception joined by garages (see pictures below). These are therefore integral to their original design, helping give a cohesive quality to the CA. They also help ensure vehicles do not clutter the front driveways. Some have original railings above (see Iron railings / Sundecks section above).



Picture 4.91
Garages between numbers 1 and 3 Kerry Avenue, number 3 with the original sundeck feature above



Picture 4.92 **Garages between numbers 4 and 6 Valencia Road, number 4 with the original sundeck feature above**

4.2.7 Streetscape

- **General**

4.94 The streetscape in the CA is generally of a high quality, being relatively uncluttered by signage and enhanced with well kept gardens and roadsides. However, there has been a steady, piecemeal erosion of the unifying characteristics of the streetscape in some areas, particularly in terms of the introduction of hard surfaces into front gardens and poorly considered landscaping. Valencia and Glanleam Roads and the upper end of Kerry Avenue are all private roads.

4.95 The west side of the lower end of Kerry Avenue is the best preserved in the CA in terms of the original design. However, the east side of that road is a clear example of the overall harm that can occur as a result of piecemeal, inappropriate changes largely due to excessive hardsurfacing of front gardens and different designs of boundary treatments.

4.96 Both sides of the lower end of Kerry Avenue benefit from the presence of the green island, an unusual street feature that softens the hard elements of the street-scene as well as adding a feel of seclusion. The island itself remains much the same as when it was designed but would benefit from greater care.



Picture 4.93 Low boundary walls do help to unify the lower east side of Kerry Avenue



Picture 4.94 Central green island adds integral greenery to the Lower Kerry Avenue

4.97 As you head to the upper part of Kerry Avenue, the street-scene becomes rural with the road bordered on each side by wide, very well maintained grass verges.

- **Boundary treatments**

4.98 The boundary treatments of the conservation area are indicated by the next map.



Picture 4.95 Boundary Treatments © Crown copyright. All rights reserved 100019206, 2010

4.99 The original low walls that are characteristic of the area are constructed of concrete bricks ('Dunbrik'), which is all part of the special International style of the area, and are stepped in design (see photographs below). This remains in tact along the west side of the lower end of Kerry Avenue and so retains the original landscaping concept. Although in places on the other side these original walls have been replaced or topped by hedges and soft-planting, they remain low and as such are a unifying characteristic of the area. The low wall height displays the soft front gardens in this area to advantage, which themselves act as a foil to the starkness of the architecture.



Picture 4.96 Original low boundary treatment to 5 Kerry Avenue of Dunbrik, typical of those original boundary treatments within the Conservation Area



Picture 4.97 Original low boundary treatment to number 5 Kerry Avenue looking southwards

4.100 Along the north side of Valencia Road where treatments are still in place they are slightly higher (about double that of those along Kerry Avenue) reflecting the slope of the land. Otherwise, they consist of low vegetation allowing through views to the buildings and retaining the soft amenity of the area. On the south side of Valencia Road to the back garden of number 5 Kerry Avenue and onwards, the boundary treatments consist of high hedges which help to provide the soft amenity of the area, and past number 5 Kerry Avenue, this also helps to conceal views to architecture that is not in keeping with the Modernist style.



Picture 4.98 Thick hedge boundary treatments past the rear garden of 5 Kerry Avenue on the south side of Valencia Road help conceal architecture that is less in keeping with the Modernist style

4.101 As on the lower part of Kerry Avenue, most of the property boundaries along the upper part are low which helps to unify the area. Whilst a replacement, that to number 1 Glanleam Road remains which allows excellent views through to the soft, green garden amenity space (pictured below). Along the upper part of Kerry Avenue though the boundaries though are often formed of high vegetation so that even though the amenity of the gardens is lost, the soft nature remains. The lack of signs, clutter and pavement reinforce the atmosphere of informality.



Picture 4.99 Low boundary treatment to number 1 Glanleam Road allows good views through to the garden greenery



Picture 4.100 Boundary treatment to 2 Valencia Road on the upper Kerry Avenue side is typical of the taller, hedges here that form boundary treatments

4.102 Boundary treatments are important to the area as they provide definition to the street scene and maintain the distinction between the public and private space. In this CA the low walls and clusters of shrubs and trees add to the soft, suburban landscaped character. The boundary between houses is usually well planted, with many mature trees facing onto the road and on the island in lower Kerry Court.

4.103 Around the open space in Kerry Court, there is white chain fencing that follows the CA's boundary on the curved sides of Kerry Court, which emphasises well the designed nature of the CA's plan form (see next photo).



Picture 4.101 White chain fencing

- **Floorscape**

4.104 The roads are concrete and tarmac surfaced. Although concrete is an appropriate material with a slightly rough and natural texture that blends well with the area, as with tarmac, there is a need for works to the surface.

4.105 The road surface on Valencia Road (a private road) has been disrupted by the addition of speed humps and an associated assortment of white lines that appear to be “stuck” on to the concrete, creating an alien feature in an otherwise harmonious street-scene. There have also been unsuccessful attempts to cover up old yellow lines at the side of the road with thick grey paint. Altogether this area of streetscape could be substantially improved were appropriate surface materials and sensitive design solutions to be applied. However, on the whole the absence (as in upper Kerry Avenue), or the restrained use of, road markings help to retain the area's atmosphere and feel of open space.

4.106 Valencia Road is bordered on each side with narrow well-maintained grass verges without trees on them and granite kerbs as shown on the photograph below left. These are broken in places by driveways detracting from the continuity of the grass verges. Wider well-maintained grass verges are to be found on the south side of Glanleam Road and on both sides of the upper end of Kerry Avenue (pictured below). These are very important as they contribute to the soft, semi-rural character of the area, though again these are broken in places by driveways.



Picture 4.102 Wide grass verges, shown here along Valencia Road, add to the soft, semi-rural character of the area



Picture 4.103 Grass verge along west side of Upper Kerry Avenue - additional driveway openings detract from the continuity of grass verges



Picture 4.104
Wide grass verges are important along east side of Upper Kerry Avenue adding semi-rural character

4.107 A new concrete pavement has been added to both the east and west sides of the lower end of Kerry Avenue, running the length of this road. However, this is entirely in keeping with the character and appearance of the area.

- **Driveways and front gardens**

4.108 Most properties have an open driveway, set between the low boundary treatments, though those on upper Kerry Avenue use gates. Front gardens are mostly covered with grass and other soft landscaping (see pictures below).



Picture 4.105 Front garden greenery of number 5 Kerry Avenue is characteristic of the area



Picture 4.106 Alternate view of characteristic front garden greenery at number 5 Kerry Avenue

4.109 However, pressure for more hard-surfacing to increase front parking threatens to affect the intended soft nature of the estate, and presents a more urban feel, which is at odds with the semi-rural character of the area. It does so by cutting through the grass verges which are integral to the area's character and by reducing the amount of front garden greenery that complements

the area's architectural qualities. Indeed, some of the properties have seen front garden space being used in part or entirely for parking, with little attempt to retain soft landscaping (see the next map). The introduction of more hardsurfacing causing barren areas of paving are sometimes made more obvious by the use of inappropriate surfacing, such as crazy paving or bright materials. Also, the use of front gardens for parking means vehicles block views through to the high quality architecture. Any driveway should therefore seek to retain existing greenery, or introduce more, wherever possible and use permeable materials. Plain paving in muted colours or asphalt are more appropriate. No more than one driveway entry to a property should be introduced.



Picture 4.108 Excessive hardsurfacing introduces a barren appearance at odds with the intended design of the CA

Picture 4.107 Hardsurfacing © Crown copyright. All rights reserved 100019206, 2010

4.110 The inappropriate treatment of the front gardens has been especially detrimental to the harmony of the street-scene on the east side of the lower end of Kerry Avenue. This was originally planned as soft, amenity spaces, yet the front gardens in this stretch have all been hard surfaced to some degree in materials such as red concrete blocks and crazy paving in yellow and pink. Although to some limited extent the hard surfacing has been ameliorated by planting, some soft front gardens have been transformed into hard forecourts. This makes the retention of existing soft landscaping here all the more important.

4.111 Valencia Road's front gardens are a mixture of original soft spaces and low walling and, unfortunately, some inappropriate tarmaced driveways and boundaries. Overall, the original impression of soft shared amenity space supplied by the front gardens remains but there is a need for careful control over development proposals if the appearance of the road is not to become eroded like lower Kerry Avenue.

- **Street furniture**

4.112 There is very little street furniture to be found in the area, enhancing the semi-rural, uncluttered nature of the area. Along with the lack of signs, clutter and pavement towards the north of the CA, this creates an atmosphere of informality. Any new items if street furniture should be carefully considered, and only introduced when necessary and where they are in keeping with the area's character.



**Picture 4.109 Street Furniture © Crown copyright. All rights reserved
100019206, 2010**

4.113 The open and uncluttered space of Kerry Court and the grass verges that furnish roads on Valencia and Glanleam Roads as well as upper Kerry Avenue, positively contribute to the area's character, not only by virtue of being attractive in themselves, but also for their openness, allowing uninterrupted views of housing groups.

4.114 The majority of street lamps are made of concrete and attractively blend in with the area as a whole, being of interesting design with a curved form holding the light fixture (see the next photo). There are however a few relatively new street lamps in aluminium grey which are unsympathetic and inappropriate. Further use of these should be resisted, with any replacements being appropriate to the character and appearance of the CA.



Picture 4.110 Original concrete lamp complements Modernist designs

4.115 The use of signs in the area has been kept to a minimum and those existing are relatively unobtrusive, excepting the junction on Kerry Avenue where there is overuse of insensitively large signs. This could be substantially improved by the use of multi-signs of smaller size.

4.116 The semi-circular grass area of Kerry Court contains several concrete posts, to stop vehicles parking on the grass and therefore helps preserve the semi-rural character of the area; one is missing. There is a traditional pillar box on Kerry Court (pictured below) that forms a pleasing aspect of the street scene.



Picture 4.111 Traditional red pillar box

4.117 The amount of street furniture outside Stanmore Station, particularly due to signage, telecommunications cabinets, bins and guard rails, does create a cluttered appearance in places. This would benefit from rationalisation.

- **Summary**

4.118 The street-scene in CA remains simple and relatively uncluttered throughout contributing to the semi-rural character of the area. Areas for improvement include the junction of Valencia Road and Kerry Avenue (where more appropriate speed control measures are needed) the island which requires tidying up and on-going maintenance, and the road surfaces which in some places require consolidation and/or replacement.

4.2.8 Green Spaces and Ecology

4.119 Greenery exists throughout the CA, softening the streetscene and providing a high quality setting for the buildings. Retaining trees and green spaces was an important part of the philosophy behind the creation of this estate, made clear by the statement in the *National Builder* (1935): 'not a tree will be felled or alteration made in the land other than those that may in detail become absolutely unavoidable, purchasers on the look out for houses under permanent guarantee that the existing environment will remain, will find in this estate the location they desire'.



Picture 4.113 Lower Kerry Avenue, showing the tree island on the left

Picture 4.112 Important Streetscene Greenery and Open Spaces © Crown copyright. All rights reserved 100019206, 2010

4.120 Examples of important green spaces include Lower Kerry Avenue's central island, which consists of mature trees, including large horse chestnuts, willows and some shrubs which create a soft belt in the centre of the road acting almost as a screen between the two sides. This lends a feeling of seclusion and privacy to the area that is enhanced by the vegetation found in the front gardens of these properties. It is also an important green space as it forms part of the formal

designed layout of the road. Indeed, the island had been laid out prior to the commencement of building in the Avenue. There are also mature trees in upper Kerry Avenue, near to the entrance to the Stanmore County Park.

4.121 Grass verges form another important green space as they help to soften the streetscene and help to give the impression of longer gardens and complement the setting of the buildings. These are vital to the semi-rural character of the area. The area of open semi-circular grass space within Kerry Court acts as a good and well defined entrance to the axial Kerry Avenue. The open gardens, as a planned part of the area's character, perform an important visual amenity function in the area that contributes greatly to the spacious character of the CA.

4.122 The trees are protected by CA status as well as the numerous Tree Preservation Orders. The extent of the existing Tree Preservation Orders are shown in the previous map. Further Tree Preservation Orders may be required where the trees are threatened or their future retention prejudiced. The Council will attach special importance to the retention and replanting where necessary of trees in garden areas which make a major contribution to the overall street-scene and special character and appearance of the area. The lack of street trees in this area intensifies the value of adjacent street side gardens and trees forming attractive views within the CA.

4.123 The CA contains little intrinsic ecological or nature conservation interest in terms of habitat or rare species. However the large garden plots and the variety of tree and shrub species support a range of fauna. The location of the CA, adjacent to Stanmore Country Park is such that there is a wider range of birds in the area when compared with similar clusters of housing. Visiting birds may include the sparrowhawk, tawny owl, cuckoo, woodcock, and all three species of woodpecker. The occasional mammal may also stray into the area including foxes, weasels, squirrels and rabbits.

4.3 Summary of Conservation Area

4.3.1 Summary and Main Assets

The assets of the Conservation Area derive from a combination of factors including:

1. The high quality of architecture, reflected in the number of locally listed and positive unlisted buildings.
2. The unified and attractive character, defined by the 1930s period architecture and planning.
3. The location of the area on the edge of the green belt and the associated semi-rural quality derived from a low density of development.
4. A unified and cohesive nature of the estate's layout, form, building line and grain reflecting the speculative development projects of the 1930s.
5. The medium-scale of buildings within the CA, as properties are of two or three storeys.
6. The good open and enclosed spaces, as well as the level of soft landscaping and street-scene greenery.
7. Attractive long distance views and shorter views within, into and out of, the CA.
8. The generally high standard of maintenance of properties, grounds and grass verges.

4.3.2 Problems, Pressures and Potential for Enhancement

4.124 Problems and issues have been touched upon in the previous two sections and are comprehensively outlined in the following table. The table includes elements that are found to put pressure on the special character of the area as well as identifying areas where there is opportunity for enhancement. The following section, entitled 'Management Strategy' addresses any issues raised. In dealing with development proposals within the area the Council will be mindful of securing opportunities to address/overcome such issues or any subsequent pressures.

Pressures, Issues or Potential for Enhancement:	Address:	Description:
Parking and litter	Throughout	There is a large amount of parking, particularly of taxis and cars when events are on at Wembley. This clutters the area, particularly around the Kerry Avenue island. Associated with this there are high levels of litter. Parking controls are not always observed.

Pressures, Issues or Potential for Enhancement:	Address:	Description:
Local and national designations for buildings	Throughout	Some of the buildings may be worthy of a higher designation. Positive unlisted buildings such as number 1 Glanleam Road may be worthy of, and benefit from, local listing, whilst some other buildings could be worthy of statutory listing.
Infill Extensions and Two/Three-Storey Extensions	Throughout	<p>The constancy of scale and building line is very important in contributing to the cohesiveness of the CA as a townscape. The unified way in which these groups of houses have been laid out, means that the addition of extensions at the side, and sometimes at the rear, may well threaten the retention of original character. This is due largely to the importance of the variety of projecting and recessing mass, which is integral to the houses' architectural interest.</p> <p>There is demand for significantly extending properties, particularly to the rear, especially to increase the number of bedrooms. The properties, however, were never designed to accommodate such large extensions. If extensions are not carefully considered and respectful to the original design they have the effect of creating large expanses of additional bulk and top-heavy appearance, detracting from the historic interest of the building and from its architectural integrity. They can create substantial 'box like' extensions. Large extensions also compromise the garden setting.</p>
Windows	Throughout	There is increasing pressure to make homes warmer and reduce heating costs. The first thing that residents tend to think of to reduce the amount of heat loss is to replace original, single glazed windows, when other forms of insulation, for example, in the roof or through draught proofing are just as, if not more, effective yet less visually damaging. So, there is pressure to replace original Crittall windows, of which few survive, and similar style replacements, with those of non-traditional materials and designs. This would erode the unity and integrity of the area's architectural detailing.

Pressures, Issues or Potential for Enhancement:	Address:	Description:
Doors	Throughout	Occasionally original doors of traditional type and materials have been replaced. This detracts from the area's intended uniformity.
Porches	Intermittent throughout the CA	Porches have been added in places which detract from the original integrity of the Modernist designs of these buildings.
Boundary Treatment / Front Garden	Throughout	Low walls are important to the area's open nature. Loss of these characteristic boundary treatments would have a detrimental impact on the streetscene. Additionally where gardens and boundary treatments are not properly maintained the integrity of the area is eroded.
Grass Verges and Street Trees	Throughout	Grass verges and street trees are vital to the CA's character. Where grass verges have been lost in the CA there is opportunity to make enhancements by reinstating them. Pressure for additional driveways could threaten these.
Hardsurfacing of gardens and associated creation of driveway access points	Throughout	The open and soft nature of front gardens is vital to the special character of the CA and an asset to the local area. Too much hardsurfacing creates an urban appearance, which is incongruous to the garden suburb context. It is also incongruous with the original philosophy behind the creation of the estate which was that no vegetation should be removed unless absolutely necessary. Large expanses that are impermeable also make it difficult for water to drain, and, as such, increases the likelihood that water will run off into the road, increasing chances of flooding.
Bins	Front gardens throughout Conservation Area	Household refuse bins are beginning to be stored in front gardens. These have the effect of visually cluttering the streetscene and detract from garden greenery and the dwelling-house.

Pressures, Issues or Potential for Enhancement:	Address:	Description:
Street furniture	<p>Concrete posts in Kerry Court;</p> <p>Street lighting throughout</p> <p>Street furniture outside Stanmore Station</p>	<p>There are a few concrete posts missing from Kerry Court which act as a marker of the area of open space.</p> <p>There is a mix of lighting throughout the area, some of which are concrete and blend in with the area's character. However there are some relatively new street lamps in aluminium grey of unsympathetic design and inappropriate quality. There is therefore opportunity to upgrade and standardise this lighting within the estate.</p> <p>Street furniture outside Stanmore Station, particularly due to signage, telecommunications cabinets and bins and guard rails, does create a cluttered appearance in places.</p>
Streetside Maintenance	Intermittent throughout Conservation Area	<p>Since Valencia Road, Glanleam Road and Upper Kerry Avenue are private roads, the local residents have a responsibility for maintaining the streets. The Council collects rubbish but is not involved in any other maintenance issues. The grass verges are important in retaining the semi-rural feel to the area, whilst this and the well-maintained tarmac is important in retaining the well cared for character to the area. A lack of funds in the future could mean the special character of the area would suffer.</p>
Energy Efficiency - Solar Photo-Voltaic or Solar Thermal Equipment and Flues, forming part of a Biomass Heating System or as part of a	Throughout	<p>These are encouraged but need to be sensitive to the character of the CA. The new General Permitted Development Order (2008) means in occasional instances these types of development can occur without planning permission, even in a CA but generally they need to be concealed from the streetscene.</p>

Pressures, Issues or Potential for Enhancement:	Address:	Description:
Combined Heat and Power System		
Air Conditioning Units	Throughout	Air conditioning units can be very visually obtrusive, particularly where they are poorly sited and visible from the streetscene.
Satellite Dishes	Throughout	Satellite dishes usually need planning permission in a CA. Siting could be at odds with clean-cut lines of the Modernist architecture.



Picture 4.114 Bins clearly visible from the public highway, Lower Kerry Avenue add clutter to the streetscene

4.3.3 Public Consultation

4.125 This document was subject to public consultation. Notification letters were sent to ward councillors, amenity groups (including the Stanmore Society and the Stanmore and Harrow Historical Society), the Conservation Area Advisory Committee and other stakeholders. It was available to view at a number of places, including the Council's website, Stanmore Library, the Civic Centre Library and the Planning Services reception at the Civic Centre. Posters were put up within the CA. Copies of the document were available on the internet and there was an opportunity to comment directly into the Objective software. A public meeting was held and there was an opportunity to provide comments and discuss the document in person. The Conservation Team also offered to hold separate meetings with interested parties to discuss the document. The responses were used to strengthen the document. It was adopted as part of the Stanmore and Edgware Conservation Areas Supplementary Planning Document, as part of the Council's Local Development Framework.

4.4 Conservation Area Management Strategy

4.4.1 Purpose of the Strategy

4.126 Conservation Area Appraisals provide an analysis of the character and appearance of the CA to identify those elements that should be protected as well as opportunities for change, improvement or enhancement. This Management Strategy uses this analysis to look forward and set out how the area's character will be preserved or enhanced. It sets out guidance to protect and preserve the area and actions to enhance it. Each section is linked to the relevant policy guidance, which provides the framework for the future management and enhancement of the CA. The following proposal statement provides a list of actions, related to pressures, issues or opportunities for enhancement identified in the previous section.

4.127 Unless otherwise stated, the following should be regarded as a statement of intent. There are no set time limits. However, it is important to note that Conservation Area Appraisals and Management Strategies will be reviewed every 5 years.

4.4.2 Management Proposals

4.128 Pressures, issues and opportunity for enhancement are outlined in the linked Conservation Area Appraisal and are addressed in the following table.

Pressures, Issues or Potential for Enhancement:	Address:	Description:
Parking and litter	Throughout	Highways to consider whether further parking controls could be introduced and ensure existing parking controls are enforced and litter bins managed.
Local and national designations for buildings	Throughout	Propose buildings for listing or local listing where appropriate.
Pressure for extensions including infill extensions and two / three-storey extensions	Throughout	Extensions need to be carefully considered to avoid compromising character. Infill extensions will not always be deemed appropriate. The Council will expect that where extensions infill at ground level, these would harmonise with the character and appearance of the dwelling and the area, including retention of the intended strong geometrical form of the building. They should also retain the characteristic low density of development and the medium scale of properties within the area.

Pressures, Issues or Potential for Enhancement:	Address:	Description:
		<p>Where a second or third-storey extension is proposed to infill a rear indentation this will not be considered favourably by the Council because all inherent architectural modulation would be lost. Retaining the original architectural cubic massing characteristic to the area's 1930s buildings is very important in helping to preserve the character and appearance of the CA.</p> <p>Extensions into the original sundeck feature would not usually be considered appropriate, particularly above garages, since this is such an important original International style feature.</p>
Windows	Throughout	<p>Residents are encouraged to remove any windows made of modern, unsympathetic materials, namely plastic, aluminium or UPVC, and to replace them with appropriate metal framed ones. The Article 4 (2) Direction that is in place ensures any replacement windows need to either preserve or enhance the character of the area.</p> <p>Where it is proposed to replace windows for energy conservation reasons it should be noted that there are a number of options to reduce heat loss instead of the replacement of windows, ranging from using thicker curtains to insulating the loft or draught proofing (see the 'Energy Efficiency' box below). Any replacement windows would need to be carefully detailed to match the originals. Therefore, existing and proposed elevations and sections to a scale of 1:10 or 1:20 would be required to consider the application. It should be noted that where double glazing is used this can mean the glazing bars appear artificially stuck on which would be out of character with the CA. Unauthorised alterations when noted will be reported to the Planning Enforcement team.</p>
Doors	Throughout	Unauthorised works should be reported to the planning enforcement team

Pressures, Issues or Potential for Enhancement:	Address:	Description:
Porches	Intermittent throughout Conservation Area	An Article 4 (2) Direction is in place requiring planning permission for the construction of a porch outside any external door of a dwelling house.
Boundary Treatment / Front Garden	Throughout	The Article 4 (2) Direction is in place to manage proposals to alter boundary treatments. The Council will continue to encourage residents to replace and maintain low-walling and soft landscaped boundary treatments to enhance the garden suburb character of the CA.
Grass Verges and Street Trees	Throughout	The interruption of grass verges and the loss of street trees will not be encouraged. Maintenance of concrete kerbs will be encouraged. An additional Article 4(2) Direction is proposed to ensure that planning permission is required to create an access route for cars which would cut through the driveways. No more than one access route for cars is normally appropriate since this cuts through grass verges and detracts from the soft landscaping of front gardens.
Hardsurfacing of Gardens and Associated Creation of Driveway Access Points	Throughout	The Article 4(2) Direction is in place to manage proposals to hardsurface front gardens. As part of the General Permitted Development Order (2008), the Council will continue to insist that: residents alter or replace hardsurfaced areas with permeable materials, do not increase the area of hardsurfacing wherever possible, and where possible reduce the area of hardsurfacing to allow for more planting to enhance the appearance of the CA and to increase opportunity for rainwater to soak away. It is not considered that the grids / mats to go over areas of soft landscaping that allow grass to grow through, but also allow cars to park, are a good compromise since the grass becomes of a very poor quality and parked vehicles detract from views through to buildings. It would unduly erode the green space. This view is strengthened by a recent appeal decision along Valencia Road. Also, see 'Grass Verges and Street Trees' box above.
Bins	Front gardens throughout Conservation Area	The Council will encourage the screening of refuse bins and where possible encourage additional planting to enhance the area.

Pressures, Issues or Potential for Enhancement:	Address:	Description:
Street Furniture	Concrete posts in Kerry Court; Street lighting throughout; Street furniture outside Stanmore Station	Multi-signs or signs of a smaller size could be introduced to reduce the impact of over-sized road signs on the streetscape. Missing posts around Kerry Court could be replaced. Gradual replacement of the aluminium street lamps with more sympathetic designs would be welcomed. The street furniture around Stanmore Station could benefit from being reduced, rationalised and reordered to reduce the sense of the area being cluttered. Signage for example could be reduced in size.
Streetside Maintenance	Throughout	Maintenance by local residents is encouraged as most of the roads are private.
Energy Efficiency - Solar photo-voltaic or solar thermal equipment and flues, forming part of a biomass heating system or as part of a combined heat and power system	Throughout	Highlight basic energy efficiency works prior to opting for the installation of micro-generation equipment. Such works include appropriate loft and wall insulation and draught proofing. English Heritage has a range of guidance on the different considerations involved in the use of micro-generation technologies in CAs, which can be accessed on their Historic Environment: Local Management (HELM) website by entering 'energy' into the search engine in the English Heritage section of the guidance library at www.helm.org.uk .
Air Conditioning Units	Throughout	It is important that these are carefully sited and integrated so they are as concealed and unobtrusive as possible. Usually this will entail installation where not visible from the streetscene.
Satellite Dishes	Throughout	Report unauthorised dishes to planning enforcement.

4.4.3 Conservation Area's Setting / Reviewing the Conservation Area's Boundaries

4.129 Whilst they are outside the Kerry Avenue Conservation Area, the linear areas stretching down Valencia and Glanleam roads, and curved Kerry Court are fundamental to the area's character since they follow the original formal, planned layout of the estate. They also contribute to the setting of the CA as they are comprised of single family dwelling houses, which preserve the quiet suburban character of the area. Also, number 14 Valencia Road follows the Modern Movement principles demonstrated within the CA. The houses in Kerry Court currently have a neutral contribution to the area's setting since they are of a small to medium scale, follow the curved layout and have large stretches of grass before all the houses to retain a sense of openness. It might therefore be suitable to consider extending the CA, for example, to include the Kerry Court Houses in the future, to help ensure the management of development that could otherwise adversely affect the distinctive nature of the Kerry Avenue Conservation Area.

4.130 However, it is not considered necessary to amend the boundary of the CA at present. This is because it is considered that there is a sufficient management framework in place to preserve these characteristics since, where development requires planning permission and is within the immediate setting of the CA, it should preserve or enhance the setting of the CA.

4.4.4 Article 4 Directions

4.131 Article 4 Directions are in addition to the standard planning controls for conservation areas that are given in the Council's leaflet, 'Conservation Areas - Residential Planning Guidelines' available via www.harrow.gov.uk/conservation.

4.132 'Article 4 Directions' remove some of the 'permitted development rights' usually associated with residential properties even in CAs. Normally, these 'rights' mean that planning permission is not required for a range of minor works from changing windows and doors to the hard surfacing of front gardens. However, in sensitive areas, such as CAs, these 'permitted development rights' can result in works that detract from the character of the area. The effect of an Article 4 Direction is to require planning permission for various types of work that previously did not require permission. The purpose of the Direction is to preserve and enhance an area of special architectural and historic interest, with an emphasis on management, rather than restriction. It is not used to stop otherwise reasonable development, rather it allows the Council to have greater control over aspects of design and materials used in proposed development.

4.133 An Article 4 Direction has been in place since 1982 in this CA. An Article 4(1) Direction was first confirmed by the Secretary of State for this CA on 4th June 1982. This covered only 1-6 Kerry Avenue, and numbers 2-10 (even) Valencia Road. This was rescinded on 25th March 1999 in place of a more appropriate Article 4(2) Direction which has been in force since 1st February 1999.

Article 4(2) Direction in Kerry Avenue Conservation Area Applies to:

Glanleam Road	1
Kerry Avenue	1-6 (inclusive), 14, 15 (Kerry House) and 16
Valencia Road	2-10 (even)

Where fronting a highway, waterway or open space the following works require planning permission:

- The enlargement, improvement or other alteration of a dwelling house.
- The erection or construction of a porch outside any external door of a dwelling house.
- The provision within the curtilage of a dwelling house of a hard surface for any purpose incidental to the enjoyment of the dwelling house as such; or the replacement in whole or in part of such a surface.
- The erection, construction, maintenance, improvement or alteration of a gate, fence, wall or other means of enclosure.
- The painting of the exterior of any building or work enclosure.
- The demolition of the whole or any part of any gate, fence or wall or other means of enclosure.



Key

Permitted development is controlled and therefore planning permission is required, where fronting a highway, waterway or open space, where it relates to:

- 1) The enlargement, improvement or alteration of a dwellinghouse
- 2) The erection or construction of a porch
- 3) The provision within the curtilage of a dwellinghouse of a hard surface, and the replacement in whole or part of such a surface
- 4) The erection, construction, maintenance, improvement or alteration of a gate, fence, wall or other means of enclosure within the curtilage of a dwellinghouse
- 5) The painting of the exterior of any building or work
- 6) The demolition of the whole or any part of any gate, fence or wall or other means of enclosure

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Picture 4.115 Article 4 Directions © Crown copyright. All rights reserved 100019206, 2010

An Article 4 direction is being introduced to require planning permission to require planning permission for all residential properties within the CA where it faces a highway, waterway or open space for the:

1) The formation, laying out and construction of a means of access to a highway.

Depending on representations received this direction will be confirmed within 2 years and is necessary to help protect the grass verges within the CA which form part of the area's special interest.

4.4.5 Support

4.134 Relevant parties can contribute to the preservation and enhancement of the conservation area. These include: local residents and property owners, as well as national societies such as the 20th Century Society. They should be involved in all stages of devising ideas for management and enhancement of the area.

4.135 The above enhancement and improvement proposals and other possible future schemes require funding. Much of the works would need to be completed by private owners, but the council will continue to apply for grants wherever possible, for example, to the Harrow Heritage Trust. There may also be scope for securing planning gain funds towards improvements to the public realm, where the Council is responsible for these.

4.136 In line with English Heritage's guidance it is essential when planning works within CA that a considered approach, which preserves or enhances the areas character or appearance is adopted. Where a conflict with general planning and highways policies occurs special care must be taken to find a solution that meets both the needs of the local community and the historic environment.

4.4.6 Guidance

4.137 To ensure consistent decision making, the following guidance has been identified as being of key relevance to this area and should be read with reference to the conservation area appraisal.

Maintaining Kerry Avenue Conservation Area's Townscape and Built Character

To ensure that the character of the conservation area, and its setting, is both preserved and enhanced, all new development should:

a) Respect the existing layout and historic form of the townscape and streetscene, especially its building lines and heights, and not diminish the gap between buildings.

b) Complement existing buildings and the space around them in terms of bulk, design, siting, detailing, scale, materials and use. Any extensions will be encouraged to be at the property's rear and subservient in scale to the original property, as well as match the existing house in design and materials.

- c) Not entail side extensions that significantly reduce the gap between buildings, intrude into areas of open space, or diminish the architectural balance or detailing of the main building.
- d) Respect the distinctive architectural style and harmonise with the character of existing buildings in terms of design, siting, detailing, scale and materials. The overall character of a group of buildings will need to be maintained.
- e) Avoid impeding important views within, into and out of the conservation area, including those between buildings or into areas of open space.
- f) Retain original design features (as identified within the character appraisal), and where replacement is necessary the architectural detailing should closely match that of the original. Replacement features resulting in the loss of distinctive features (such as Crittall windows and railings) will be resisted, as will the use of traditional windows and doors constructed of non-traditional materials.
- g) Not involve the painting of unpainted brick surfaces or the addition of cement render.
- h) Ensure material alterations to buildings protect the appearance of elevations that face onto a highway, including alterations to chimneys and rooflines. Dormers and rooflights on front and side roofslopes will be discouraged.
- i) Retain visually important boundary treatments which are a characteristic of Kerry Avenue's Conservation Area. Replacement should replicate the originals and reuse materials where possible.
- j) Not entail the positioning of satellite dishes and aerials in prominent positions.
- k) Usually avoid change of use to flats and other institutional uses.
- l) Ensure microgeneration equipment is carefully sited to protect streetscene views and built fabric.
- m) Not lead to traffic and parking generation detrimental to the visual character of the area.

Maintaining Kerry Avenue Conservation Area's Greenery and Open Spaces

To ensure that the soft character of the conservation area is both preserved and enhanced Harrow Council will:

- a) Encourage the retention and improvement of both public and private green spaces and open land, including trees, hedgerows and grass verges.
- b) Discourage development on existing areas of open land that have been defined as contributing to the character of the conservation area.
- c) Further protect trees, and groups of private trees, by creating additional Tree Preservation Orders where appropriate.
- d) Discourage development that adversely affects significant trees.

- e) Seek to retain, or where necessary, replace street trees.

Maintaining Kerry Avenue Conservation Area's Streetscene

To ensure that the character of the streetscene is both preserved and enhanced, Harrow Council will:

- a) Refer to existing policy on tall structures where telecommunications equipment or tall wind turbines are proposed.
- b) Encourage the utility companies to install the minimum amount of new and replacement street furniture and to locate this sensitively in suitable locations.
- c) Encourage the retention, or reinstatement, of traditionally designed street furniture and materials, such as street lamps and paving. Wherever possible replacement street lamps and other items of street furniture should be in keeping with the area's character in terms of design, materials and location.
- d) Encourage street furniture to be well sited and designed and for redundant and unsightly street furniture to be removed where opportunities occur.
- e) Encourage the retention of original and appropriate floorscape materials, such as grass and granite kerbs, and ensure replacement floorscapes respect the character and appearance of the area in terms of materials and extent.
- f) Require the retention of visually important boundary treatments which are characteristic of the area.

Edgware High Street

Conservation Area Appraisal & Management Strategy



December 2013

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5.1 Introduction to the Conservation Area

5.1.1 Introduction

5.1 The Edgware High Street CA is notable for containing some of the oldest surviving buildings in Edgware, with timber framed buildings on the High Street dating from the 16th to 18th centuries and a mid-Victorian terrace on Whitchurch Lane. The area forms a large part of the remaining portion of the original village of Edgware centred on the old Roman road of Watling Street (now Edgware High Street), before suburban growth and road widening from the late 19th century onwards considerably altered the area's appearance.

5.2 Edgware High Street CA is situated in the north-east of the borough, just south of the Canons Park Estate CA. It is located on the western side of the High Street and lies completely within the London Borough of Harrow, although opposite the London Borough of Barnet, on the other side of Edgware High Street. It is largely covered by an Archaeological Priority Area designation.



- | | |
|--|---|
| 1. Little Gossams, Stammers | 15. Edgware High Street, Edgware |
| 2. Stammers Hill, Stammers | 16. Watling Lane, Pinner |
| 3. Old Church Lane, Stammers | 17. Stowell Close, Pinner |
| 4. Pinner High Street, Pinner | 18. East End Farm, Pinner |
| 5. Tolney Green, Pinner | 19. Pinnerwood Farm, Pinner |
| 6. Heath Hill, Harrow on the Hill | 20. South Hill House, Harrow on the Hill |
| 7. Harrow School, Harrow on the Hill | 21. The Mount Park Estate, Harrow on the Hill |
| 8. Harrow on the Hill Village | 22. Redborough Park and the Grove, Harrow on the Hill |
| 9. Harrow on the Hill Village | 23. Moss Lane, Pinner |
| 10. Gullbays Hill, Harrow on the Hill | 24. Pinner Hill Estate, Pinner |
| 11. Brooklands, Harrow Wood & Greenhale Estate | 25. Wood Towers, Pinner |
| 12. West Drive, Harrow Wood | 26. Canons Park Estate, Edgware |
| 13. Kury Avenue, Stammers | 27. Easton, village (Hill) |
| 14. Pinnerwood Park Estate, Pinner | 28. Raymore Lane |

Picture 5.1 Edgware High Street Conservation Area in Relation to Other Conservation Areas in Harrow
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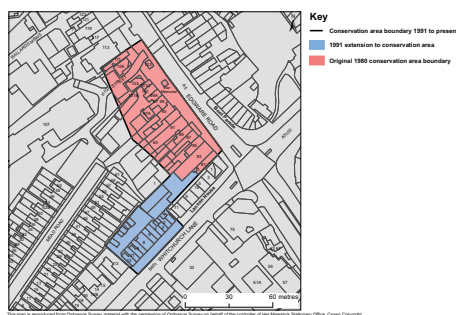
Picture 5.2 Setting of Edgware High Street Conservation Area
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Edgware High Street Conservation Area includes the following roads:

Edgware High Street (in part) and Whitchurch Lane (in part)

5.1.2 Planning Policy Context

5.3 When initially designated in 1980 the CA included 81 to 111 High Street (odd) only. It was extended in 1991 to include the shopping parade of nos. 1-12 Whitchurch Lane (inclusive), including land at the rear of these properties and the pavements to the front including the two telephone kiosks and the War Memorial on the High Street.



Picture 5.3 Changing Boundary of the Edgware High Street Conservation Area © Crown copyright. All rights reserved 100019206 , 2010

5.4 Section 69 of the Planning (Listed Building and Conservation Areas) Act 1990 requires local authorities to determine those areas the environment of which are considered worthy of preservation and enhancement and to make these CAs. A CA is defined as an area of special architectural or historic interest, the character or appearance of which it is desirable to preserve or enhance. Local authorities are further obliged to formulate guidance and proposals for the preservation and enhancement of these CAs, and to pay due regard to the views of the residents and public in the formulation of guidance and proposals. These principles are reinforced by the National Planning Policy Framework. The purpose of this Conservation Area Appraisal and Management Strategy (CAAMS) is to provide clear analysis of the architectural importance, character and appearance of the area, to help form the basis for making sustainable decisions about the area's future. It also identifies opportunities for enhancement along with guidance to protect the area's character.

5.5 This document has been subject to public consultation and was adopted December 2013 superseding the Edgware High Street Conservation Area Study and Management Strategy adopted in December 2006. Its assessment is a material in assessing whether all development contributes to preserving and enhancing the character of the conservation area. This CAAMS forms an appendix to the Stanmore and Edgware CAs Supplementary Planning Document (SPD). It is set within the broader context of CA policy guidance for Harrow contained within the Local Plan. It is also set within the National Planning Policy Framework. It is important to note that: **no appraisal can be completely comprehensive and that the omission of a particular building, feature or open space should not be taken to imply that it is of little or no interest.**

5.1.3 Summary of Special Interest

5.6 With so much of present day Edgware a product of the 20th century, the Edgware High Street CA is distinctive for its collection of buildings pre-dating 1900. It is notable for containing some of the oldest surviving buildings in Edgware, which is reflected in the high concentration of Listed timber framed buildings on the High Street, dating from the 16th to 18th centuries, and the

mid-Victorian terrace on Whitchurch Lane. The area is of special interest as it forms a large part of the remaining portion of the original village of Edgware centred on the old Roman road of Watling Street (now Edgware High Street), before suburban growth and road widening from the late 19th century onwards considerably altered the area's appearance. Its origins as the remains of the original village of Edgware, centred on the old Roman Road, is reflected in the small scale of the historic buildings, their terraced form and, on Edgware High Street, their alignment facing this road and common building line. The importance of Edgware High Street as a busy through route, for people travelling to and from London, has been retained and this still largely defines the townscape character of the CA given the width of the pavement and all the buildings face that road.

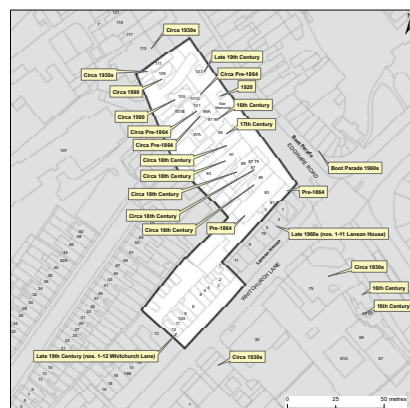


Picture 5.4 Grade II Listed Nos 95, 97 & 99 - 101 High Street, Edgware, with the Grade II Listed World War I War Memorial in front

5.1.4 Short History

- Introduction

5.7 This section outline the area's historical development. The next map shows the ages of buildings. The age shown refers to the earliest known part.



Picture 5.5 Age of Buildings © Crown copyright. All rights reserved 100019206, 2010

- **Roman Origins**

5.8 Present-day Edgware is largely a product of early 20th century suburban development, but its origins date back to at least the Roman occupation of Britain. The area's focus onto, and alignment with Edgware High Street, is a key part of the character of the area since the original settlement was focused along the High Street, part of a much longer road known by the Anglo-Saxons as Watling Street, and more recently referred to as the Edgware Road. The road also marks the boundary between the ancient parishes of Edgware in the east, and Little Stanmore in the west, with the CA lying solely on the western side. The eastern side is more altered and lies within Barnet.

5.9 The Edgware Road was one of the key thoroughfares constructed by the Romans to link London with St Albans and the north. Although Roman remains have not yet been found in Edgware itself, the road would have generated substantial traffic, trade and settlement. Nearby archaeological investigations have shown Roman impact at Brockley Hill, which is widely thought to be the site of the former Roman settlement of Sulloniaca. To the south of Edgware, and to the east of the main road, remains of a late 3rd century A.D. house in Burnt Oak were discovered in 1971.

5.10 The name Edgware is of Saxon origin, and is thought to have derived from “Ecgi's” or “Aeges” weir or fishing pool”, in reference to the Edgware or Dean's Brook that runs to the south of the main settlement. Despite no specific entry in the Domesday Book of 1086, it is likely that the medieval manor of Edgware was in existence by this time, possibly included as part of Kingsbury or Stanmore. The growth of Edgware during the medieval period is unclear, although the parish church was in existence by the mid-13th century, with the present day St Margaret's Church, on the eastern side of the High Street, built a century or so later (and substantially remodelled in the 18th and 19th centuries).

- **Patterns of Growth - 16th to the 19th Centuries**

5.11 Up until the late 19th century, agriculture and the road dominated life in Edgware. The existence of a number of inns and blacksmiths along the High Street, in numerous 18th and 19th century surveys, underlines the continued importance of the main road as a key stopping point to and from London. The population increased gradually from 120 inhabitants in 1547, to 412 in the 1801 census. Edgware was a farming community, with a mixed land use for arable, pasture and forestry purposes. Regular markets and fairs were held in Edgware from the 1600s until the mid-1800s. The settlement remained clustered along the High Street until the late 19th century, consisting mainly of small, timber framed buildings.



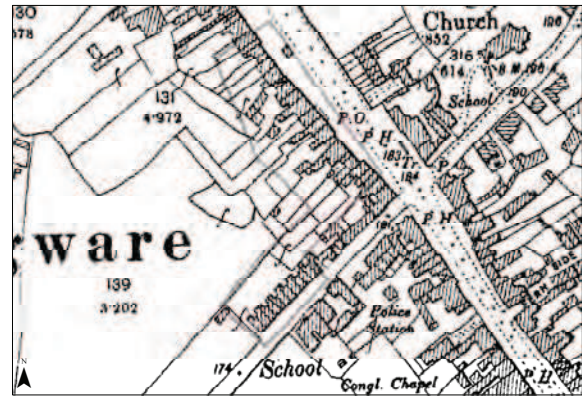
Picture 5.6 Milnes Map of 1800, showing rural settlement clustered along the main Edgware Road. © Crown copyright. All rights reserved 100019206, 2010

5.12 There were a number of narrow side roads that led off the High Street to isolated farms or properties, including Station Road (known as Church Lane until c.1930) and Whitchurch Lane. The latter road led along to St Lawrence Church in Little Stanmore, but little is known about this road closer to the junction with the High Street. One source describes it as “Poor Lane”; the location for some of Edgware's less well-off families. Edgware Police Station has also occupied a site on the southern side of Whitchurch Lane since 1865, providing an important contribution to its setting, although the present day station dates from 1932.

5.13 The dominance of the road in Edgware was challenged in the mid-19th century with the onset of the railways affecting long distance coach travel. However, the opening of a branch railway line from Finsbury Park to Edgware in 1867 (which closed to passengers in 1939 and goods in 1964) was not a strong enough factor on its own to result in the suburbanisation of Edgware. The settlement retained a semi-rural and agricultural composition until the start of the 20th century, with a population of 868 inhabitants in the 1901 census. Despite this, Edgware was a relatively prosperous location and was beginning to attract professionals and businessmen keen to escape the confines of inner London. Speculative development began to encroach along some of Edgware's side roads, with a late Victorian shopping parade built on the northern side of Whitchurch Lane just one example of a growing settlement.



Picture 5.7 Historical Map of Edgware High Street Conservation Area (shown in red outline) (1864-1894) © Crown copyright. All rights reserved 100019206, 2010



Picture 5.8 Historical Map - 1896 © Crown copyright. All rights reserved 100019206, 2010



Picture 5.9 Edgware High Street, around 1890. Source: Local history library



Picture 5.10 View looking south east with the old Masons Arms pub on the right (approximately 1900s). Source: local history library.



Picture 5.11 Edgware High Street looking north, before 1904. Source: local history library.

- **Patterns of Growth - Early 20th Century**

5.14 The first three decades of the 20th century witnessed substantial change in Edgware, as the settlement became firmly established as part of suburban London. The opening of a tramline along the Edgware Road from Cricklewood to Canons Park in 1904 provided an additional link into central London. It also resulted in the partial demolition of a number of timber framed properties on the eastern side of the High Street to make way for the trams. The High Street was gradually modernised before and after the First World War, with road surfaces tarmaced, new shopping parades built along the eastern side and a granite stone war memorial erected in 1920.



Picture 5.12 A tram approaches the crossroads, “The Boot” public house is on the right. Early 1900s



Picture 5.13 Historical Map - 1913-1914 © Crown copyright. All rights reserved 100019206, 2010

5.15 The extension of an Underground line (later known as the Northern Line) from Hendon to Edgware in 1924 led to the construction of a new station on the southern side of Station Road, and opened up Edgware to substantial suburban development. By the early 1930s, a series of shops, cinemas and office buildings occupied the full length of Station Road and dramatically shifted the centre of gravity in Edgware away from the High Street and towards the Underground terminus. The High Street retained its retail orientation, with fishmongers, grocers, undertakers and clothes stores all listed in a 1935 brochure, but it was subsumed on all sides into an essentially 20th century suburb.



Picture 5.14 Historical Map - 1932-1941 © Crown copyright. All rights reserved 100019206, 2010

5.16 The rapid growth had further consequences for the eastern side of the High Street and the southern side of Whitchurch Lane, with buildings demolished as part of road widening schemes; one of Edgware's many public houses, The Masons Arms, was demolished and rebuilt on the southern corner of Whitchurch Lane and the High Street. In the late 1930s the tram tracks were removed and replaced with a trolleybus service. The trolleybuses themselves were replaced with diesel buses in 1962 as the Edgware Road assumed its now familiar association with motor vehicle traffic.

- **Patterns of Growth - Late 20th Century**

5.17 Following the Second World War, changes within Edgware have been more piecemeal, with the further loss of historic buildings along the High Street and Whitchurch Lane. Two of the most significant developments have been the construction of Lanson House in the late 1960s on the northern side of Whitchurch Lane where it joins the High Street, and the 1960s demolition of The Boot public house on the corner opposite and its replacement with a modern shopping parade. Along with a number of other alterations and constructions, these developments have had a considerable impact on the architectural and townscape character within the CA.

5.1.5 Archaeology and Geology

5.18 Archaeology and geology for this CA is considered in the overarching document entitled, Stanmore and Edgware CAs Supplementary Planning Document, in consultation with English Heritage.

5.2 The Character of the Conservation Area Today

5.2.1 Density of Development, Topography and Plan Form

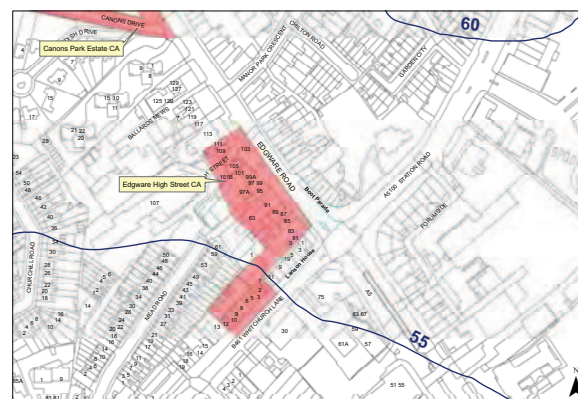
5.19 High density, small scale, linear, terraced development characterises the CA. This reflects the area's historic origins and development as a village centre to Edgware. The topography of the land is flat which aids good views of up and down of the shopping parades.



Picture 5.15 View westwards along the High Street illustrating the high density, small scale, linear terraced development that characterises the Conservation Area

5.20 In terms of the plan form of the CA, Edgware High Street forms a busy main linear route running north to south, with Whitchurch Lane being a linear offshoot of this running west to east. There has been no backland development within the CA although the route through to Knights Court Nursing Home is now more formalised with the addition of numbers 105 and 107 High Street. The absence of backland development is important as it means the focus of the CA remains on the High Street, which has always historically been the case and is integral to the character of the area.

5.21 All buildings front onto the main roads which reflects the historic importance of Edgware High Street as the main route to and from London. The building line of properties on the High Street is set back between 3m and 12m, leaving a large open space in front, which is important as this is a continuation from the pre-suburban origins of the area, reflecting the past need for space to collect farm animals, horses, coaches and market stalls along this main road to and from London as indicated by the historic photos of the road given within the 'short history' section.



Picture 5.16 Topography © Crown copyright. All rights reserved 100019206, 2010

5.2.2 Townscape Character

- **General**

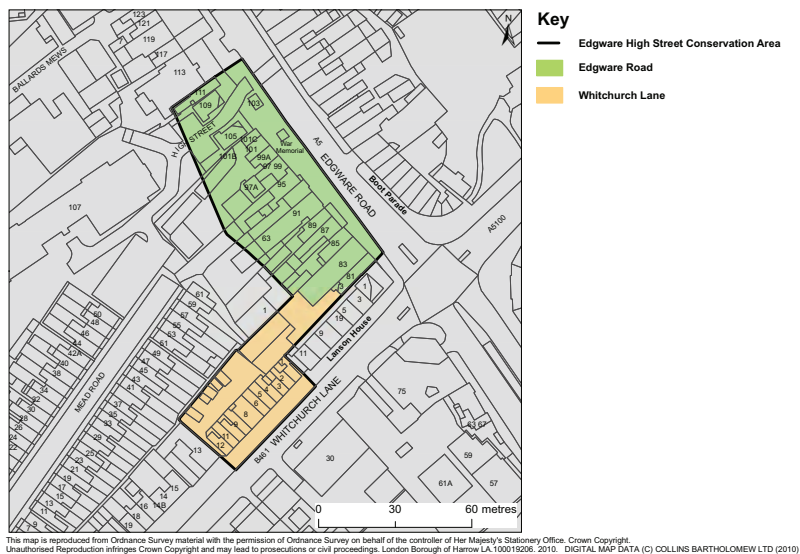
5.22 With so much of present day Edgware a product of the 20th century, the CA retains a distinctive character due to its good collection of buildings that pre-date 1900. Edgware High Street still largely defines the townscape character of the CA as the historical importance of this Roman Road as a busy through route for people travelling to and from London remains.

5.23 However, the road that once made Edgware and other settlements nearer London prosperous through trade and travel, is now contributing to the deterioration in the overall quality of the environment due to the noise and pollution from motor vehicles, street signage and other clutter. Also, the High Street no longer feels like the heart of Edgware, with the shift in emphasis east along Station Road to the Underground station. Instead it feels on the periphery of Edgware town centre, both geographically and in terms of importance. The busy crossroads between the High Street and Station Road/Whitchurch Lane accentuate this sense of displacement.



Picture 5.17 View into the Conservation Area from the busy Whitchurch Lane and Station Road crossroads

5.24 The CA has two clearly identifiable areas as outlined below with the buildings on the High Street and on Whitchurch Lane. On both streets, no one single property dominates in terms of its character or appearance. However, there is a high townscape value from the buildings as a collective whole and as a group they create a definitive sense of place and history.



Picture 5.18 Townscape Character Areas © Crown copyright. All rights reserved 100019206, 2010

- **Edgware High Street**

5.25 The recessed building line of the properties on the High Street has remained largely unchanged from pre-suburban Edgware, with the hard landscape, open front area and absence of vegetation reflecting the past need for space to collect farm animals, horses, coaches and markets stalls. Today this space provides a good setting for the buildings, as well as creating a wide expanse of pavement to allow greater pedestrian movement through the area. However, this space is currently cluttered by car parking and stand alone shop signage and lacks any special care or maintenance (as the next photograph shows). The surfacing is unsympathetic, with the prevalence of concrete slabs and tarmac.



Picture 5.19 The recessed building line of properties along Edgware High Street - an important reminder of the historical development of the area which street signage and car parking clutters

5.26 In contrast to these obtrusive features, the war memorial, the former smithy 103 High Street and the red telephone boxes provide well-defined and interesting features in the street scene. They provide a landmark group of small-scale attractive and historic features. Together they form a focal point. The War Memorial is the focus for this group given its larger scale and bold, simple and stark design. The classic Giles Gilbert Scott design of the phone boxes is clearly an asset, although they feel isolated at the far end of the CA, cut off by the side road and new building at 109. Unfortunately the car parking and other street clutter detracts from this focal point (see photograph below).



Picture 5.20 The War Memorial and Number 103 High Street (a former Smithy), which form part of a good group in the streetscene

5.27 The shop fronts along the High Street are relatively wide and therefore quite prominent. The buildings have always had an attractive rustic appearance, and it would be impossible and incorrect to impose a uniform standard of shop fronts on these properties. They have however, suffered from a number of modern alterations, with few original features remaining on some properties. The fascia boards, stall risers and pilasters are a variety of sizes, styles and colours, and on the whole, do not complement the historic character of the buildings on which they are sited. This is particularly the case for the signage on nos. 91 - 95, although the timber shopfront to nos. 91-93 is attractive within the townscape (see pictures above and below). Likewise the use of roller shutters intermittently detracts from the character and appearance of these shops.



Picture 5.21 Nos. 81-85 High Street, Edgware illustrate the attractive rustic appearance of buildings along the High Street which signage currently does not enhance



Picture 5.22 Shop fronts of nos. 91 - 95 High Street, Edgware where signage could benefit from reduction in amount and scale

- **Whitchurch Lane**

5.28 The shopping parade on Whitchurch Lane has a larger degree of uniformity, with narrow and generally discreet frontages. The units share a common cornice line along the length of the front elevation and are still divided by original brick pilasters. The fascia boards are relatively narrow and, despite the variety of styles and colours, are relatively unobtrusive.



Picture 5.23 Nos. 1-8 of the good Victorian terrace, including shopfronts, along Whitchurch Lane (which goes up to no. 12)



**Picture 5.24 9
Whitchurch Lane-
Typical original
shopfront, with
pilasters dividing it
from its neighbour**



**Picture 5.25 No. 12
Whitchurch Lane - good
original shopfront with
recessed entrance door**

5.29 However, the shopfront of 7-8 has a particularly negative effect on the overall appearance of the parade, with the fascia board cutting across two units. Unfortunately this occurred first in 1970 prior to the designation of the CA. This could have been avoided by copying the process used at 10-11, where the existing pilaster breaks up the fascia board.



**Picture 5.26 Fascia board for
nos. 7-8 High Street which
cuts across the two units,
detracting from the regularity
of the terrace**

5.30 The spaces to the rear of the main buildings have probably always been relatively industrial and used as storage space for the businesses occupying the main buildings. The present space behind the buildings on both the High Street and Whitchurch Lane does little to enhance the character of the CA, cluttered with cars, junk and modern extensions. It is regrettable that numerous flat-roofed extensions largely built prior to the CA designation to the rear of properties on the High Street have all but obscured the original timber framed buildings from view, while the original L-shape of the buildings on Whitchurch Lane has been lost by rear extensions.



Picture 5.27 View of modern extensions and cars behind the High Street and Whitchurch Lane



Picture 5.28 View of modern extensions behind the High Street

- **Setting of the Conservation Area**

5.31 The CA boundary is drawn quite tightly around the two sub-areas in order to preserve their special character and appearance. However, buildings and structures just outside the CA play an important part in influencing the overall townscape character and therefore any proposals for development there should be mindful of this, and preserve or enhance the setting of the CA.

5.32 The piecemeal nature of new building constructions around Edgware High Street over the past fifty years has led to a range of building styles and sizes, which largely fail to relate not only to the buildings within the CA, but to each other. Examples of unsympathetic buildings are discussed in the 'Problems, Pressures and Potential for Enhancement' section.

5.33 But there are a few buildings outside the CA that make a positive contribution to the townscape character. On Whitchurch Lane, the locally listed Police Station is an imposing but appealing building, built in mock-Dutch style with modernist, angular details on an otherwise traditional form. Although it may be a modern replica, its police lantern is a real heritage asset and is in a good condition (see the 'Streetscape' section). On the southern corner of Whitchurch Lane and the High Street, the re-built Masons Arms pub is a positive unlisted building which makes a striking use of the corner site by its sheer size alone, with a wide and symmetrical frontage. The building has a curved shape, incorporating timber framed sash windows, with brick arch detail above windows on the side facing elevations on the ground floor and one window on each corner of the ground floor on the front elevation. The tall chimneys in matching brickwork are also an important feature which, along with its steeply sloping clay tiled roof, creates a more Arts and Crafts character to the building. To the south of the Masons Arms, the Grade II listed nos. 63-67 (odd) High Street link directly in terms of age and style to the buildings further north, although they have been isolated from the main group. Lanson House occupies a very visible location in the conservation area streetscene, but due to its poor design and proportions, makes a negative contribution to the area. Boot Parade makes a similar contribution to the CA.



Picture 5.29 Locally Listed Police Station



Picture 5.30 The Masons Arms pub makes a positive contribution to the setting of the Conservation Area



Picture 5.31 Grade II listed nos. 63-67 (odd) High Street, Edgware



Picture 5.32 Lanson House, Whitchurch Lane offers the opportunity for enhancement

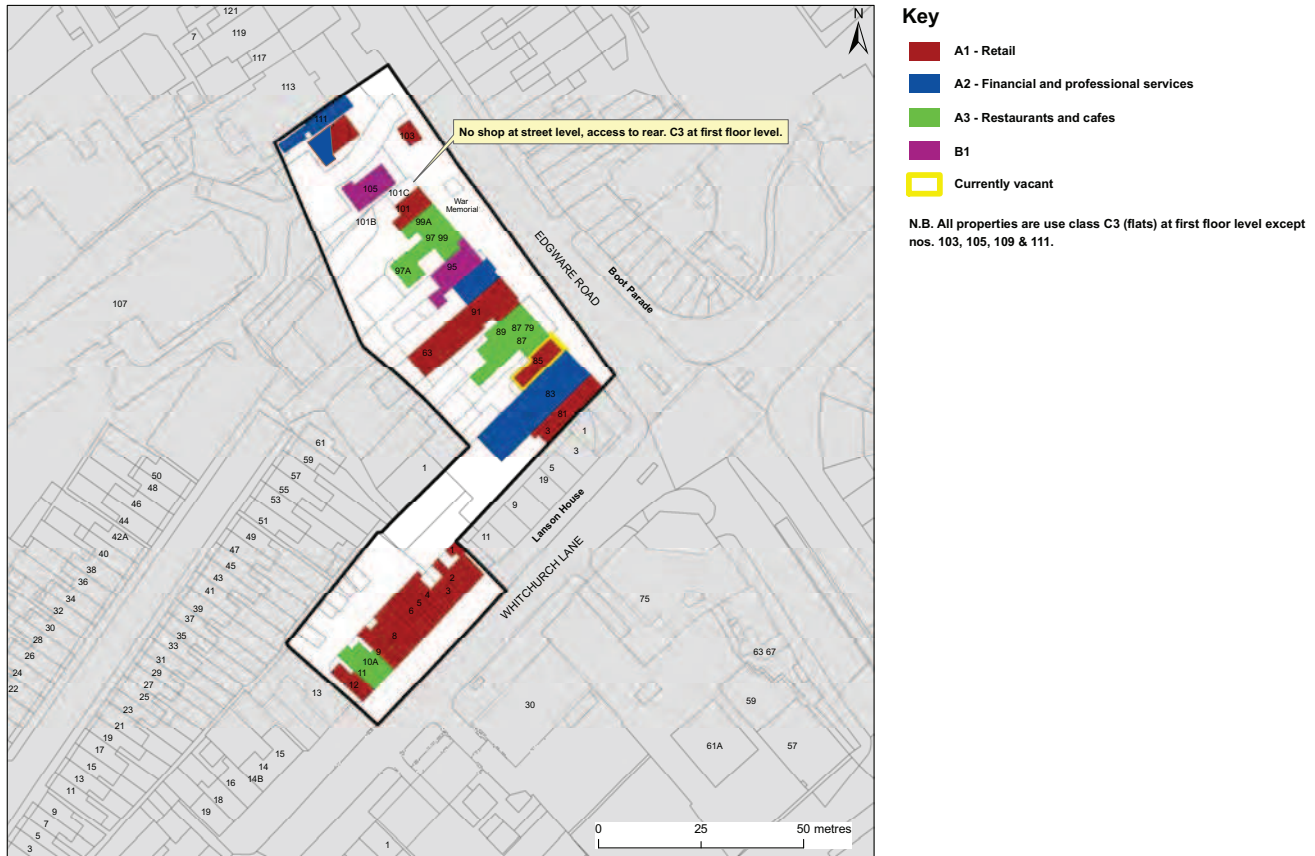


Picture 5.33 Boot Parade, High Street, Edgware offers the opportunity for enhancement

5.2.3 Activity and Uses Within the Area

5.34 Whilst agricultural activities no longer exist, the CA continues to have a commercial and retail use that maintains a link with Edgware's past. A shopping brochure from 1935 showed that 81 High Street was trading as a fishmonger, while 97 High Street was operating as an undertakers firm called Stonebridge, reflecting what currently exists at these two addresses. 97 High Street,

which presently houses a restaurant, has a long association with food and drink purposes. It was the location for the Sawyers Arms alehouse in the 19th century, before becoming a coffee house in the early 20th century. Residential uses continue to exist above the retail units on both streets, adding to the vitality of the area.



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5.2.4 Key Views and Vistas

5.35 Given the relatively small and linear nature of the CA, the most important views are those which look along the frontages of the High Street and Whitchurch Lane. Also, a key feature of this CA is the group value of its buildings which present attractive views from both inside and outside the area's boundaries although unfortunately street clutter in terms of parking and signage detracts from this.



Picture 5.35 Good view of the group of small scale listed and positive unlisted buildings from no. 91 to no. 97 High Street

5.36 Examples of key views are identified on the next map. One example is that of views towards the landmark group of well-defined and attractive, historic buildings comprising the War Memorial, 103 High Street (the former Smithy) and the two red telephone boxes at the northern end of the High Street. The War Memorial forms a particularly prominent focal point of this group. Given the Tudor style of 105 High Street, views towards this building are complemented well by the Tudor style of 99-101 behind it.



Picture 5.36 Key Views NB This is not exhaustive but indicates important types of views © Crown copyright. All rights reserved 100019206 , 2010



Picture 5.37 View towards the two grade II listed telephone boxes, and the positive unlisted no. 103 High Street (the former smithy)



Picture 5.38 Key view towards the grade II listed World War I memorial and the nearby no. 103 High Street, Edgware (the former smithy)

5.2.5 Architectural Qualities

5.37 The CA contains two distinct collections of buildings: the timber-framed buildings on the High Street and the Victorian terrace along Whitchurch Lane. This section provides an overview of the main architectural qualities, although it is by no means exhaustive. Discussion of the shop fronts appears within the 'Townscape Character' section.

- **The High Street**

5.38 The High Street represents a remarkable survival of historic buildings, many of which are Grade II Listed. The buildings have slight variations in shape, size and age which adds interest to the range. They present a rustic character that is attractive and quite distinct from the appearance of surrounding properties. Despite the variations, the buildings share a number of common themes which enhance their value as a group. They are essentially rural cottages, constructed from brick, timber, rubble and tile. They are modest in scale and design and are no more than two-storeys in height throughout the range.



Picture 5.39 View of the High Street buildings nos. 85- 101 looking north - this illustrates their modest scale and design essentially as rural cottages

5.39 Some of the current buildings on the High Street date back to the 16th century, such as 97, while others are more likely to be from the 18th century, such as 85-89. Every property however, has witnessed numerous additions and alterations in the past, which generally adds to the character of the area although more recent 20th and 21st century alterations particularly to signage and shopfronts have generally undermined this. The timber-framed structures are hidden behind colour washed brick or cement render in most cases, although 81 has a brick façade and hung tiles on the side. The Tudor-style timber framing to 95-101 is an attractive feature, but is a mid-20th century alteration. 91 and 93 suffered considerable fire damage in the early 1990s and have been largely reconstructed.



Picture 5.40 No. 85-89 High Street - likely to date to the 18th century with timber framing hidden behind render facing



Picture 5.41 No. 97-101 High Street - attractive Tudor style timber framing

5.40 The roofs are one of the defining elements of the buildings, with many built from lower king strut timber frames internally. Externally, the roofs consist of steep pitched slopes with hand made clay tiles and positively these expanses of clay tiles remain un-pierced by roof lights. On the whole, it remains absent of dormers which ensures the modest scale of the properties remains intact. With the exception of 97, which has a front facing gable roof slope, the ridgelines run parallel to the road. The properties at 81-93 and 99 and 111 have simple gable ended roof slopes, while 95 and 101 have hipped roofs. At certain points where two properties meet, such as 89 and 91 and 95 and 97, the roof structure is unusual and complex. This is a reflection of how these properties were built at different stages and in different styles. The variety and quality of roof structures, along with the uneven height of the roofline, provides considerable visual interest which should be maintained from any intrusive alterations. The need to protect what remains is highlighted by the unfortunate loss over the past twenty to thirty years of every chimney stack along the length of the properties, which deprives the buildings of an important and attractive feature.



Picture 5.42 View of roovescape along the High Street - the steep pitched clay tiles roofs, with slightly varying heights and roof structures, is one of the most distinctive architectural characteristics of the area



Picture 5.43 Good steeply pitched roofs of no. 83 and no. 85 High Street, Edgware - the slight variation in roof height helps create an interesting roovescape



Picture 5.44 Unusual and complex roof structure nos. 89 and 91 High Street, Edgware



Picture 5.45 Unusual and complex roof structure nos. 95 and 97 High Street, Edgware

5.41 Like many other features, the windows on the front elevation of the buildings vary in size and style, with a mixture of old and new (see group of photographs below). The most frequently used design at first floor level is windows with a predominantly vertical emphasis, where narrow glazing bars divide the glass into a number of smaller sections. The openings are a mix of sash and casement. Bay windows exist, or have existed, at some properties, with the survival of a 19th century shop bay window at 97. The bay at 95 is a later 20th century addition, but it resembles the bay windows that once formed a part of what was Edgware Post Office at 91-93; today 91 is an art, printing and sign shop and 93 an investment management provider. The dormer windows at nos. 87-89 at first glance appear to be out of place, but they are a well-established feature of these properties that adds interest to their frontage, dating back to at least the late 19th century. Dormer windows would otherwise be out of place.



Picture 5.46
Vertical emphasis to first floor windows with this one being a double hung 6 over 6 pane sash window



Picture 5.47 Bay window to no. 81 High Street. Although it could benefit from replacement with the use of timber to create more delicate transoms and mullions



Picture 5.48
The original two over two pane timber sash window on the first floor of the Whitchurch Lane terrace



Picture 5.49
Good timber casement leaded light window to nos. 97-101 High Street, Edgware



Picture 5.50 Dormer windows at nos. 87-89 High Street, Edgware

5.42 The grade II listed War Memorial, no. 103 High Street (the former smithy) and the red telephone boxes provide a notable landmark group of small-scale well-defined, attractive architecture within the CA. The War Memorial design is bold, simple and stark and is the focus for this group. Three steps lead to a square plinth that extends vertically to support a Celtic style cross. It was constructed in 1920 out of grey Cornish Granite to list the names of the 55 men of Edgware who died in the Great War of 1914-19, with its Roman style lead lettering attached directly. It lists Edgware's First World War casualties arranged by year on north and south faces of base. It has poignant inscriptions at the foot of cross which state: 'FOR REMEMBRANCE'; 'Let us here highly resolve that these heroic dead shall not have died in vain', 'Greater love hath no man than this that a man lay down his life for a friend' and 'He that loseth his life for my sake shall find it'. An additional feature is the matching granite curb and bollards that surround the memorial in a square, which were added at a later date and help to protect it from passing traffic. Its value, both historic and architectural, is recognised by its Grade II Listing. Whilst its architect is unknown, it is very similar to the Stanmore War Memorial.



Picture 5.51 The Grade II Listed War Memorial with Celtic style cross, Edgware High Street



Picture 5.52 Base of the War Memorial with the poignant inscription that reads: 'He that loseth his life for my sake shall find it'.

5.43 No. 103 High Street (which is the former smithy, yet numbered 105 High Street on the actual building) is a small scale building in an attractive Tudorbethan style, given its decorative mock timber-framing pattern set against white render, and its steeply pitched roof of old clay tiles. It has an interesting roof design as it uses a gable end on three sides and has delicate metal railings, inter-spaced with metal finials, lining the pitch of the roof that runs parallel to the road. Its modest, single-storey design, reflects its previous use as a Smithy for passing travel, before it was rebuilt. Its white signage painted onto the buildings black timbers utilises its Tudorbethan style and entirely fits in with its simple, and attractive character.



Picture 5.53 The positive unlisted Tudorbethan style no. 103 High Street, Edgware, with good metal railings above



Picture 5.54 Rear of the positive unlisted no. 103 High Street, Edgware

5.44 The two red cast iron telephone boxes complement and enhance their setting. They are of the classic Sir Giles Gilbert Scott K6 (kiosk number six) box design designed in 1935 to commemorate King George V's silver jubilee and have fixed crowns above the sign entitled 'TELEPHONE'. They were built between 1936 and 1952.



Picture 5.55 Two red Grade II Listed phone boxes add historic character to, and enhance, their setting

- **1-12 Whitchurch Lane**

5.45 The terrace along Whitchurch Lane is a modest, but valuable reminder of Victorian Edgware and is particularly attractive for the uniformity of the built form and the prevalence of original materials and details. The properties date from the late 19th century and are two-storeys high and

divided into twelve shop units. The terrace is constructed from yellow common stock bricks, with a hipped tile roof and six identical chimneystacks, which are an important feature. The front elevation contains four decorative brackets under the eaves. The windows were all original double hung sliding sashes but were unfortunately recently replaced with plastic casement windows. The matter was referred to the Planning Enforcement department and the windows are now replicas of the pre-existing windows.



**Picture 5.56 Nos. 1-12
Whitchurch Lane. A good
Victorian terrace with
their original timber sash
windows**

5.2.6 Prevalent and Traditional Building Materials and Detailing

5.46 The historic and traditional fabric and materials are an important element of the special character of this CA. They help to bring historic integrity and a high quality to the character of the area. Much has already therefore been explored within the 'Architectural Qualities' section.

5.47 Along Edgware High Street important historic and traditional fabric and materials particularly include the use of brick, timber-framing, timber windows, rubble and clay tiles. Notably, the use of white render and black timber detailing creates a distinctive Tudor-style to a number of buildings, which gives a pleasing focus to the northern end of the High Street, but it should be noted that these are largely characteristic 20th century alterations. Other buildings without the Tudor-style detailing are nevertheless render faced. On occasion though, the render is modern cement render rather than lime based, which is damaging to the historic fabric underneath since it is not breathable.



Picture 5.58 Tudor revival detailing found on buildings by the War Memorial



Picture 5.59 Clay tiling on no. 105 High Street - Clay tiling is an important element of historic fabric and detailing that should be retained within the Conservation Area



Picture 5.57 Render facing of the cottage style buildings along the High Street

5.48 Since timber-framed buildings define the High Street, the roofs are another defining traditional local detail. The slight variations in height and form reflects each of the buildings being built at a slightly different time. The variety and quality of roof structures, along with the uneven height of the roofline, provides considerable visual interest. Windows are another key feature of the area. Roofs and windows are explored in depth in the 'Architectural Qualities' section.

5.49 Along Whitchurch Lane, it is the uniformity and historic fabric of the Victorian terrace of nos. 1-12 that form an important traditional detail. This is due to their uniform two-storey high, division into twelve shop units, construction of yellow common stock bricks, their shallow pitched, hipped clay tile roof, six identical chimneystacks, containing good clay chimney pots, and four decorative brackets under the eaves. The double-hung timber casement windows were also a

very important original feature. It is notable that the units share a common cornice line along the length of the front elevation and are still divided by original brick pilasters. The fascia boards are all relatively narrow but are of a variety of styles and colours, and so are relatively obtrusive.



Picture 5.60 One of the six identical chimneystacks containing good clay chimney pots along the Whitchurch Lane terrace (nos. 1-12)

5.50 Unfortunately along Whitchurch Lane and Edgware High Street a local detail that is becoming more common includes signage that has been placed above the ground floor level. This adds a considerable level of clutter to the streetscene and should be avoided.



Picture 5.61 Signage at first floor level along the Whitchurch Lane terrace creating clutter

5.51 In terms of shopfronts and property signs, it is the variety along Edgware High Street, and predominant use of timber for the shop window frames, that provides their appeal. However, the use of modern fascia boards, stall risers and pilasters here on the whole do not complement the historic character of the buildings e.g.111 High Street. However, the traditional shopfront detailing for the frontage of no. 91 is an example of one which is attractive and of good quality. Shopfronts are explored further within the 'Townscape Character' section.



Picture 5.62 Use of modern fascia boards, stall risers and pilasters along Edgware High Street



Picture 5.63 Attractive timber shopfront to no. 91 High Street, Edgware is an asset within the Conservation Area



Picture 5.64 Shopfront to no. 111 does not preserve the character of the Conservation Area given UPVC and poor detailing

5.2.7 Streetscape

- **General**

5.52 The floorscape, boundary treatments and street furniture are important elements of this CA as they contribute strongly to its overall character. At present, these elements on the whole offer an opportunity for enhancement as is explored below. However, elements of the street furniture provide attractive, important landmarks, including the War Memorial, the two red telephone boxes and the rather quirky 103 High Street.

- **Street Furniture**

5.53 Important qualities of some key elements of street furniture (i.e. the War Memorial, 103 High Street and the two red telephone boxes) are explored within the 'Architectural Qualities', 'Townscape Character' and 'Key Views and Vistas' sections. The siting of the War Memorial in the middle of the wide expanse of pavement in front of the parade of shops along Edgware High Street helps maintain its intended prominence in the streetscene and its landmark status. Currently, the War Memorial could benefit from some repair work. This is explored further within the 'Problems, pressures and potential for enhancement' section. Similarly, 103 and the red telephone boxes just to the north of the War Memorial, fit in well as elements of street furniture due to their single storey nature and high architectural quality. 103 is also an important reminder of the historic development of the area as, though it has been rebuilt since, it was once a Smithy for passing travel. Like the War Memorial, the telephone boxes could benefit from some repair work. This too is explored further within the 'Problems, pressures and potential for enhancement' section. Further photographs of all these features are within the 'Key Views' section.



Picture 5.65 The positive unlisted no. 103 High Street, Edgware (the former smithy)



Picture 5.66 The War Memorial, a key item of street furniture within the Conservation Area

5.54 Although it is located within the setting of the CA, and not within it, the Police Lantern in front of the Police Station on Whitchurch Lane is a heritage asset and forms an important element of street furniture. It complements the setting of the locally listed police station and advertises the ongoing historic use of the building well.



Picture 5.67 Positive unlisted Police Lantern to the Police Station, Whitchurch Lane 326

5.55 As a reflection of its village origins it would be appropriate for there to be as little street signage as possible throughout the CA. But, it is recognised that road signage is necessary, as both Whitchurch Lane and Edgware High Street are busy thoroughfares and the junction of these roads with Station Road forms a busy crossroad. However, at present the busy crossroad between the High Street and Station Road/Whitchurch Lane is cluttered with signage and other street furniture such as guard rails) which detracts from the character of this area (pictured below). The situation is exacerbated by the borough boundary that runs along the middle of the High Street between the boroughs of Barnet and Harrow, which results in the lack of a joined up approach to the area's maintenance.



Picture 5.68
Street furniture clutter at the junction of Whitchurch Lane and Edgware High street



Picture 5.69
Railings around the corner of Edgware Road and Whitchurch Lane are damaged and add clutter to the streetscene

5.56 In addition, the modern glass bus shelter (pictured below), near the former smithy (no. 103 High Street) and the two red telephone boxes, has an unsympathetic appearance in the streetscape. Also, the paving in front of the parade along Whitchurch Lane has an assortment of street furniture that creates some clutter i.e. telecommunication cabinets and road signs.



Picture 5.70 The modern bus shelter has an unsympathetic appearance within the streetscene



Picture 5.71 Signage cluttering shopfronts on Whitchurch Lane



Picture 5.72 Abundance of street furniture and shop signage creates clutter within the streetscene along Whitchurch Lane

- **Boundary Treatments**

5.57 Generally there are no boundary treatments in front of the buildings which helps to retain the historic openness in front of the buildings. The enclosure in front of nos. 87-89 Edgware High Street though (pictured below left), is in part a reflection of the way such properties historically had small fenced areas to mark the front boundaries. However, the enclosure extends too far into the pavement area and, with its modern and high metal fence, obscures the building's frontage and creates an unwelcoming appearance. The situation is similar for nos. 97-99 High Street (pictured below right). Its modern and high metal fence again partially obscures the building's frontage and creates an unwelcoming appearance.



Picture 5.73 Front boundary to nos. 87-89 High Street, Edgware



Picture 5.74 Front boundary to nos. 97-99 High Street, Edgware partially obscuring the frontage of the building behind

5.58 Otherwise there are short intermittent bollards in front of a number of buildings. These create clutter in their forecourts. However, they are less obtrusive than more solid treatments, particularly given the need to retain the historic openness of the pavement area.



Picture 5.75 Bollards to forecourts along the High Street add clutter to the pavement



Picture 5.76 Another example of bollards to forecourts along Edgware High St adding clutter to the pavement

- **Floorscape**

5.59 The recessed building line of the properties on the High Street (pictured below) means there is a large expanse of hard paving in front, an important reflection and reminder of the historical evolution of the area. This space is currently under utilised though and lacks any special care or maintenance. The surfacing is unsympathetic, with the prevalence of concrete slabs and tarmac, which therefore presents an opportunity for enhancement.



Picture 5.77 Recessed building line of the properties on the High Street means there is a large expanse of hard paving in front

5.60 The pavement in front of the parade along Whitchurch Lane is relatively wide and uncluttered, and has been relaid since the last Edgware High Street CA character appraisal was published in 2006.



Picture 5.78 Under utilised space in front of shops along Whitchurch Lane

5.61 It is important to note that the floorscape around the War Memorial does attempt to take account of the setting of this Listed Building since it comprises grey setts. These help preserve the setting of this War Memorial.



Picture 5.79 Grey setts around the War Memorial help to preserve its setting

5.2.8 Green Spaces and Ecology

5.62 There is no greenery present throughout. Certainly the introduction of some, for example small flower beds, would be beneficial, as it would be wholly in keeping with the area's village origins; it would provide a good setting to the buildings and help counterbalance the busy nature of the two main roads. Siting of larger scale greenery would need to be considered against the need to maintain important views.

5.3 Summary of Conservation Area

5.3.1 Summary and Main Assets

The assets of the Conservation Area derive from a combination of factors including:

- 1) The high quality of architecture reflected in the concentration of statutory listed, locally listed and positive unlisted buildings.
- 2) The extent of remaining historic fabric, particularly as the area includes some of the oldest surviving buildings in Edgware.
- 3) The recessed building line of properties along Edgware High Street which is a continuation from the pre-suburban origins of the area, reflecting the past need for space to collect farm animals, horses, coaches and market stalls along this main road to and from London.
- 4) The high density, small scale linear, terraced development, and the use of the ground floor of the buildings as retail and commercial properties and the first floor for residential purposes, which reflects the area's historic origins and development as a village centre to Edgware, and maintains the vitality of the area.
- 5) All buildings front onto the main roads which reflects the historic importance of Edgware High Street as the main route to and from London.
- 6) The defining nature of the roofline along the High Street. The quality of roof structures, and slight variations in the height of the roofline and the form of the roofs, provides considerable visual interest and reflects how these properties were built at different stages and in different styles.
- 7) The small scale, rustic character of most properties and the use of traditional materials and detailing.
- 8) Views up and down the High Street and Whitchurch Lane, including those into and out of the CA.
- 9) The War Memorial as a focal point, complemented by the setting of no. 103 High Street and the two red telephone boxes of the Sir Giles Gilbert Scott K6 design.

5.3.2 Problems, Pressures and Potential for Enhancement

5.63 Problems, pressures and potential for enhancement have been identified throughout the document but are comprehensively outlined in the following table. Section 4, entitled 'Management Strategy' identifies possible solutions.

Problems, pressures & potential for enhancement	Location	Description
<p>The CA's main potential for enhancement is the appearance of the public realm.</p>	<p>Throughout</p>	<p>There is an opportunity to significantly enhance the public realm by addressing a host of issues identified throughout this document that currently undermine its character and appearance. This includes unsympathetic modern shopfronts, boundary treatments and other building alterations, street clutter including signage and parking and an absence of streetscene greenery. These issues are comprehensively identified below.</p>
<p>Shop fronts and signage</p>	<p>Throughout</p>	<p>A significant number of shop fronts are modern and unsympathetic to the character of the individual buildings and wider CA, with poor designs, oversized fascias and signage, and intrusive illumination. Particularly problematic examples include nos. 2 (out of place overhanging awning signage), 5 (modern fascia signage that noticeably protrudes further out than signage on the other shops), 7-8, 10-11 and 12 Whitchurch Lane and 83 to 93 High Street. An increasing number are introducing signs above ground floor level which is creating a lot of streetscene clutter (e.g. nos. 4 and 5). Also, a number have had roller shutters added which detracts from the character of the area.</p>
<p>Street clutter (including signage)</p>	<p>Throughout</p>	<p>Guard rails, street signage, electricity boxes, car parking, a bus shelter and a prevalence of bollards create a cluttered and obstructed streetscape, with no uniform approach to enhance the setting of the CA. It should be noted that it is unlawful to display goods or advertising boards outside on the public footway as these cause dangerous obstructions and may be removed.</p> <p>Some boundary treatments also add clutter to the streetscene. They extend too far into the pavement area and, are metal and high, obscuring part of the frontage of the buildings behind and creating an unwelcoming and modern appearance. This includes 87-89 and 97-101 High Street.</p>

Problems, pressures & potential for enhancement	Location	Description
Inappropriate small scale alterations	Throughout	Loss of original features such as timber windows or clay roof tiles and inappropriate replacements have a detrimental impact on the CA. Examples of poor alterations include the use of plastic windows at 81 High Street and modern awnings at 87-89 High Street.
Road traffic	Mainly High Street, but also affects Whitchurch Lane	The proximity to a major road creates a noisy and congested atmosphere and does not encourage the full use or enjoyment of the spaces in front of the historic buildings
Green spaces	Throughout	There is no greenery present throughout the CA or in its immediate setting which does not enhance the CA's character.
Grade II listed War Memorial	On the north end of the High Street	<p>During a Harrow Council Heritage Furniture Audit of the borough conducted March 2007, this War Memorial was noted as being one which had some areas of weakness, as follows:</p> <ul style="list-style-type: none"> - Bronze staining with a brown and green patina in patterns which suggests exposure to cleaning with acid and alkaline solutions. - Exposed brick work foundations at the monument base. - Lost mortaring between step units with evidence of differential settlement and water ingress. - Lichen on monument and weed growth in the exposed jointing. <p>Whilst this item of street furniture is owned by Harrow Council it mainly commemorates people from the adjoining London borough of Barnet. Therefore, maintenance is carried out by Barnet Council but items of repair are more likely to be carried out by Harrow Council.</p>
Grade II listed red telephone boxes	On the north end of the High Street	During a Harrow Council Heritage Furniture Audit of the borough conducted March 2007, these red telephone boxes were identified as having some areas of weakness, as follows:

Problems, pressures & potential for enhancement	Location	Description
		<ul style="list-style-type: none"> - Kiosk 1(rear) badly faded red paint. Cloudy glass and missing glass panels. Poor internal condition requiring cleaning and litter removal. - Kiosk 2 (front) - door failing to close properly. Missing glass panels. Poor internal condition including rusting coin box. - Transoms on both boxes difficult to read and fading.
Impact of modern developments outside Conservation Area	There are a number of poor buildings, such as the showroom at no. 30 Whitchurch Lane or the 1960's Boot Parade, but the most notable is Lanson House	Situated on the northern corner of the High Street and Whitchurch Lane, Lanson House has a significant detrimental impact on the character of the CA. The building occupies a highly visible location in the street scene, but due to its poor design and proportions, has resulted in a clear break physically and historically between the two sub-areas of the CA. It dwarfs nos. 1-12 Whitchurch Lane and meets awkwardly with the first timber framed building on the High Street.
Demand for infill developments	Behind or beside plots throughout	Given that the CA sits within a town centre location, pressures for development are always likely to be greater than in residential areas. Given the tight plots there is limited scope for such development.
Changes of use	Throughout	At present there is a satisfactory mix of use classes throughout the units, but there is always pressure for changes which could have a detrimental impact on the public realm, such as an over dominance of takeaways.
Neutral feature - modern and altered buildings	105, 109 and 111 High Street	The modern developments of 105 and 109 High Street are unremarkable architecturally, but have a neutral impact on the CA, due to their restrained height and bulk and use of mock timber planted gables. 111 has been significantly altered but retains some historic character. The important location of these three buildings on the northern edge of the CA and their proximity to listed buildings, means that future alterations and developments must be sensitively handled.

5.3.3 Public Consultation

5.64 This document was subject to public consultation. Notification letters were sent to ward councillors, amenity groups (including the Stanmore Society and the Stanmore and Harrow Historical Society), the Conservation Area Advisory Committee and other stakeholders. It was available to view at a number of places, including the Council’s website, Stanmore Library, the Civic Centre Library and the Planning Services reception at the Civic Centre. Posters were put up within the CA. Copies of the document were available on the internet and there was an opportunity to comment directly into the Objective software. A public meeting was held and there was an opportunity to provide comments and discuss the document in person. The Conservation Team also offered to hold separate meetings with interested parties to discuss the document. The responses were used to strengthen the document; it was adopted as part of the Stanmore and Edgware Conservation Areas Supplementary Planning Document, as part of the Council's Local Development Framework.

5.4 Conservation Area Management Strategy

5.4.1 Purpose of the Strategy

5.65 Conservation Area Appraisals provide an analysis of the character and appearance of CAs to identify elements that should be protected and opportunities for change, improvement or enhancement. This management strategy uses this analysis to look forward and set out how the area’s character will be preserved or enhanced. It sets out guidance and controls to protect and preserve the area and actions to enhance it. The following proposal statement provides a list of actions, related to problems, pressures and potential for enhancement identified in the previous section.

5.66 Unless otherwise stated, the following should be regarded as a statement of intent. There are no set time limits. However, it is important to note that Conservation Area Appraisals and Management Strategies will be reviewed every 5 years.

5.4.2 Management Proposals

Identified negative feature	Location	Proposed actions
<p>The CA's main potential for enhancement is the appearance of the public realm.</p>	<p>Throughout</p>	<p>There is an opportunity to significantly enhance the public realm by addressing a host of issues identified throughout this document that currently undermine its character and appearance. These issues are comprehensively addressed in the table's boxes below.</p> <p>Overarching opportunities are to:</p> <ol style="list-style-type: none"> 1. Develop a townscape/streetscape improvement plan following a street audit and shop front survey.

Identified negative feature	Location	Proposed actions
		<p>2. Explore potential links with the London Borough of Barnet regarding wider improvements to the streetscape on both sides of the road.</p> <p>3. Explore potential for funding for townscape/streetscape improvements through a number of sources including: * English Heritage's Heritage Economic Regeneration Scheme * Heritage Lottery Fund's Townscape Heritage Initiative * Planning gain monies obtained through legal agreements * the Harrow Heritage Trust and the Stanmore Society * Other sections of Harrow Council, such as the Highways Department</p>
Shop fronts and signage	Throughout the Conservation Area	<p>Encourage proposals for alterations to shopfronts and advertisements that comply with the design guide within Section 6 of this document. This would ensure any alterations to shopfronts would be more in keeping with the remaining traditional and historic elements of the streetscene. This would entail minimal signage and lighting (in number and bulk), relatively subtle painted fascias as opposed to internally illuminated plastic fascias, and ensuring signage does not go above the ground floor level. Also, it would mean more attractive alternatives to roller shutters are explored and used.</p> <p>Explore opportunities within the Council and with English Heritage, planning gain monies, the Heritage Lottery Fund, the Stanmore Society and the Harrow Heritage Trust for a townscape improvement scheme that provides part grant funding for signage and shopfront improvements.</p> <p>The conservation team to survey the area to identify the lawfulness of shopfronts and signage and report unauthorised works that harm the area's character to the planning enforcement team. This would ensure a co-ordinated approach for the whole conservation area.</p>

Identified negative feature	Location	Proposed actions
		<p>Consider the introduction of an Area of Special Advertisement Control which would help ensure that alterations to shopfront signage would be more in keeping with the heritage qualities of the area.</p>
<p>Street clutter (including signage)</p>	<p>Throughout the Conservation Area</p>	<p>Conservation Team to undertake a street audit in liaison with the Council's Highways Department to identify ways of reducing or modifying street furniture.</p> <p>Liase with Harrow and Barnet Councils' Highways Departments, Harrow buildings owners/occupiers and Transport for London to identify opportunities to reduce /rationalise street clutter e.g. avoiding the use of guard rails if possible, rationalising street signage, managing car parking, and coordinating the prevalence of bollards/opportunities to install one design rather than multiple designs wherever possible. Also, consider design and siting of the bus stop nearest the grade II listed War Memorial. Consider more appropriate and consistent lighting columns.</p> <p>Refer unauthorised advertising boards on the public footway to the Highways enforcement.</p> <p>Report unauthorised boundary treatments to the planning enforcement team. There is a presumption against the installation of front boundary treatments given there is no scope along Whitchurch Lane and the open space in front of the buildings along Edgware High Street is an important part of the CA's character.</p>
<p>Inappropriate small scale alterations to buildings</p>	<p>Throughout the conservation area</p>	<p>Inappropriate small-scale alterations are often carried out because of a lack of awareness amongst owners and occupiers as to what requires planning permission. A leaflet to inform all owners and occupiers within the CA of the planning constraints has been produced. This is contained within the last section of this document entitled 'General Guidance on the Requirements for Planning Permission and Listed Building Consent within the Edgware High Street Conservation Area'.</p>
<p>Road traffic</p>	<p>Mainly High Street, but also affects Whitchurch Lane</p>	<p>Liase with Council's Highways Department to identify any opportunities that may exist to alleviate this pressure where possible. Consider the planting of trees to improve the associated noise problems.</p>

Identified negative feature	Location	Proposed actions
Green spaces	Throughout	The council to consider options for introducing planting and softening of the street scene where possible.
Grade II listed War Memorial	On the north end of the High Street	<p>The Harrow Council Heritage Furniture Audit of the borough conducted March, 2007 identified techniques to address the areas of weakness of this War Memorial, as follows:</p> <ul style="list-style-type: none"> - Cleaning of the bronze to remove the oxidising patinas - this requires specialist advise as it is a complex process. -Cleaning of the masonry should involve techniques compatible with the stone types. - A low sulphate (Pulverised Fuel Ash) PFA, lime/cement mix is recommended for the mortar. A Portland cement and water mix should not be used. <p>It should be noted that whilst this War Memorial lies within the London Borough of Harrow, the functions concerning maintaining all aspects of the highways and street furniture are carried out by prior agreement by the London borough of Barnet. But works other than general maintenance are likely to be carried out by Harrow Council.</p>
Grade II listed red telephone boxes	On the north end of the High Street	Encourage repair and maintenance of these structures. The Council is happy to provide guidance on this. Full maintenance specifications for all items relating to K6 telephone Kiosks can be found at www.britishtelephones.com/kioskm.htm under the heading 'Maintenance of Fabric and Fittings'. The areas that should be routinely monitored include the door timber, door closure mechanism, door brass hinges and door leather restraining straps. Also, the internal lighting and window glazing require regular attention.
Impact of modern developments outside CA	There are a number of poor buildings, such as the showroom at 30 Whitchurch Lane or the 1960's Boot	Be aware of the opportunity to enhance these sites where development proposals arise.

Identified negative feature	Location	Proposed actions
	Parade, but the most notable is Lanson House	
Demand for infill developments	Behind or beside plots throughout the Conservation Area	Development proposals for sites within or adjacent to the CA will have to be carefully designed so as not to detract from the character and appearance of the CA.
Changes of use	Throughout	<p>An over dominance of any use class could have a detrimental impact. Ensure proposals for change of use maintain the vitality of the area.</p> <p>In terms of the potential pressure of changes of use to the existing commercial units within the CA, the Harrow Development Management Policies Local Plan identifies the High Street and Whitchurch Lane as Secondary Retail Frontage, and as such, policy DM37 is relevant in relation to change of use. The policy states that non-retail uses (i.e. uses other than Class A1) should not exceed 50% in the street frontage unless it could be demonstrated that the proposed use would make a significant contribution to the centre's vitality and viability or there is long standing high vacancy rates in the centre. This policy is applied in all secondary frontage areas, irrespective of their conservation area status. It is worth noting that there are units outside the conservation area, such as Lanson House and Handel Parade, which are included within the designated secondary frontage area.</p> <p>The most recent survey (June 2010) for the entire designated area showed that approximately 35% of all units were operating as non-retail units. This balance will need to be monitored to ensure that this percentage does not increase too much.</p>
Neutral feature - Modern and altered buildings	105, 109 and 111 High Street	The important location of these three buildings on the northern edge of the CA and their proximity to listed buildings, means that future alterations and developments must be sensitively handled.

5.4.3 Reviewing the Conservation Area's Boundaries

5.67 The CA boundary is drawn quite tightly at present around the CA's existing two sub-character areas in order to preserve their special character and appearance.

5.68 This Conservation Area Appraisal and Management Strategy has noted that buildings and structures just outside the CA do play an important part in influencing the overall townscape character, with some of the buildings either preserving or even enhancing the setting of the CA and positively contributing to the townscape character. Therefore, it is important that development within the immediate setting of the CA should be mindful of this and preserve or enhance the setting of the CA. This is already a requirement in statute under the Listed Buildings and Conservation Areas Act 1990, as section 72 of this states that 'special attention shall be paid to the desirability of preserving or enhancing the character or appearance' of a conservation area. At the same time, national Planning Policy Framework is a material planning consideration whenever development proposals are put forward to the Planning Department; paragraph 132 of this confirms that the significance of a designated heritage asset can be harmed or lost through development within its setting, and paragraph 137 obliges local planning authorities to identify opportunities for changes in the setting of heritage assets that would enhance or better reveal their significance and to treat favourably applications that preserve those elements of the setting that make a positive contribution to, or better reveal, their significance. It is therefore considered that there is good management framework in place for buildings and structures just outside the CA that play an important part in influencing the overall townscape character.

5.69 However, in light of the value that some of these buildings contribute to the overall townscape character there may be merit in amending the CA's boundary to include some of these buildings within the CA following careful survey, justification and review, particularly given the locally listed status of the police station meaning it is particularly desirable for this building to be retained.

5.4.4 Support

5.70 Relevant parties can contribute to the preservation and enhancement of the CA. These include: local residents, property owners, and local societies such as the Stanmore Association, and national societies such as the Garden History Society, the Society for the Protection of Ancient Buildings, the Victorian Society, The Georgian Group and the 20th Century Society. They should be involved in all stages of devising ideas for management and enhancement of the area.

5.71 The above enhancement and improvement proposals and other possible future schemes can require funding. Much of the works would need to be completed by private owners but the council will continue to apply for grants wherever possible, for example, to the Harrow Heritage Trust. There may also be scope for securing planning gain funds towards improvements to the public realm, where the Council is responsible for these. In line with English Heritage's guidance it is essential when planning works within CAs that a considered approach, which preserves or enhances the area's character or appearance, is adopted. Where a conflict with general planning and highways policies occur, special care must be taken to find a solution that meets both the needs of the local community and the historic environment.

5.4.5 Guidance

5.72 To ensure consistent decision-making the following guidance has been identified as being of key relevance to this area with reference to the conservation area appraisal:

Maintaining Edgware High Street's Townscape and Built Character

To ensure that the character of the conservation area and its setting is both preserved and enhanced, all new development should:

- a) Respect the existing layout and historic form of the townscape and street scene, especially its building lines and heights, and not diminish the gap between buildings.
- b) Complement existing buildings in terms of bulk, design, siting, detailing, scale, materials and use. Any extensions will be encouraged to be at the property's rear and subservient in scale to the original property, as well as match the existing house in design and materials.
- d) Not entail extensions that significantly reduce the gap between buildings or diminish the architectural balance or detailing of the main building.
- e) Respect and harmonise with existing buildings in terms of design, siting, detailing, scale and materials.
- f) Avoid impeding views between buildings or into areas of open space.
- g) Retain original design features (as identified within this Conservation Area Appraisal and Management Strategy, such as clay tiles, timber windows, render facing, timber framing and stall risers) and where replacement is necessary, the architectural detailing should closely match that of the original in traditional materials. Inappropriate materials, such as aluminium and uPVC, will not normally be considered acceptable.
- h) Not entail the installation of inappropriate shop front designs, in particular, the introduction of large fascias and illuminated signage boards; the Council will encourage the reinstatement of traditional shop fronts.
- i) Not involve the painting of unpainted brick surfaces.
- j) Ensure material alterations to buildings protect the appearance of elevations that face onto a highway, including alterations to chimneys and rooflines. Dormers and rooflights on front and side roof slopes will be discouraged. The re-roofing of properties in inappropriate materials will be resisted and the retention/reinstatement of traditional materials will be encouraged.
- k) Not entail the positioning of satellite dishes and aerials in prominent positions.
- l) Usually avoid change of use of the ground floor from commercial uses.
- m) Ensure microgeneration equipment is carefully sited to protect streetscene views and historic built fabric.

Maintaining Edgware High Street's Greenery and Open Spaces

To ensure that the soft character of the conservation area is both preserved and enhanced Harrow Council will:

- a) Encourage the retention and improvement of both public and private green spaces and open land, including trees, hedgerows and grass verges.
- b) Discourage applications for development on existing areas of open land that have been defined as contributing to the character of the conservation area.
- c) Further protect trees, and groups of private trees, by creating additional TPOs where appropriate.
- d) Discourage development that adversely affects significant trees.
- e) Encourage the retention, or where necessary, replacement of street trees.

Protecting Edgware High Street's Archaeology

a) Harrow Council recognises the archaeological importance of Stanmore's conservation areas and their settings, and will help to protect these by continuing to consult with English Heritage to ensure the appropriate action or works such as surveys are carried out before development commences.

b) Where appropriate, and in discussion with English Heritage, the existing Archaeological Priority Areas will be revised, and/or new Archaeological Priority Areas created, to safeguard Stanmore and Edgware's archaeological remains.

Maintaining Edgware High Street's Streetscape

To ensure that the character of the streetscene is both preserved and enhanced, Harrow Council will:

- a) Refer to existing policy on tall structures where telecommunications equipment or wind mills are proposed.
- b) Encourage the utility companies to install the minimum amount of new and replacement street furniture and to locate this sensitively in suitable locations.
- c) Encourage the retention, or reinstatement, of traditionally designed street furniture and materials, such as paving.
- d) Encourage street furniture to be well sited and designed and for redundant and unsightly street furniture, and signage, to be removed where opportunities occur.

e) Encourage the retention of original floorscape materials, such as granite kerbs, and wherever practicable, replacement floorscapes will be encouraged to be of traditional materials.

5.5 Shopfront Design Guide

- **Purpose of the design guide**

5.73 A Conservation Area (CA) is defined as an area of special architectural or historic interest, the character or appearance of which it is desirable to preserve or enhance. With some exceptions, the shopfronts within Edgware High Street CA would benefit from enhancement. Past unsympathetic changes have meant historic fabric has been covered or removed and in places shopfronts of poor quality design installed with overly bulky, and/or internally illuminated signage of poor quality materials and an overuse of signage. The exceptions provide the local character that should be preserved or enhanced and includes retention of historic features such as cornices and pilasters and timber shopfronts.

5.74 The purpose of this design guide is to give general guidance to owners and occupiers of properties of the type of works that require planning permission, advertisement consent and listed building consent, as well as guidance on enforcement action and archaeological assessments. It is also not to provide prescriptive design solutions but to provide good quality design principles for shopfronts and signage to help ensure proposals for alterations preserve or enhance this CA's special character and setting. This will mean proposals take account of and are in keeping with the remaining traditional and historic elements of the streetscene.

5.75 Requirements for Permission

- **Listed Building Consent**

5.76 A listed building is one which is on the national list of buildings of special architectural and historic character. Under the Planning (Listed Buildings and Conservation Areas) Act 1990, listed building consent is required for internal or external alterations that affect the special character of a listed building. This would be likely to include, for example, altering a window, removing traditional detailing or replacing roof tiles. It is a criminal offence to carry out such works without listed building consent, where this is required. If you are unsure whether listed building consent is required you are advised to check with the Council's conservation team.

- **Planning Permission**

5.77 As the buildings in this CA are flats and commercial properties, Planning permission is required for almost all external development or alterations to the buildings with the exception of the installation of certain satellite dishes. Planning permission is required for development that results in a "material alteration" to the external appearance of the building (under section 55 of the Town and Country Planning Act 1990). These Planning Requirements for flats and commercial premises apply nationwide, and not just in CAs. However, the requirement is all the more important in CAs.

5.78 Harrow Council, as the local planning authority, can already control works in Edgware High Street CA that are considered to constitute material alterations. However, the designation of a CA and the analysis of its special qualities provide an opportunity to formally define what is considered to be a “material alteration” in terms of development. The material alterations that will require planning permission include:

- The alteration of windows and doors
- The alteration of shop fronts
- The re-covering of a roof in a different material
- The extension of, or alteration to, the roof of a building (including roof lights and dormer windows)
- The cladding of exterior walls in stone, artificial stone, timber, plastic, tiles or other materials
- **Advertisement Consent**

5.79 As the buildings are commercial premises, advertisements of some form may be desired. Under the Town and Country Planning (Control of Advertisements) Regulations (2007) some can be installed without permission, but advertisement consent is often required for the display of signs including most illuminated signs within conservation areas. The advertisement regulations are complex and therefore the Government has produced guidance on the requirements for advertisement consent within their document entitled 'Outdoor advertisements and signs: a guide for advertisers' which is available on the Communities and Local Government website at this link:<http://www.communities.gov.uk/publications/planningandbuilding/outdooradvertisements>.

- **Enforcement Action**

5.80 Please be aware enforcement action may be taken against alterations or works carried out without planning permission where such permission is needed, and where works are detrimental to the visual amenities of an area or the character or appearance of a building. This may involve the removal of the new works undertaken and the reinstatement of the original fabric.

- **Archaeological Assessments**

5.81 Due to the age of the settlement, Edgware High Street has significant archaeological importance. This is recognised by the inclusion of the area in an Archaeological Priority Area (APA) known as Edgware Village. The APA applies to Edgware High Street from Grosvenor House in the south to No. 111 in the north, incorporating Lanson House but not nos. 1-12 Whitchurch Lane. The boundary contains long and narrow plots of land that extend rearwards from the main road. The main archaeological concerns for this area centre on the Roman road and the existence of a mediaeval settlement which spanned both sides of the road.

5.82 The APA designation does not only apply to below ground deposits but to the fabric of standing buildings. English Heritage therefore require a Heritage Assessment that includes Archaeological Assessment when considering applications for alterations or redevelopment to these buildings. More guidance on this is contained within national Planning Policy Statement 5

and the national PPS5 Planning for the Historic Environment: Historic Environment Planning Practice Guide, March, 2010 which are both available on the Communities and Local Government website at this link: <http://www.communities.gov.uk/publications/planningandbuilding/pps5>.

- **Design principles and considerations**
- **Key features to consider**

5.83 The design of a shop front and associated signage is based on a number of key architectural features which form a visual framework. These key elements are:

1. **Fascia boards** - this is the area where the shop's name is located and is positioned between the ground and first floor windows. Good siting in a conservation area such as this would entail not obscuring original features and the scale and design of the fascia should always be in proportion to that of the shop front and the height of the building as a whole. They are traditionally constructed of wood or moulded plaster. Traditional high quality construction entails construction of wood or moulded plaster and generally not projecting more than 10cm from the wall of the building to avoid creating an unduly obtrusive appearance.
2. **Shopfront lettering** - This is applied to the fascia and hanging signs. To be in keeping with the integral traditional character of the area this should be simple and set with a comfortable area of space around it so as not to appear over-elaborate or dominant. Ideally it should be hand painted onto the sign, although can be applied directly as individual lettering. Bright colours and reflective surfaces should usually be avoided.
3. **Cornice** - this is usually timber and is an important part of a traditional shop front design in terms of both decoration and function. It remains in place on some of the Whitchurch Lane shops. It provides a horizontal line between the shop front and the upper floors and gives weather protection to the shop.
4. **Stallriser** - this provides the solid base to the shop front and has a number of uses, for example, allowing the shop to display its goods at waist height; screens unattractive floor areas from public view; and helping to create a horizontal link with adjoining buildings. Materials used to construct the stallriser should always respect and enhance the materials of the whole building and the shop front.
5. **Shop windows** - The size and style of the windows and the glazing bars, mullions and transoms, need to be in scale and proportion with the rest of the shop front and building. They should be designed to reflect the historic and architectural character of the whole building and street.
6. **Shop doors** - The location, size and style of the door should always reflect the character of the building and street and relate in scale and proportion to the upper part of the building and any adjoining buildings. Recessed doorways are commonly used in traditional and older shops and add character and interest to the design. They allow for an increased window area and a larger display area. These were once found all along 1-12 Whitchurch Lane.
7. If additional door openings are needed to gain access to the upper floors their design and location should match the rest of the shop front design and style. They should normally be located immediately adjacent to the main door or at opposite ends of the shop front.

8. Canopies / Awnings - these do not form part of the character of the conservation area. If introduced these would add clutter to the streetscene and would likely detract from the important open space in front of the shops. The introduction of canopies on buildings of significant architectural merit would be particularly harmful, for example, on the older timber framed properties. Fixed canopies would be especially harmful to the streetscene. One which was installed at number 2 High Street but did not benefit from planning permission and a recent appeal decision ensured that this was removed.
9. Consols / Pilasters provide vertical framing to the shop front and establish physical separations between adjoining shop fronts. They are a traditional building feature designed with a base and capital. Usually constructed of timber or brick they can be used at each side of the doorway and can be seen most clearly along 1-12 Whitchurch Lane.
10. Corbels - The corbel or console brackets support the cornice and are usually present at the top of the pilasters, which are located at each end of the shop front. A traditional corbel or console brackets projection above the fascia should usually be between 15 - 30 centimetres high.
11. Lighting - Internal illumination has been used to some signage within the conservation area which is particularly harmful to its character since it creates a poor quality, harsh, urban appearance at odds with the traditional, village origins of the area. Lighting that is more in keeping with the inherent traditional character and appearance of the area is external lighting e.g. swan, spot and trough lighting, with levels of illumination kept to a minimum. To gain the traditional character these should hang above the fascia, below the first floor windows and the lighting should be used quite sparingly for instance only above the lettering on the signs. The emphasis is to have neat additions.
12. Hanging Signs and Other Advertisements - Other projecting signs have been added to shopfronts and stand alone advertising boards added to the street. Both contribute to a more cluttered and confused appearance, and advertising boards on the public footpath are unlawful as these cause dangerous obstructions and may be removed. Where these have been sited on the private land in front of a property planning permission may be required. Consideration should be given to the addition to street clutter this would introduce. Bill posters, window stickers and other advertisements should usually be avoided as they provide unnecessary visual clutter and usually detract from the appearance of the individual shopfront and streetscene as a whole. Good practise for the introduction of additional signage would be to limit such signage to hanging signs that are simple, low key, painted timber signs that are not illuminated. These could hang from simple painted black metal and there is no more than one per building, not larger than 50cm squared and are located at fascia level, never above. Any signs should not aim to cover up or damage any significant architectural features or any original shop front details, including consoles, decorative brick courses and window cills at first floor level.
13. Roller shutters

On occasion these have been introduced but are out of keeping. These create a blank, modern appearance to the streetscene that undermines the vitality of the area and its historic and architectural qualities. Alternatives should be considered instead to provide additional security.

- **Design to take account of the character of the building and area as a whole**

5.84 Proposals for new shop fronts or alterations to the existing need to consider what visual impact the shop front will have upon the building it forms part of and the wider appearance of the area. The shop front and building have to be considered and designed as a whole unit within the street, to ensure the upper floors and the shop front are seen together, not as separate elements of the building.

5.85 Designs should particularly take note of the impact past unsuitable alterations within the CA have had on its character given poor designs, oversized fascias and signage, and intrusive illumination. Particularly problematic examples include nos. 2 (out of place overhanging awning signage), 5 (modern fascia signage that noticeably protrudes further out than signage on the other shops), 7-8, 10-11 and 12 Whitchurch Lane and nos. 83 to 93 High Street. An increasing number are introducing signs above ground floor level which is creating a lot of streetscene clutter (e.g. nos. 4 and 5). Also, a number have had roller shutters added which detracts from the character of the area.

- **Scale and height in proportion with the building**

5.86 The scale and height of the shop front must be in proportion with the rest of the building. Given the small-scale of buildings in the CA the shop fronts must also be small. This will allow the design of the shop front to fit within the original structural framework of the building.

- **Traditional style**

5.87 Given the inherent traditional character and style of the CA, a traditional approach to the design of the shopfront and signage style is normally appropriate. Unfortunately on the whole many shopfronts in the Edgware High Street CA have lost this traditional character. Nevertheless, examples still exist and pursuing a traditional style would generally reflect and complement the character, age and materials of the building as a whole, and the area within which it is located.

- **Materials and colour**

5.88 The use of non-traditional materials, for example, fibreglass and plastics, whether shiny or reflective has already clearly detracted from the character and appearance of the CA. This makes it all the more important to avoid the use of such unsuitable materials wherever possible in future in order to avoid further undermining the special character of the area.

5.89 Traditional materials, for example timber, render brick and stone are considered to be more suitable because they offer a higher quality finish. Timber is one of the most adaptable materials for shop front construction, mainly as a result of being low in cost and easy to work with. However in the interest of protecting the environment we recommend the use of sustainably sourced timber.

- **Repairs and maintenance to shop fronts**

5.90 A degree of care must be taken in deciding whether to repair or replace an existing shop front. Often original shop front features are hidden by more recent additions to the building and in such cases the preferred option would be to retain and restore those features in any new scheme.

5.91 Summary and Conclusion

5.92 The above outlines good quality design principles for shopfronts and signage to help ensure proposals for alterations preserve or enhance this CA's special character and setting. The key considerations relate to the use of a good quality, traditional approach with emphasis on retaining and revealing historic features.

Canons Park Estate

Conservation Area Appraisal & Management Strategy



December 2013

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6.1 Introduction to the Conservation Area

6.1.1 Introduction

6.1 The Canons Park Estate Conservation Area (CA) is an outstanding area for its landscaping, openness and high quality architecture. This is due to it and much of the wider area passing from medieval origins to the early 20th century as one estate. The grade II listed manor house was built in 1747 on the foundations of the Jacobean mansion and formed the estate centrepiece. It is now owned by the North London Collegiate School (NLCS). The contemporary landscape covers much of the CA and includes remains of landscape designed by William Kent, Humphry Repton and Charles Mellows, now designated as a registered park and garden and numerous listed features such as the George V memorial garden and a garden temple. The grade II listed church of St. Lawrence to the south is associated with Handel and has medieval origins. Importantly some of these landscape features extend beyond the CA boundaries. High architectural quality is also found in the residential area towards the east around Canons Drive, since in 1926 George Cross built faithful reproductions of old Kentish black and white sixteenth century farmhouses. Their layout was planned by A J Butcher ARIBA who kept many original estate features, for example, the lake and trees and the pair of entrance gate piers. In 1928 part of the estate was designated a public park. Both these points helped maintain the feeling of greenery, grandeur and openness characteristic of the area.



Picture 6.1 Canons Park Estate CA in relation to others © Crown copyright. All rights reserved 100019206, 2010



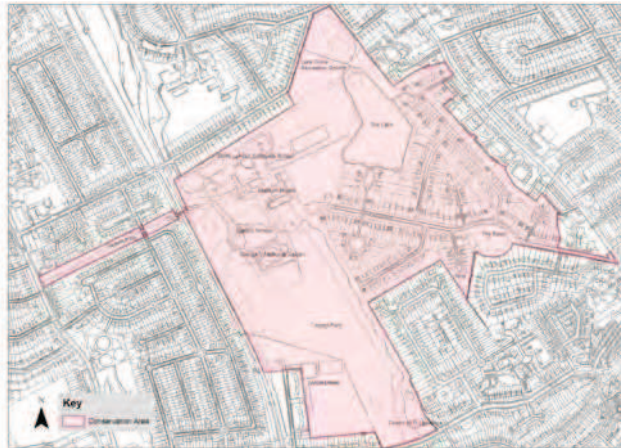
Picture 6.2 Canons Park Estate Conservation Area in relation to other designations © Crown copyright. All rights reserved 100019206, 2010

The Canons Park Estate CA includes the following roads:

The NLCS campus, The Lake Grove Recreation Ground, Seven Acres Lake, Whitchurch Lane: Church of St. Lawrence (LB), Chestnut Avenue, Dukes Avenue, Handel Close, Lake View, Orchard Close, Powell Close, Rose Garden Close, Canons Close, Canons Drive.

6.1.2 Planning Policy Context

6.2 On the 28 February 1984 the Canons Park Estate was recognised as an Area of Local Character and the Harrow Borough Local Plan contained a policy to safeguard the existing historic landscape, preserve its open features and to ensure that new buildings harmonise with the existing environment. However, there was a need to further protect the character and historical integrity of the area through its designation as a CA: an area of special architectural or historic interest, the character or appearance of which it is desirable to preserve or enhance. The designation of the Canons Park Estate CA was agreed by the Council's Planning Committee on 19 April 1990.



Picture 6.3 Canons Park Estate Conservation Area. © Crown copyright. All rights reserved 100019206, 2010

6.3 Section 69 of the Planning (Listed Building and Conservation Areas) Act 1990 requires local authorities to formulate guidance and proposals for the preservation and enhancement of these CAs, and to pay due regard to the views of the residents and public in the formulation of guidance and proposals. These principles are reinforced by the National Planning Policy Framework. The purpose of this Conservation Area Appraisal and Management Strategy (CAAMS) is therefore to provide clear analysis of the architectural importance, character and appearance of the area, to help form the basis for making sustainable decisions about the area's future. It also identifies opportunities for enhancement along with guidance to protect the area's character.

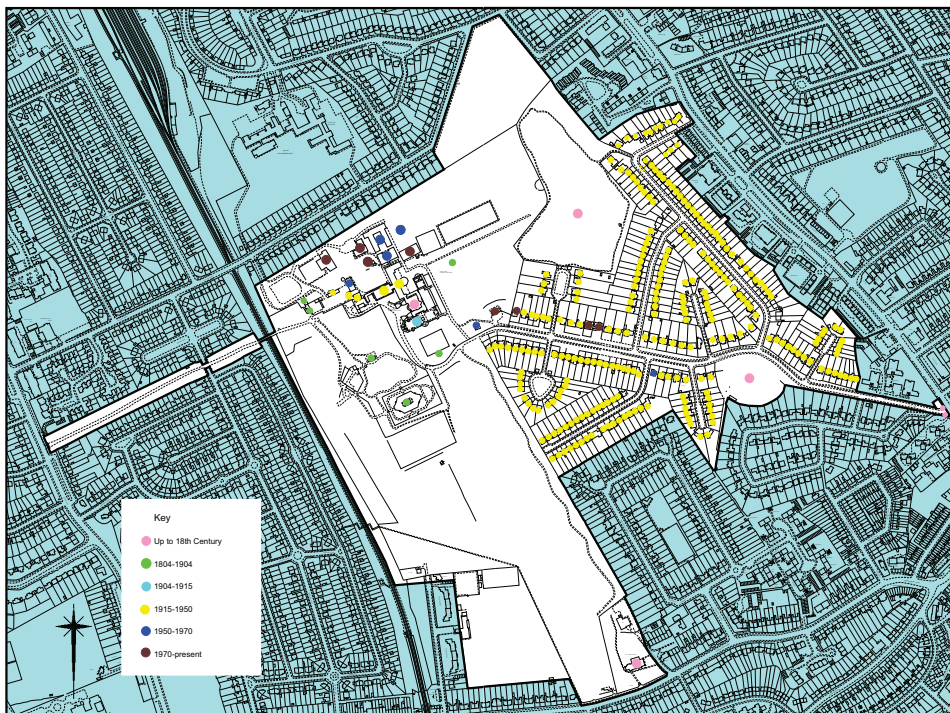
6.4 From December 2013 this CAAMS superseded the Canons Park Conservation Area Policy Statement adopted October 1990. This document required updating to reflect the area's changes. It carries weight as a material planning consideration for assessing all development proposals. This CAAMS forms an appendix to the Stanmore and Edgware CAs SPD. It is set within the broader context of CA policy guidance for Harrow contained within the Local Plan as well as the National Planning Policy Framework. It is important to note that: **no appraisal can be completely comprehensive and that the omission of a particular building, feature or open space should not be taken to imply that it is of little or no interest.**

6.1.3 Summary of Special Interest

6.5 The Canons Park Estate CA is an outstanding area given its special landscaping, openness, and good architecture. This is because it comprises a large part of the original Canons Park estate including the grade II listed mansion dating back to 1747 and surrounding landscaping. It has interesting histories attached to it, including associations with famous architects. The area includes

a high quality formally planned Metroland estate in a largely 'Tudor revival' design and street layout within a green, sylvan setting that incorporates landscape features of the original estate, including two lakes, a historic avenue and abundant greenery. This landscaped setting lends a special soft, informal and in places, particularly along Canons Drive, a soft, verdant ambience. There is a good spacious and tranquil environment created by public and private open spaces and greenery. Similarly, adding to the area's importance is the range of key views towards landmark buildings, architectural qualities and across open greenery with tree avenues and picturesque ponds. It is the delicate balance of the above factors that achieves the area's special character.

6.1.4 Short History



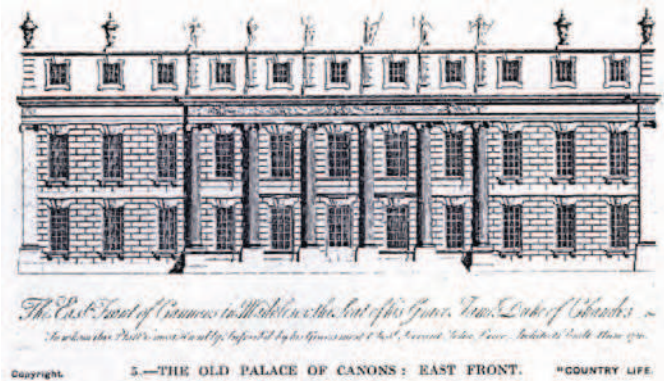
**Picture 6.4 Age of buildings .N.B. Age refers to earliest known part.
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● Medieval Origins to the 18th Century

6.6 The name of the wider area, Edgware, was first mentioned in a charter of King Edward the Confessor, AD 978, when it was known as Aegceswer. A record of the more specific area can be found in the Domesday Book, where the Manor is recorded as belonging to Rodger de Raynes and as being held by Algar, Earl Harold's servant. The land is later recorded as belonging to the Canons of St Bartholomew, West Smithfield from which Canons Park derives its name. Before becoming estate land, the parish of Little Stanmore evolved from Roman settlements, set in wet wood and pastureland, belonging to the monastic Priory of St Bartholomew, the Great. 'Canons' a religious reference to the monks who occupied the site from time to time.

6.7 In 1544 the land passed to Hugh Losse who built a house there. The land passed through further landowners over time as one lot. In 1713 the land and the house passed to James Brydges, the son of a Welsh border Baron. As a war profitor Brydges made a large fortune and spent

£200,000 building and decorating a new manor house at Canons Park which was completed in 1724 (see image below). Work on the house began in 1713, with William Talman as architect. Numerous other architects took over and were involved over the years. The Palace of Canons had a square plan with a frontage length of approximately 147 feet and a central courtyard. Although this has now been replaced its footprint, and many of its materials, were used in the construction of the current manor house. Its grandeur remains evident in St. Lawrence's church since this was also remodelled by Brydges.



Picture 6.5 East elevation of Canons Palace by John Price, 1720 (the first mansion house on the site)

6.8 As well as remaining evidence of the manor house, substantial parts of its grounds remain recognisable. The Palace was set in 400 acres of park and garden, initially landscaped by William Kent. Later work was undertaken by Alexander Blackwell and was modelled on the Palace of Versailles. In the park were 4 radiating tree lined avenues, and a grand gated approach with gate houses and lodges. To the west the public park includes the site of the west avenue up to Marsh lane and the south avenue leading from the parish church. The eastern avenue, the main approach to the house from Edgware, survives as a residential street (Canons Drive). Within the manor house grounds were a vegetable garden (now survives, much reduced in size, as a George V memorial garden laid out in the 1930s designed by Humphry Repton), a garden temple and also a great seven acre lake and a smaller basin which are both still present today to the north east and the south east of the CA respectively. The great lake though is hidden and inaccessible in the middle of the housing estate.

6.9 In 1744 the Duke died, and his son Henry, Marquess of Cornwall succeeded him. In 1747 debts forced him to sell some contents of the house and the Estate was put up for sale, and sold by lot. In 1747 the Duke's palace was demolished.

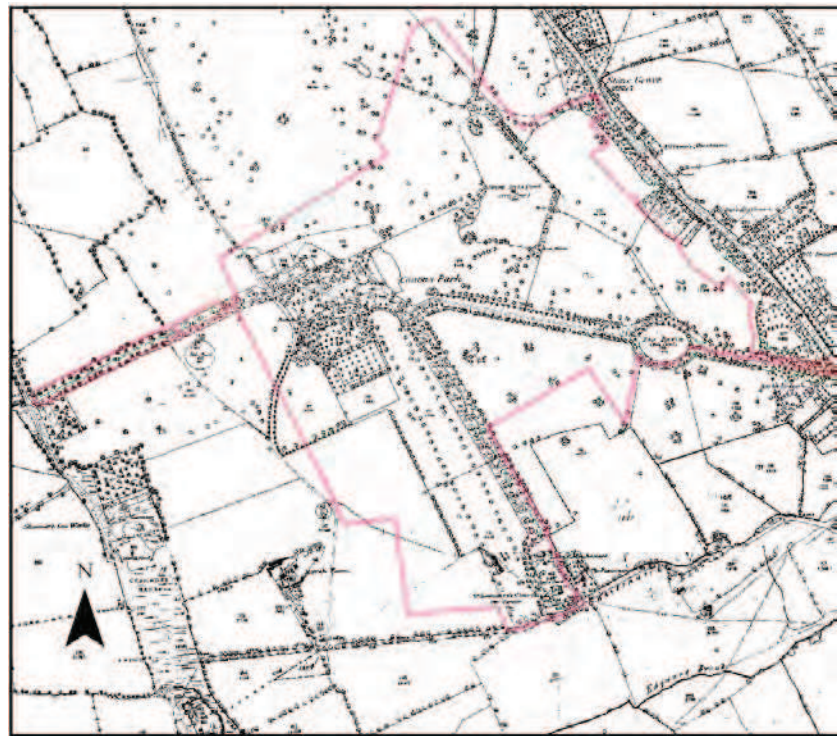
- **Mid 18th Century to the 19th Century**

6.10 The second and existing manor house was later built by Mr. Hallet, a respected cabinet maker. He purchased the estate in 1747 and built on the foundations and cellars of the old house using salvaged materials. Roque's 1754 survey of the area is shown below followed by an image of the mansion in 1782. The property was sold by Hallet's grandson to Colonel O'Kelly who buried his famous racehorse, Eclipse, in the grounds. The house was then sold in 1812 to Sir Thomas Plummer, Vice Chancellor of England. It is thought that some alterations to the grounds were undertaken by Humphry Repton but this cannot be established at present. Some time later the

estate was bought by Dr Begg. He destroyed one of the avenues of trees and burnt down the boathouse. Sir Arthur du Cros, a pioneer of the pneumatic tyre industry then purchased the house and a large part of the estate.



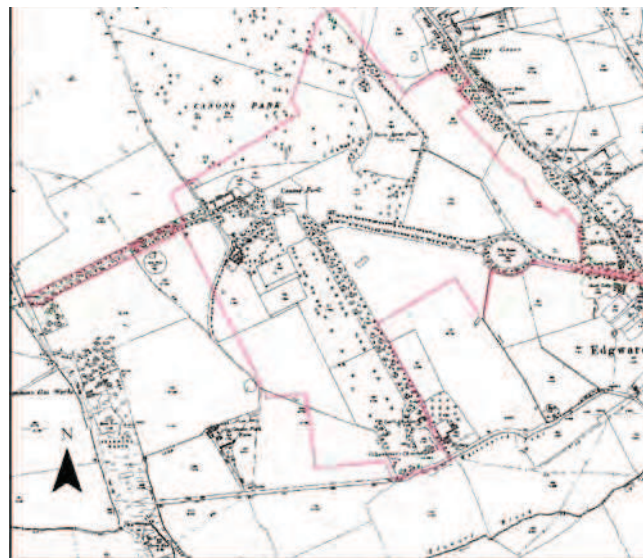
Picture 6.6 Rocque's survey 1754



Picture 6.7 Historical Map - 1864-1894 © Crown copyright. All rights reserved 100019206, 2010



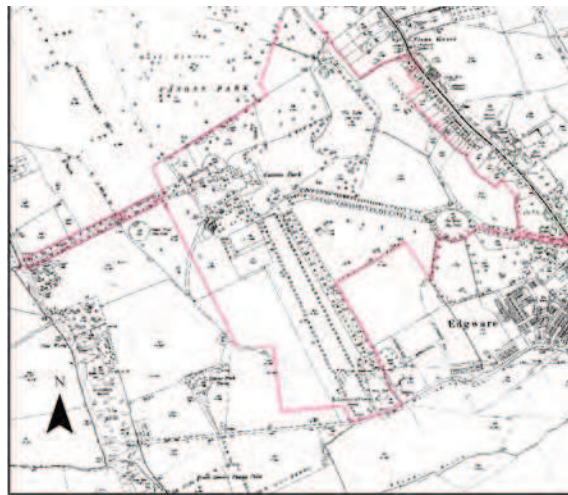
Picture 6.8 Canons House as it appears in an engraving by John Alexander Greese 1782



Picture 6.9 Historical Map - 1896 © Crown copyright. All rights reserved 100019206, 2010

- **20th Century Onwards**

6.11 From 1904 transport improved as the Metropolitan Electric Tramway Company opened a line through Cricklewood to Edgware, and later a daily twenty minute motor bus service was started between Milburn and Watford via Edgware. In 1905, probably inspired by the increased accessibility du Cros sold off an area to the south for the Whitchurch Gardens Estate, where semis were being built around a bowling green and tennis courts, in 1911. In 1912 Sir Arthur du Cros carried out some alterations and enlargements to the manor house through the employment of Charles Mallow. This included its encasement in stone, and the building of a rusticated enclosed architectural garden. This has survived in large part in the school grounds section of the CA. This attempt to recreate the splendour of the old palace ran into problems similar to those of 'Timons Villa'. By 1925 the house was unoccupied.



Picture 6.10 Historical Map - 1913-1914
 © Crown copyright. All rights reserved
 100019206, 2010

6.12 In 1926 George Cross purchased 85 acres of Canons Park (land to the east of villa) from the Pards Estate, a trust established in 1919 by Sir Arthur du Cros. Cross decided to build houses which were 'faithful reproductions of old Kentish black and white sixteenth century farm house by Mr Love of Canterbury, making perfect pictures in the rural surroundings'. He entrusted the task of planning the scheme to A J Butcher, ARIBA who kept the trees, the basin, and the lake and divided the existing carriage road into 30 foot frontages. He also designed the layout for a number of roads and cul de sac off Canons Drive. Permissions were granted for the scheme in 1927, with permissions for houses designed by Butcher and a number of others, most notably Sandon Brothers, H A J Copps, Sword Daniel and Go and F W Bristol and Go. These permissions date from 1927 to 1936. Early publicity describes three to six bedroom houses, semis and detached properties with garages, at prices ranging from £1,425 to £3,500. Cross invested a large amount of his own money in the project, building roads and 'encouragement' houses.



Picture 6.11 Historical Map - 1932-1941 © Crown copyright. All rights reserved 100019206, 2010

6.13 The mansion and its immediate surroundings (10 acres) were bought by the NLCS to house the Junior School in 1930s. By 1940 the remainder of the school had moved from Sandall Road, Camden Town to Canons Park. The building has since been extended a number of times most notably by A E Richardson and later modern additions to the school buildings located to the north and North West of the mansion house.

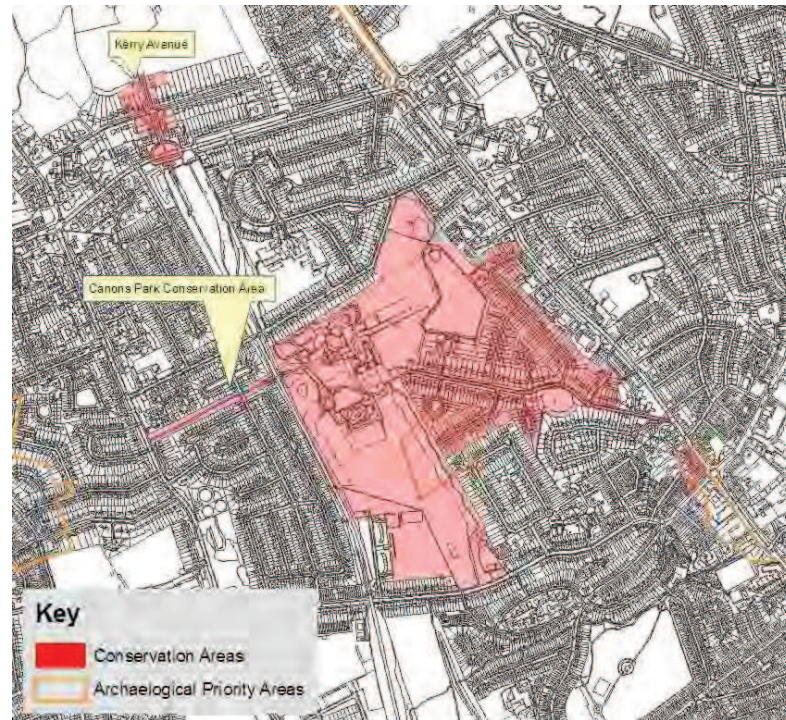
6.14 In 1932 the Canons Park Station was completed on the Metropolitan Line and by 1935 the Canons Park Estate had been developed in the form which can be seen today. In more recent times the two lodges and gate houses at the entrance were demolished to make way for flats.



**Picture 6.12
Canons Drive
circa 1930s.
Source: Local
history library**

6.1.5 Archaeology and geology

6.15 Archaeology and geology for this CA is considered in the overarching document entitled, Stanmore and Edgware CAs Supplementary Planning Document, in consultation with English Heritage. However, a map showing overlapping and nearby Archaeological Priority Areas is next.



Picture 6.13 Archaeology © Crown copyright. All rights reserved 100019206, 2010

6.16 Given the great deal of history with the site associated with the former Canons Park Estate, particularly that the existing grade II listed manor house was built in 1747 on the foundations of the Jacobean mansion, there is opportunity for archaeological works to understand more about the area's history. There is also scope to consider, following careful research and discussion with English Heritage, and public consultation another wider Archaeological Priority Area covering the location of the former Jacobean mansion house and the broader area associated with the former Canons Park Estate.

6.2 The Character of the Conservation Area Today

6.2.1 Density of Development, Topography and Plan Form

6.17 The edges of the CA are well defined by a railway line on the east, NLCS campus and Lake Grove Recreational Ground on the North; and the rear of the residential properties on the east, south east and south side. So access to the CA is from just three vehicular access roads ie on Lake View, Canons Drive and Dalkeith Grove. There is also access via Donnefield Avenue although this road ends before the CA boundary. The limited number of vehicular entry points contributes to the tranquil and peaceful character of the area; however the CA is well connected by the various pedestrian routes.

6.18 The CA is either flat or gently sloping. Importantly though some slopes in the land were formed as part of the formal landscaping to help create a sense of grandeur e.g. the mansion is slightly raised giving a short slope to the east of the mansion house so it dominates views from the east. Also, along the carriage drive (now Canons Drive) the wide grass verges raise upwards towards the back edges to ensure the avenue of trees towards the rear of these grass verges seems taller to impart a sense of splendour to this former carriage driveway.



Picture 6.14 Topography © Crown copyright. All rights reserved 100019206, 2010

6.19 The layout of the CA is important since it respects and retains many features of the 18th century landscaped grounds to the mansion. The park was laid out by A. Blackwell, with avenues radiating from the mansion house. To the west the public park and the west avenue up to Marsh Lane is evident as is the south avenue leading from the parish church. To the east of the mansion house, Canons Drive runs along the original carriage drive to the focal point. Other original landscape elements such as Seven Acres Lake, The Basin, Canons Park Temple, the George V Memorial Garden (originally a kitchen garden), avenue of trees along the Canons Drive and open space around the mansion and church also remain.

6.20 The residential area follows the original metro-land roads laid out by AJ Butcher with Canons Drive as the main spine of the CA running west to east with many residential cul-de-sac offshoots, some with green open space in the middle forming a distinctive layout.

6.21 Along Canons Drive the spacious character of the residential area is derived from the generous width of the verges and the open space of the basin area. Many of the houses on Canons Drive are detached and the individual regular frontages along this road although wide, have a relatively low to moderate density of development. Most of the properties have small front gardens, but the verges add to this and the plots are deep and of a regular shape, resulting in spacious rear gardens.



Picture 6.15 Canons Drive's wide grass verges add to the spacious character of the residential area

6.22 Along the offshoots, plots are slightly narrower, the buildings are set closer to the roads, and more buildings are semi-detached or sited closer to one another, with in many cases smaller front gardens and little or no verge. Building plots in these streets vary in shape and size, and a large number of the houses are semi-detached with regular width. The houses in these areas have a ground coverage or 'footprint' of similar size, or smaller than the houses on Canons Drive.

Relatively low to moderate density of development throughout but offshoots of Canons Drive have slightly narrower plots:



Picture 6.16
Canons Drive and
Handel Close



Picture 6.17
Canons Drive
and Orchard
Close

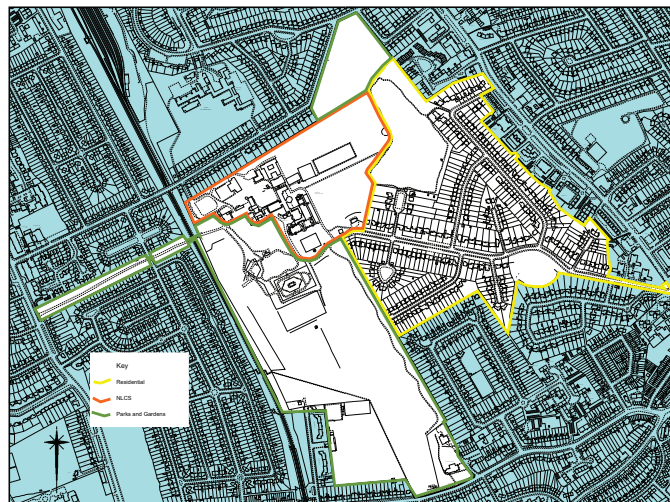
6.23 The NLCS occupies most of the north-west of the CA with the mansion as a focal point. Its later additions and other school buildings are located to the north and north-west of the mansion house, where some still remaining ancillary buildings are. Their layout is quite ad hoc. The form of these buildings varies from long linear blocks, curved shaped big blocks and medium scale square and rectangular blocks. The siting of buildings to the north and west of the mansion house protects the open, historic landscaping on the east and south side of the mansion house and key views towards it. A legal agreement helps define the building envelope within which all new development in the school and on the school grounds should take place was agreed in the previous planning under planning permission EAST/446/94/FUL initially and then subsequently modified.



Picture 6.18 North London Collegiate School
layout © Crown copyright. All rights reserved
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6.2.2 Townscape Character

6.24 The CA is characterised by a combination of grand, historic planned landscaped park and gardens radiating out from the Canons Park mansion house and the formally laid out and planned Metroland estate of largely Kentish inspired black and white Tudor Revival style houses. The former imparts a sense of openness, grandeur and tranquillity via its carefully planned historic landscape of, often listed, buildings and structures, including St Lawrence Church, and 'natural' planned features such as lakes (Canons Lake and Basin, a circular pond) and avenues of trees. The latter imparts a relatively low to moderate density of development of high quality architecture predominantly 'black and white' Kentish cottage inspired houses, set in sylvan surrounds including plentiful greenery. Part of this greenery is the remains of the landscaped grounds to the mansion house. The CA may be divided into three main character areas - the residential estate, the NLCS campus and the parks and gardens and St Lawrence Church. There is overlap between the character areas. Remains of the 18th century landscaped estate fall within the school grounds, the residential estate (along Canons Drive) and in the public Canons Park.



Picture 6.19 Character Areas © Crown copyright. All rights reserved 100019206, 2010

- **Residential Estate**

6.25 This includes a large part of the original Canons Park estate and all of the roads laid out by Butcher. The area has a sylvan character created by the landscaping that remains of the Canons Park estate, including Canons basin and the avenue of trees and grass verges along Canons Drive. The Romantic character also relates to the carefully planned residential estate laid out by Butcher as buildings are traditionally designed, largely in a Tudor Revival style, set in plentiful greenery as they were inspired by rural Kentish black and white cottages. These cottage inspired houses create a rustic and homely character particularly with the soft boundary treatments. The plentiful greenery also imparts a calm and tranquil character.

Rustic and homely Tudor Revival style houses with plentiful garden greenery



**Picture 6.20
Canons Drive**



Picture 6.21 Canons Drive

6.26 There is a particularly splendid and special character to Canons Drive as this is the spine route and follows the former carriage drive to the mansion house (also protected by Registered Park and Garden status). The entrance to the estate is marked by a pair of large, ornamental grade II listed gate posts on the Canons Drive which are all that remains of the entrance to the original Canons Palace. Beyond these Canons Drive is spacious and leafy as the tree lined road predominantly contains a number of good 'black and white' Tudor Revival designed, mostly detached, houses, at medium scale (2 stories with accommodation neatly within the roof) and relatively low to moderate density. The detailing, especially windows, doors and tall chimneys, are usually of special interest. Those around the lake are of particularly high quality. Here the trees create a sense of enclosure, giving good closed vista views around the lake and to the adjacent houses. Giving some variety, there some of the areas with buildings of different, not Tudor Revival style (between Rose Garden close and Dukes Avenue) as these were mainly built after 1932.

6.27 The north west section of Canons Drive has a slightly different, grander character as the road widens here to form an avenue with the houses set well back behind wide grass verges and at a slightly raised level to the road and partially hidden by an avenue of large mature cedars set in a line towards the back of the grass verges. This was part of the formal landscaping of the Canons Park Estate.



**Picture 6.22 Occasional
deviation from the Tudor Revival
style along Canons Drive e.g.
attractive Arts and Crafts**

6.28 Reflecting their being set away from the main avenue, there is a less grand character along the offshoots of Canons Drive. The designs are simpler, smaller houses and slightly more densely developed. They are semi-detached as well as detached. Importantly though there is still greenery to soften settings and gaps between houses (although less so along parts of Lake View) thereby maintaining a spacious, verdant Metroland feel. The traditional character remains given the houses are of Metroland design, at medium, 2 storey scale with accommodation neatly contained in the roof.

6.29 There is a sense of variety given the house designs are not all of Tudor Revival style, nevertheless there is a good rhythm to these streets given continuity and repetition of roof-form, gable ends, bay windows etc. However, occasionally roof slopes have steepened to accommodate additional rooms at the second floor and large first floor side extensions installed. This can create considerable streetscene bulk undermining medium densities of development, openness and continuity of character, thereby harming the streetscene.

Designs along offshoots of Canons Drive have more standardised, simpler character



Picture 6.23 Powel Close



Picture 6.24 Handel Close

6.30 There is a more enclosed and intimate character along the closes given their cul de sac layout, particularly as Rose Garden Close and Orchard Close are arranged around a circle of greenery.

- **North London Collegiate School**

6.31 The grounds of the NLCS create the impression of a country house estate given the mansion house, which forms the 'genius loci' of the CA, and the surrounding landscaped park and gardens. This provides a spacious and green character that maintains impressive and planned landscaped views towards the mansion. When it is not being used for school activities this open landscaping, and more formal garden terraces to the east and south of the mansion house, create a calm and peaceful atmosphere.

6.32 All buildings in the school grounds respect the mansion house as the intended focal point. Any increase in number or height of these buildings would need to be carefully considered in terms of the impact on the intended focal point character of the mansion.



**Picture 6.25 Canons
Park mansion main
entrance**

6.33 The area has the character of an estate developed over time given the varied ages and designs of the buildings. Designs of buildings in the school grounds vary from traditional to modern. The traditional buildings are often important as former ancillary buildings of the mansion e.g. former stables with large stable doors and haylofts. The modern and traditional buildings sit comfortably together because, with the exception of the mansion, buildings are usually of a modest scale, with traditional materials and simple architectural style.

- **Parks and Gardens and St Lawrence Church**

6.34 The public parks and gardens have a grand, spacious, green and tranquil character. This stems from the landscaping of the former Canons Park Estate including woodland, scrub and open grassland, radiating avenues (two in the park) and listed structures and buildings such as Canons Temple (a garden folly), the walls to the former kitchen garden (now George V Memorial garden) and St Lawrence Church. Since this landscaping is also within the NLCS character area and the residential estate, there is an overlap of this character.

6.35 The historic landscaped character is of particular importance for its association with many notable landscape architects. It demonstrates the successive transition of the style over time from the 18th Century landscape by William Kent, the English landscape period (1754-1857) works by Humphry Repton and Art and Craft Landscape (1905-1915) work by Charles Mellows.

6.36 St Lawrence Church has a separate peaceful and enclosed character given surrounding trees dividing off the area. The Church is a listed landmark with a cemetery with tombs (including that of William Powell, the 'harmonious blacksmith', said to be the inspiration for Handel's famous opera). The church adds another layer of history as it dates back to medieval times and is associated with Handel. It is partly walled and partly bounded with more modern railings and fences.

6.2.3 Activity and Uses Within the Area

6.37 There are three main uses within the CA. The use of the public park helps ensure the conservation of the historic park and garden and ensures the area's public enjoyment. The use of the school brings vitality and again helps ensure the maintenance and preservation of the important historic architecture and landscaping. It presents a pressure in terms of accommodating new buildings and extensions but, within reason, with suitable care and consideration conservation of

the CA's special character can go hand in hand with this. The single family dwelling houses within the residential area maintain the relatively low to moderate density of development intended by AJ Butcher. Flat conversions would present pressures for alterations, extensions, additional bins and car parking likely to conflict with the area's special character.

6.2.4 Key Views and Vistas

6.38 There are important public and private views within, into and out of the CA. Landmarks form the source of key views, and are largely the result of the historic planned landscape of the former Canons Park Estate. These include the planned 'natural' landscape features such as the Basin, Seven Acres Lake (from the path around it) and the later 1920s avenue of limes. Often the landmarks are listed e.g. the tower of St Lawrence's, the Canons Drive entrance piers and the mansion house. One important view is of the mansion house from the public park to the south which was part of the planned landscape. Reopening this view was part of the 2006 restoration of Canons Park. Another similar key view is that from the school grounds towards the mansion house's eastern elevation



Picture 6.26 Key view towards the east of the mansion (avenue of limes just visible on the left)



Picture 6.27 Key view towards the south of the mansion, visible from Canons park

6.39 Key views also relate to the interesting house design and road layout within the residential estate. Along Canons Drive it is also the interplay of the original planned landscape with the interesting architecture and road layout. For example, the curve of Canons Drive skirts along the Basin which results in closed vistas from either approach, which open out to reveal good views of the basin lake, locally listed buildings beyond and surrounding trees. To the north-west, where Canons Drive forms an avenue, this is a key vista both ways. Here the former carriage drive avenue is lined with thick grass verges raising upwards towards the back edges and topped with majestic cedar trees towards the rear of the grass verges thereby to heightening the impact of the trees on the view along this avenue by making them seem larger and more impressive as you go along the avenue.



Picture 6.28 Grand tree lined former carriage drive, Canons Drive

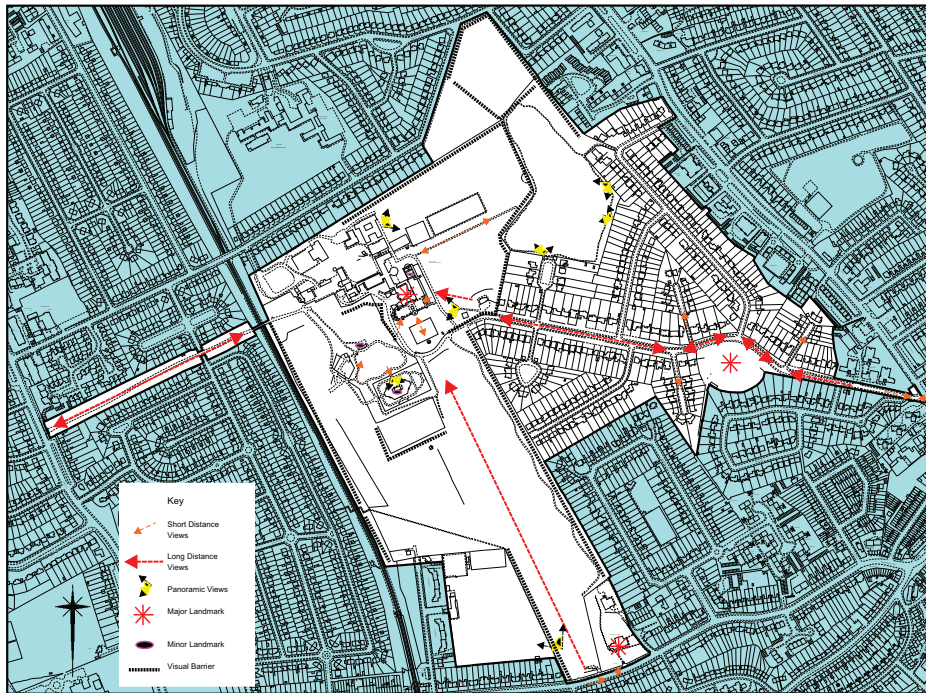
6.40 Views towards houses of good architectural quality are important individually and as groups views given the quality of architecture, complemented by streetscene greenery and often the repetition of the built form creating rhythm. The circular green spaces at the end can provide a focal point.



Picture 6.29 High quality design provides the source of key views



Picture 6.30 Repetition of form provides rhythm to the streetscene



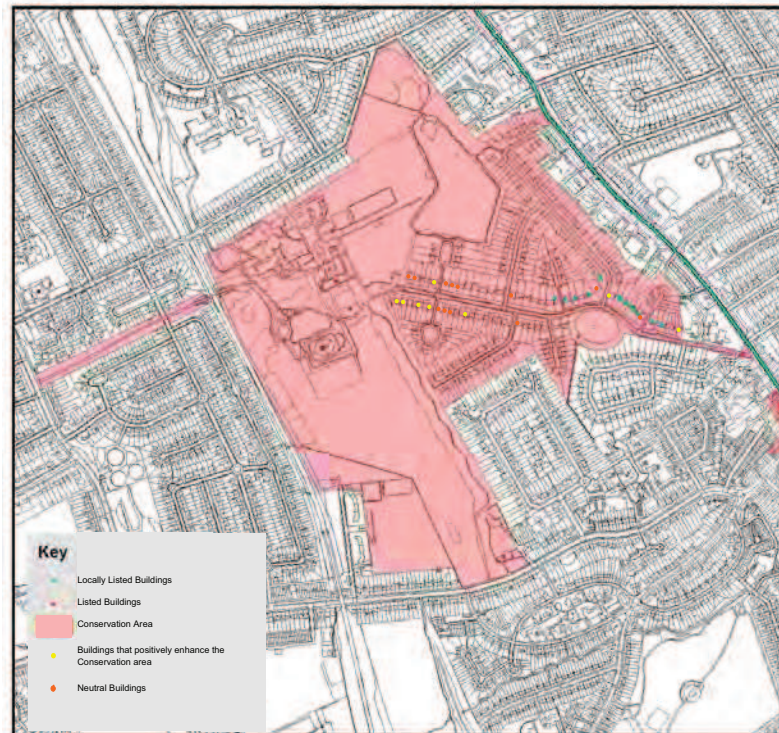
Picture 6.31 Key views. This is not exhaustive but indicates the types of views that are important. © Crown copyright. All rights reserved 100019206 , 2010



Picture 6.32 Good view towards the Basin, Canons Drive

6.2.5 Architectural Qualities

6.41 There is a high architectural quality. The map below shows buildings that are listed or otherwise positively enhance the CA, and others that make a neutral contribution. The remaining buildings make a positive contribution to the area. The architectural qualities relate strongly to the former Canons Park Estate with the main focal point being the 18th century mansion house and associated historically and architecturally important former ancillary buildings and landscaping throughout. In recognition of their importance seven of these are listed grade II. St Lawrence Church also stands as one of these listed landmarks, but dates back to medieval times. Within the NLCS grounds, some later development is of interest. Architectural qualities otherwise relate to the good quality architecture of the 1920s and 1930s Metroland houses, mostly Tudor Revival style inspired by the rural Kentish black and white cottages.



Picture 6.33 Quality of architecture N.B. Those that are not highlighted also make a positive contribution to the character of the Conservation Area. © Crown copyright. All rights reserved 100019206, 2010

6.2.5.1 Buildings and structures of the former Canons Park Estate (18th /19th century)

- **The mansion**

6.42 The classical mansion house now forms the NLCS's main entrance block. It was built to replace an earlier grander mansion known as Canons Palace in 1747 using some of the old materials such as pilasters as shown below in the photos of south side and east elevations. Though still grand, the historical core is much more compact than the original palace as it was built as a two-storied villa of the type that was becoming popular from the mid 18th century in the countryside around London. It had a broad three-bay south front and east and west fronts with central bows. These parts survive but have been substantially rebuilt (enlarged, embellished and heightened to three stories) in the 19th century and re-cased in stone by C.E. Mallows 1910. He added the entrance courtyard to the east, a large north wing with Corinthian pilaster decoration above a channelled ground storey. It has irregular elevational treatment on the west that is balanced by an open screen of similar pilasters.

6.43 The mansion is the CA's architectural focal point. This is due to its relatively grand style, scale (three stories), and its raised setting on land set above the surrounding open land to the south and the east at the centrepiece of surrounding landscaping.



Picture 6.34 South Elevation



Picture 6.35 East Elevation



Picture 6.36 Window detail



Picture 6.37 Stone pilaster and wall detail to mansion

- **Entrance gate piers**

6.44 The white-painted, rendered pair of brick gateposts at the Edgware Road junction are those erected by the Duke in the 1700's. They are a prominent reminder of grandeur of Canons Palace, that the current mansion house replaced. These appear to have been constructed of ashlar but is brickwork covered with lime render. Beneath the render is high quality brickwork discovered during restoration work c.2000. They have moulded bases, panelled sides, carved frontage, decorative frieze and cornice with finials.



Picture 6.38 Listed entrance gate piers - once part of the Duke of Chandos' 18th century estate

- **Garden temple**

6.45 The garden temple in Canons Park is a folly in the landscaped grounds of Canons Park. The temple is a classical garden building built between 1800-1838 and altered in form over the years. It once incorporated a heated, glass Palm House. It is made up of four Ionic columns, and wing walls, a pediment to the north and two columns on the other side. It is constructed of red brick with stone dressings and a rendered interior. It was restored in 2006.



Picture 6.39 Garden Temple (South Elevation)



Picture 6.40 Garden Temple (North Elevation)

- **George V memorial garden**

6.46 South of the garden temple are the grade II listed 18th century red brick walls that now surround the George V memorial garden. A walled compound is present on maps from 1800 and some of the walls shown in a map c.1729. The memorial garden's walls are certainly at least in part as old as those of the walled compound. Originally they sheltered a kitchen garden, which included the Duke of Chandos' melon ground, fruit trees, vegetable plots and perhaps cloches or hothouses for pineapples and other exotic fruits. They have red bricks in panels and are about 11ft high. Now they shelter gardens with a formal layout of 1937 including good terracing, park shelter, pool, gates and planting.



Picture 6.41 Walls and main entrance gates



Picture 6.42 View towards the listed walls of the former kitchen garden from the park



Picture 6.43 Park shelter



Picture 6.44 Formal landscaping within the George V Memorial Garden

- **Church of St. Lawrence, Whitchurch Lane (medieval and remodelled in the 18th century)**

6.47 The Church of St. Lawrence on Whitchurch Lane is found at the south end of the former south avenue to Canons. The west tower of this dates to medieval times. It is of the usual 14th and 15th century Middlesex type with projecting north east turret. It is attractively constructed of a multi-coloured mixture of flint, dark local ferricrete, Reigate stone and later brick repairs.

6.48 However, the rest of the church comprises that which was rebuilt by John James for the Duke of Chandos from 1714-1716 to form part of the landscaped park and gardens and for use by the family at least until their private chapel was built. It has unassuming exterior, of brick with heavy stone dressings, with undecorated stone arched windows and broad Tuscan corner pilasters. The interior retains original woodwork, and paintings of a continental Baroque style. It is unaisled with a chancel, and Corinthian columns and pilasters of dark wood and above a low wooden screen behind the altar. The fine carved decoration is attributed to Gibbons. The church is painted with biblical scenes and figured architecture.

6.49 Attached to the church on the north side is Chandos mausoleum decorated in a classical illusionist style that gives the appearance of 3 dimensions, by Brunetti. There is a sculptured monument to the 1st Duke on the west wall (attributed to Grinling Gibbons) with a figure of the Duke bewigged and dressed as a Roman in centre separated by plain pilasters from his two wives, Mary and Cassandra, who are kneeling either side.

6.50 There are two monuments on the south wall. The first is a black sarcophagus placed against a white pyramid by Sir Henry Cheeve to Mary, the wife of the first Marquess of Carnarvon (who died in 1738). The second is a large white sarcophagus with curved fluted ends to Margaret, Marchioness of Carnarvon who died in 1760. There are other 18th century monuments in the base of the tower. The entrance wooden structure is also of a special interest.

6.51 Handel is associated with the church and is reputed to have played the church organ as well as composing several pieces for performance there.



Picture 6.45 Grade II* Listed Church of St. Lawrence



Picture 6.46 Church of St. Lawrence grade II* curtilage listed Lych Gate

- **Ancillary 18th/19th century outbuildings to the mansion**

6.52 To the north and west of the mansion house are a few former ancillary buildings to the mansion house largely former stables and barns. These are often single storey buildings (sometimes with a former hay loft) with large entrance doors (once the entrance for carriages/horses) and few window openings. These are constructed of brick and/timber and are of far more simple, less decorative design to the mansion house and its built landscape features.



Picture 6.47 Simple, brick design with pitched roof and large wagon doors



Picture 6.48 Simple single storey brick building

6.2.5.2 20th century buildings in the NLCS grounds

6.53 Charles Mallows added Arts and Crafts style features in 1905-1915 in the form of the south garden balustraded and rusticated enclosed garden terrace to the mansion and the south circular garden temple still in tact today and grade II listed.



Picture 6.49 South terrace (historic image). Source: Local history library



Picture 6.50 South terrace today



Picture 6.51 Temple on south terrace



Picture 6.52 Balustraded and rusticated edge to the south terrace

6.54 Otherwise numerous buildings have been added to the NLCS grounds from the 20th century onwards to house the school. The mansion itself has large extensions by A E Richardson (1939-40 and 1957) and in late 2012 was granted permission for another extension. To give other examples, two buildings just opposite to the Old Gymnasium were built in 1980s and then in 1990s the first and junior school, medical centre, music school, sports hall and arts centre were built.

6.55 Buildings within the grounds of the mansion do not exceed 3 stories (and usually do not exceed 2 stories) and are sited well away from key views towards it i.e. not to the south or east. This respects the dominant scale and siting of the mansion, and by not mimicking its grandeur, help retain the its intended landmark quality. Despite ad hoc additions, there is coherence to the architectural group as the new buildings are often of a simple and traditional style in keeping with the historic ancillary buildings to the mansion. Whilst some of the later buildings such as music school and junior school around the pond have a more modern, contemporary style they manage to retain the simple, elegance of earlier designs. Traditional materials such as glass and wood are used effectively including some decorative cast stone relief.



Picture 6.57
Contemporary
Structures



Picture 6.58
Contemporary
Structures



Picture 6.59 1970s
Structures



Picture
6.60 Boat
House

6.2.5.3 Residential Estate

6.56 The overriding style is of the black and white Tudor Revival style 1930s two storey houses, sometimes with accommodation in the roofspace. AJ Butcher planned the residential estate and was inspired by the rural Kentish cottages giving these buildings a rustic, rather homely appearance. The following image illustrates one of Butchers' designs.



Picture 6.61 Sketch taken from A.J. Butchers original drawing for a house in Canons Park

6.57 The Tudor Revival style of buildings is characterised by common features listed next. Individual detailing varies though and buildings do not include all these features:

Common Tudor Revival features:

- Often asymmetrical though most semi-detached pairs are symmetrical
- Black timber and white render detail
- Gable ends
- Pitched roofs that are hipped or half hipped
- Tall brick chimneys that vary in size and detailing and often incorporating recessed panels, corbelled parapets, decorative bonding and brick work. These are an important feature of the roofscape.
- Gambrel roof detail
- Mansard roofs
- Cat slide roofs
- Tiled porches
- Square or canted wooden bays, some with dentil detailing, at ground floor
- Jettied upper floors
- Plain and decorative barge boards
- A variety of windows including oriel windows supported on turned, wood consols and painted timber/metal casement windows often with heavy mullions and transoms with square or diamond leaded lights, sometimes incorporating patterned, coloured glazing

- Simple, heavy, wooden front doors. These are similar to early 17th century, Gothic style with studded vertical strips forming a solid planked door. The original finish for the doors would have been varnish rather than paint. They are sometimes topped by a pointed doorcase.
- Garage doors are of a similar heavy timber design with lights to the upper half and the doors swing open.
- Straight and curved timbers in a variety of thicknesses and placed both horizontally and vertically to form panels of different sizes on many street elevations. The timbers are usually painted black and the panels infilled with brick in herring bone or other patterns together with smooth white render.
- Part tile hung gables and elevations

6.58 Along Canons Drive the houses are more decorative as this is the grandest of the roads. These buildings are correspondingly relatively large compared to those on the offshoot roads. Towards the High Street the buildings have a predominantly brick finish, although most have some timber detailing. The most impressive are those around the basin where many are locally listed.

Canons Drive has the grandest of the Tudor Revival houses:



Picture 6.62 Facing the Basin, Canons Drive



Picture 6.63 Attractive Tudor Revival detached house, Canons Drive



Picture 6.64 Attractive semi-detached pair, Canons Drive

6.59 Further along Canons Drive numbers 40-52 are of a simpler design, with brick rather than timber detailing, nevertheless the houses have an imposing appearance which is in keeping with the character of the area. 54-68 Canons Drive are modern infill. Unfortunately the design and materials of a few of these buildings are alien to the area. However they are partially screened from the road and do not detract greatly from its character.

6.60 Reflecting their status and location off the main avenue, houses along the surrounding roads are often at slightly smaller scale, along with a more standardised appearance. Their design may be described as a simpler 1930s, Metroland style, though usually still Tudor Revival inspired.

Houses along offshoots of Canons Drive have a more standardised, less decorative appearance:



Picture 6.65 Dukes Avenue



Picture 6.66 Detached house, Dukes Avenue



Picture 6.67 Lake View



Picture 6.68 Handel Close

6.61 It is interesting to note that along Rose Garden Close, the modernist 1930s design of number 2 makes it something of a landmark here.



Picture 6.69 Striking Modernist design of 2 Rose Garden Close

6.62 Recently a few proposals have been put forward to replace historic houses with those of a more classical design or with larger, grander Tudor Revival style houses. Careful consideration is required on a case by case basis as to the impact this would have, but usually a more classical inspired design is inappropriate in the rustic context. Also, larger and grander buildings can be out of keeping along the offshoots which were intended to have a relatively smaller scale and standardised design. This reflects their location away from the main spine route.

6.63 Another issue is that on some of the buildings the original Tudor Revival inspired doors, garage doors, windows and tall chimneys are missing and brick patterns no longer visible. If done in large numbers this would harm the character of the CA.

Good Tudor Revival style details add character:



Picture 6.70
Door detail



Picture 6.71 Gable end, jetty, oriel window and red brick herring bone pattern



Picture 6.72 Prominent, tall chimneys



Picture 6.73
Timber/metal leaded light windows

6.2.6 Prevalent and Traditional Building Materials and Detailing

6.64 High quality, traditional materials characterise the CA. Often buildings are constructed of a dark or medium-red, multi-coloured brick. Both clay tile and slate roofs are found, the tiles being usually in a dark red or brown colour. Occasionally hand made peg tiles have been used. Within the residential area slates are unusual, but are found along Canons Drive for a couple of the locally listed cottages where grey-green or red, heavy, thick slate is laid in decorative courses.

6.65 Within the residential area, a typical characteristic is that a combination of materials are used provide textured surfaces of contrasting materials ie brick, white render, black timber, clay tiles (sometimes as tile hanging). Also, there are various projecting and recessed parts which provide a distinctive three-dimensional quality e.g. bays and jetties. These characteristics are part of the Tudor Revival/Metroland style.



Picture 6.74 Tudor Revival style includes textured surfaces of contrasting materials and projecting and recessed parts give a three-dimensional character

6.66 Other common Tudor Revival style details are listed in the 'Architectural Qualities' section. These include pointed, heavy doors and garage doors as per the images below. Notably front doors and garage doors are single doors, in keeping with the cottage scale of the houses.

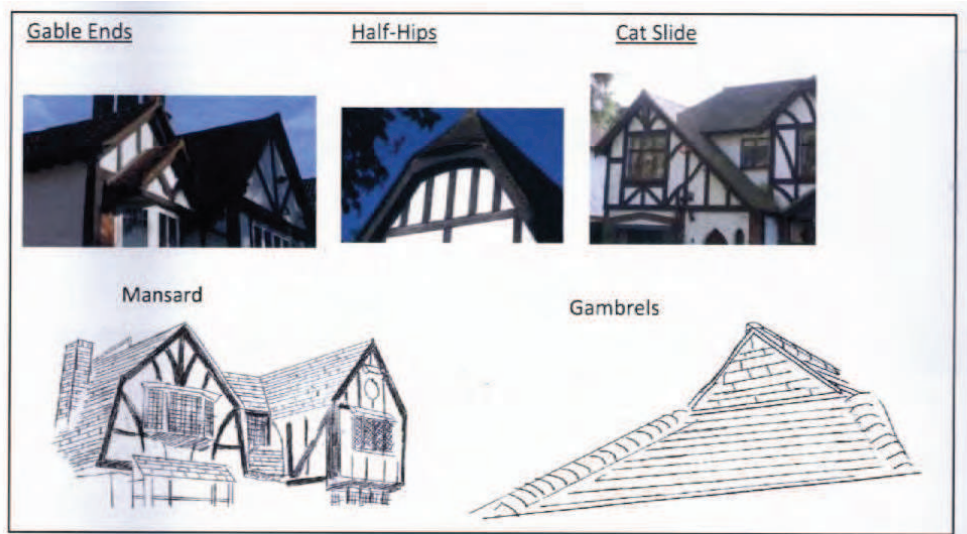


Picture 6.75 Pointed, heavy timber front door with good Tudor Revival doorcase detail



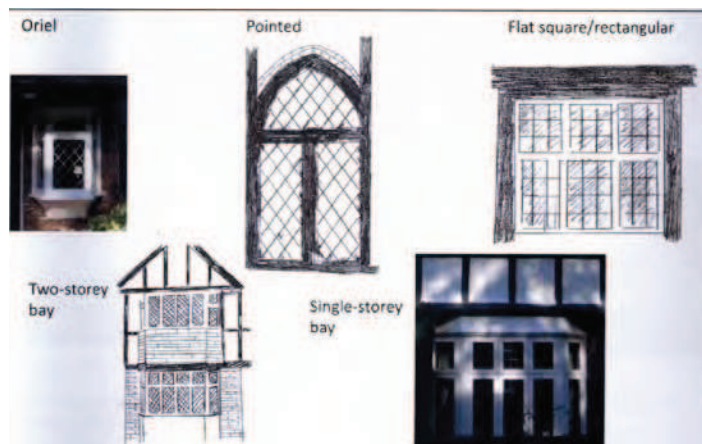
Picture 6.76 Heavy timber pointed garage doors

6.67 As part of the Tudor Revival style there are a variety of roofs within the residential area such as half-hips, cat slide, mansard and gambrels and gables creates interesting roofscape especially along Canons Drive.

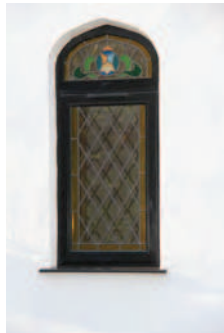


Picture 6.77 Varied traditional roof types form part of the Tudor Revival style

6.68 Windows include varied Tudor Revival style. Some of the properties along Canons Drive have distinctive windows with special architectural character given stained glass leaded light detailing.



Picture 6.78 Varied Tudor Revival style windows within the residential area with diamond or square leaded glazing



Picture 6.79
High quality
Tudor Revival
style windows
occasionally
include
stained glass
detailing



Picture 6.80
Stained glass
detail

6.69 Chimneys are particularly important architectural features and provide interest to the roofscape of this area. Chimney stacks are sited centrally on semi-detached buildings and provide an important visual element in their symmetry. On some properties the chimney stacks form quite tall distinctive features as part of the Tudor Revival style, sometimes two closely sited together add strong definition to one elevation.



Picture 6.81 Tall, Tudor
Revival style chimneys,
Canons Drive



Picture 6.82 Tall
chimneys add
character

6.70 Within the NLCS grounds stone is found as the main building material for the mansion house, reflecting its relative grandeur. Likewise, Canons Park Temple is of Bath stone and partially rendered to appear as stone and the gate pillars are of render finish to appear as stone. Surrounding buildings use high quality traditional materials such as timber, brick and natural slate, even where more modern designs are used. Good quality traditional details found within the NLCS grounds are shown next.



Picture 6.83 Good traditional details within the NLCS grounds

6.2.7 Landscape Qualities

Three styles shape the Conservation Area's landscape qualities:

- 18th Century landscape: This was by William Kent, one of the eminent landscape designers of the time. He provided the elevated position of the house with three radiating bold avenues (including Whitchurch Avenue), a formal layout and water features (Seven Acres Pond and the Basin) which demonstrate the influence of French Palladian Garden style. The vast expanse of the garden areas and wilderness or natural environment still exists along the southern and western avenues. The walled kitchen garden, now George V Memorial Garden and St Lawrence church is also part of 18th Century design and layout.
- The English landscape period (1754-1857): The designs replaced the false grandeur formal layout to passive pastoral landscape, in the north and south side of the palace. Even today it provides the natural setting for the house. The work of Humphry Repton is obviously visible in the North West side of the park; the Grecian 'temple' is also the contribution by Repton.
- Arts and Crafts landscape (1905-1915): The south terrace pool gardens to the mansion house were designed by Charles Mellows in 1903 are largely intact today. However, the view towards Whitchurch Avenue is now closed. The tennis court in between the terrace garden and circular temple detracts and breaks the historic visual continuity of the garden. The historic north pool garden no longer exists.



Picture 6.85
Key

Picture 6.84 Three stages of landscaping to Canons Park Estate.

Source: London Borough of Harrow Canons Park, Harrow Historical Restoration Management Plan May 1999 by Scott Wilson

6.2.7.1 18th Century 'Natural' Landscape Qualities Within the Conservation Area

- **Whitchurch Avenue**

6.71 This is the old name for the avenue in the park, mentioned in the Duke's accounts, and not to be confused with the nearby residential road of the same name. From the south front of the house this avenue is seen and it marks the road along which the Duke and Duchess proceeded to Church along a raised causeway up to a point where there used to be a gate in a wall with a path up to the door into the church tower. A semi-natural woodland strip ran parallel with the east side of the avenue. This is now called The Spinney.

6.72 Two oblong pools once framed the entrance from Whitchurch Lane, now reduced to woody hollows within the present Park. These have become overgrown. Vegetation from one of these hollows has encroached into the side of the causeway blocking the path.

- **Stanmore Avenue**

6.73 This woodland strip, which flanked the north edge, is all that remains of the original Stanmore Avenue, to the west of the house – which was another carriage entrance and the main trade entrance. It is also important in framing distant views of "Belmont" the part man-made hill, now part of Stanmore Golf Course.

- **Pleasure Grounds**

6.74 This area exists around the Temple within Canons Park. It was called this as it was constructed as a garden with a folly set in woods, used for pleasure rather than utility. A network of paths connected the House and Temple, remnants of which can be found in the park. They also exist within the North London Collegiate School grounds which therefore have a historic relationship with Canons Park.

6.75 Originally the Duke's grand and extensive gardens included two stone paved gardens with lily ponds and fountains to the east of the palace. These grounds were altered as the estate changed hands. The most notable changes were associated with the dismantling of the Duke's palace, the building of the new mansion, the creation of new gardens around the house by Mallows c.1900 and ground levelling for sports fields.

- **Kitchen Garden**

6.76 In the southern area of the Kitchen Garden is an enclosed plantation of trees known as The Hawthorn Orchard. The area seems to have been developed in the early 1900's and the existing hawthorns are thought to have been planted c.1950.

6.77 The land form detectable on the north boundary of the Hawthorn Orchard is probably associated with the original boundary of the Kitchen Garden.

- **Lake Grove Recreation Ground**

6.78 This is an area of woodland and grass with a stream. Also known as the North East fragment part of the original parkland owned by the Duke of Chandos. Possible estate wall features exist in the woodland.

- **Basin Lake, Seven Acres Lake and Canons Drive**

6.79 These were built in the 18th century as part of the Duke's park and therefore have a historical link to Canons Park. The Basin and Canons Drive have a physical link with the public park as they are all publicly accessible. Their ecological value is within the 'Green Spaces and Ecology' section.

6.80 The Seven Acres Lake is a historic lake with a woodland walk around its margin, fenced and gated with palisade security fencing. Access is via Lake View and Rose Garden Close. CPEA members access only. Visitors accompanied by a CPEA member may be permitted.

6.81 The Basin is one of several lakes built by the Duke of Chandos on one of the approaches to his palace. Open access to the public means that an impression of the character of the historic park and gardens can be experienced here. It is openly accessible to the public from Canons Drive. It includes a seating area overlooking water. Rear area with stream outflow and electrical substation is fenced off.

6.82 Canons Drive was formally Edgware Avenue the 18th century carriage drive to the mansion. The special character of the carriage drive remains as it is now a residential road with wide grass verges and avenue trees.

6.2.7.2 Landscape Qualities within the Conservation Area's Setting

6.83 Since the 18th century Canons Park Estate covered quite an expanse of what is now Stanmore, Belmont and Edgware some of the 18th century planned landscape features exist beyond the CA's boundary. These make an important contribution to the setting of the CA.

6.84 They usually entail the less obvious features including land from Canons to Stanmore Common and Belmont; paths and tracks running beside the railway from Stanmore Station parts of which once led to a northern Lodge; and the grounds of Aylward School. These were once part of the Duke's estate and may still have features dating back to that time such as old trees or land forms waiting to be discovered. The London Historic Parks and Gardens Trust has worked towards piecing together a plan of the estate and gardens. "Belmont" is the part man-made hill that is now part of Stanmore Golf Course.

6.2.8 Streetscape

- **General**

6.85 The main spine route of Canons Drive retains the majestic character of the former carriage drive to the mansion. This is due to its wide nature, with the buildings set well back approximately 18-20m behind wide grass verges with an avenue of tall cedar trees set high at the top of the wide verges which are slightly elevated towards the edges. The surrounding roads are narrower and do not have grass verges which creates a less grand character. Nevertheless, there is plenty of streetscene greenery throughout (though less along Lake View) which provides a sylvan character.

- **Floorscape**

6.86 The quality of the pavements varies throughout, but are mostly of grey slabs with granite kerbs that have a pleasing appearance and this should be retained wherever possible. Occasionally tarmac has been used which is less appropriate but sometimes necessary if paving would be affected by tree routes. Grass verges are important along Canons Drive and along surrounding roads.

- **Front gardens**

6.87 Many of the houses were designed with garages accessed from driveways usually of grey asphalt or natural stone laid in a simple, random pattern. Otherwise, most of the front garden was laid out as a garden, with planting and greenery. This now contributes to the mature landscape setting and Metroland character of the estate. Usually half to 2/3 of the front garden is covered with greenery, including often the boundary between gardens, but along Lake View soft landscaping has been considerably reduced undermining the intended soft Metroland character. Therefore, it is particularly important along Canons Drive and other offshoots that soft landscaping is retained. Recent appeal decisions in 2012 and 2013 support this approach. Where reds, pinks and other bright hues have been introduced to front gardens in hardstanding, this generally undermines the setting of these houses by detracting attention from the architecture and serving to undermine the soft-landscaped character of the front garden.

6.88 Along Canons Drive the grass verges are particularly important in adding to the soft setting and the same is true along some of the offshoots. Any proposals for new cross overs would be likely to undermine this special interest.

- **Street Furniture**

6.89 There is little street furniture in the area which creates an uncluttered appearance. What exists is understated and traditional. A red post box stands out on the corner of Handel Close and Canons Drive. There is one historic lamp in the front garden a property which positively contributes to the character of the area.



Picture 6.86
Red post box



Picture 6.87
Historic lamp in the front garden of a property along Canons Drive

- **Boundary Treatments**

6.90 Within the residential area, low brick walls, hedges, trees, and low fences (including picket fences) are the predominant boundary enclosures. Along Canons Drive the houses usually do not have front gates which helps give a soft look. A few have metal gates but timber is more in keeping with the area's soft, suburban character.

6.2.9 Green Spaces and Ecology

6.91 Planned landscape features of the 18th century estate (such as the Basin and Seven Acres Lake) as well as other grassland and vegetation are the dominant visual features and an important part of the area's special interest, as outlined in the 'landscape qualities' section. The special ecological value of three of these elements is explained in the box below. These elements along with other green spaces are owned by the Canons Park Estate Association (CPEA) which is a company set up for owning and managing the land remaining after the Canons Drive Estate development. Its directors are volunteer residents appointed by the CPEA.

- **The Basin Lake**

The Basin is a small oval pool fringed by sycamore and oak, planted limes and horse chestnuts, together with alders and crack willows which line the waters edge. There are also thickets of self seeded, regeneration elm and between the trees trusssocks of soft rush, great hairy willow herb and patches of aromatic water mint. This area derives its attractiveness from its natural appearance and any 'tidying up' should be kept to a minimum. The ground cover is important for both wildlife and fauna and should not be disturbed, equally the pruning of trees should be kept to a minimum.

The closeness of the pond to the road limits its use by water birds, however coot, moorhen, and black headed gulls are the most common inhabitants, together with Canada geese and a large flock of ducks of various kinds. The open aspect of this area makes it attractive for wildlife observation, particularly for children. It complements the setting of the surrounding locally listed Tudor Revival style houses well.

- **The Seven Acres Lake**

Canons Lake is now used primarily for fishing. It is in reality little used compared with thirty years ago when it was much more actively used for recreational purposes. The reduction in disturbance has encouraged water birds including the osprey, and tree nesting mandarin duck, common and green sandpipers, and redshanks. Breeding waterfowl include tufted ducks, great crested grebes, and little grebes which reared their young in 1978. Canada geese, kingfishers and herons are frequent visitors to the Lake.

Surrounding the Lake is a fringe of native woodland containing alder, oak, hornbeam, beech, crack willow, grey poplar and ash together with chestnut, holm oak and sycamore. A variety of species make up the scrub layer including laurel, rhododendron and bamboo. The ground flora is also diverse, including rushes, wild angelica, bittereress, yellow flag, great hairy willow herb and sedges. Other plants include false-brome, violets, lesser periwinkle and a variety of ferns. A reed bed at the northern end of the Lake is considered to be the best habitat of its kind in the Borough.

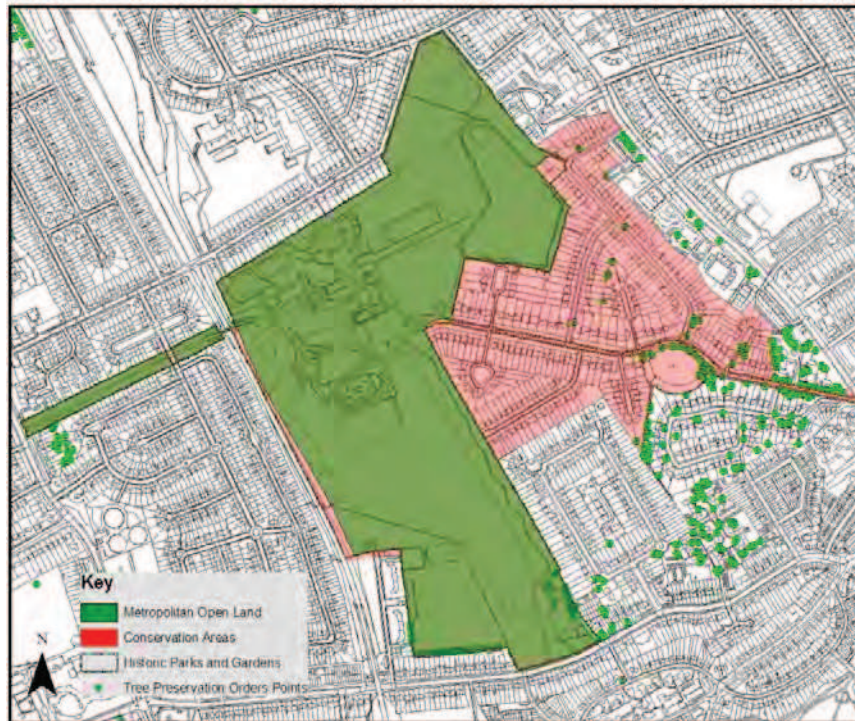
The vegetation at the lake side is home to numerous birds and pipistrelle bats. Birds found include redpolls, goldfinches and greenfinches, wrens, treecreepers, and grey wagtails. It is believed that all three species of woodpecker frequent this area.

The lake is well concealed given thick surrounding vegetation but there are good private views to this lake.

- **Canons Park Open Space and Railway Embankment**

The south western arm of the CA forms a walkway into the main park. This tree-lined footpath is one of the original avenues to the old palace and some of the trees date from the 18th Century. The larger trees are oak, lime, and horse chestnut, with smaller ash and sycamore between. The avenue is alive with squirrels and birds, and at ground level there are clumps of foxgloves, daffodils and bluebells. The open area of the park is popular with flocks of birds and exotic birds, probably aviary escapees, have been known to have breed in the locality. The attractive walled garden, which dates from 1720, supports many bryophytes, and there is an interesting area to the south of this which is marked by ancient hawthorn trees, some little more than ivy covered stumps. Much of the park is under grass, however an area known as The Spinney runs along the boundary of the church and forms a fine strip of native, ancient woodland. This path here is much used by the public and the trees are mainly oak, ash and horse chestnut, with ground cover of wildflowers. The railway embankment which runs alongside the park is of little wildlife interest, although foxes are often seen here.

6.92 As well as a registered historic park and garden, much of the greenery and open spaces are protected by other associated formal designations namely Metropolitan Open Land and Tree Preservation Orders as shown on the map below.



Picture 6.88 Green Space and Ecology © Crown copyright. All rights reserved 100019206, 2010

6.93 Within the residential area, streetscene greenery within gardens, grass verges, and central grassed and treed and planted islands in the closes are important for creating a soft and informal character that adds to the sylvan setting of the houses. It is integral to the Metroland/Garden Suburb philosophy behind this residential estate. It was also intended to complement the black and white rural Kentish cottage inspired houses. Of particular note is the island at Orchard Close which is large and heavily planted with shrubs and trees and contains an interesting rockery.

Grass verges help soften the streetscene



Picture 6.89 Chestnut Avenue



Picture 6.90 Canons Drive

Front garden greenery soften the streetscene



Picture 6.91 Dukes Avenue



Picture 6.92 Chestnut Avenue

6.94 The trees within the area contribute greatly to the CA character. There is a variety of evergreen tree species. These include cedar, chile pine, sequoia, spruce and cyprus, many of which are mature and date from the time of the original palace. Most significant are the avenues which cross the park, the trees which line Canons Drive, and the tree groups surrounding Canons Lake and The Basin. There are also important tree groups in rear gardens which provide a foil to the houses. As well as Tree Preservation Orders, the designation of the estate as a CA allows the Council to exercise greater protection over other trees within the boundaries of the area. In the side roads there are a number of street trees and grass verges adding character to the area. Unfortunately the grass verges have in some places been tarmaced which undermines the soft character of the area.



Picture 6.93 Avenue of trees along Canons Drive helps soften the streetscene



Picture 6.94 Good greenery around the Basin, Canons Drive

6.3 Summary of Conservation Area

6.3.1 Summary and Main Assets

1. **Historical links.** The area has a particularly colourful and well documented history related to the Canons Park estate and residential Metroland laid out by A J Butcher, made more significant because so many historical features remain to be enjoyed today.
2. **Interesting road layout.** Designed by A J Butcher, this makes use of the existing historic landscape features of the Canons Park estate, providing a variety of spaces and vistas.
3. **Spacious appearance and mature landscaped setting,** including front garden greenery. Canons Drive especially is significant for taking advantage of the landscape and planting of the Old Palace.
4. **Quality of architectural design and detailing.** This is particularly notable in the 'black and white' houses, which are of a variety of designs, with careful detailing.
5. **Wildlife and open areas.** Canons Lake and The Basin are important features with a wild and uncultivated appearance adding to the 'rural' appearance of parts of the area.

6.3.2 Problems, Pressures and Potential for Enhancement

6.95 Pressures and issues have been touched upon in the previous sections and are comprehensively outlined in the following table. The following section, entitled 'Management Strategy' addresses any issues raised. In dealing with development proposals within the area the Council will be mindful of securing opportunities to address/overcome such issues or any subsequent pressures.

Problems, Pressures and Potential for Enhancement	Address:	Description:
Proposals to demolish Metroland houses and replace with much larger scale and grander buildings	Throughout	<p>The 1930s houses are an important part of the integrity and authenticity of the CA and are generally of good to high architectural quality.</p> <p>The character of the houses along the minor roads and residential culs de sacs differs from those along Canons Drive as they are smaller scale and simpler. The addition of too much bulk risks disrupting the continuity of the streetscene, particularly where there are proposals to raise the pitch of the roof creating a crown roof finish.</p>
Two-Storey Extensions	Throughout	There is demand for significantly extending properties to the side, sometimes over the garage. However, this is likely to cause detrimental impact on the character of the property and on the street-scene by creating a terraced effect and not being clearly subordinate to the original design. If extensions are not carefully considered

Problems, Pressures and Potential for Enhancement	Address:	Description:
		<p>and respectful to the original design they create large expanses of additional bulk, detracting not only from the historic interest of the building but also from its architectural integrity and streetscape character.</p> <p>Where they enclose gaps between buildings they undermine the intended spacious character of the CA and glimpses of greenery.</p>
Roof extensions, changes to roof slopes increasing height of the buildings, dormers and excessive number of rooflights	Throughout	<p>Increasingly applications are being put forward for changes to roof pitches to accommodate additional space within the roof causing changes to roof profile. This can undermine the continuity of the streetscene and cause undue bulk in the streetscene.</p> <p>Bulky dormers and excessive number of roof lights detract from the character of the CA. This is particularly true for those visible from the streets or public areas.</p>
Removal/alteration of chimneys or chimney stacks, poor quality replacement roof tiles	Throughout	<p>Most of the houses have chimneys. These add character to the house and the CA. However, occasionally they have been removed / considerably altered.</p> <p>On occasion good quality clay tiles have been replaced with lesser quality concrete tiles detracting from the CA's character.</p>
Removal/greatly enlarging/enclosing original porches	Throughout	<p>Most of the original porches were open. This is part of the Tudor Revival style. Enclosing these or altering them to the extent that the original character is lost undermines the special interest of the CA.</p>
Windows	Throughout	<p>Many attractive original windows and good replicas (wooden/metal casement, leaded windows) remain throughout. These are increasingly being replaced with plainer, poorer quality UPVC windows.</p>
Front doors and garage doors.	Throughout	<p>The interesting detailing of the Tudor Revival style front doors and garage doors and quality of original timber design is sometimes being lost as they are replaced.</p>
-		

Problems, Pressures and Potential for Enhancement	Address:	Description:
Driveway paving	Throughout	At places inappropriate material is used such as pavements with pink to red shades which competes with the architecture of the house and are at odds with the informal style of the area. Also at times excessive amounts of front gardens have been covered over with hardsurfacing. This detracts from the intended soft and informal character of the CA.
Potential for archaeological works and the potential to extend/ introduce a new Archaeological Priority Area	Throughout	There is a great deal of history to this CA. In particular, an original Jacobean House was on the site of the current mansion and the Duke of Chandos had a vast estate. Archaeological works or a new Archaeological Priority Area designation could do much to reveal and protect more of this.

6.3.3 Public Consultation

6.96 This document was subject to 6 weeks of public consultation in 2013. Notification letters were sent to ward councillors, amenity groups (including the Stanmore Society and the Stanmore and Harrow Historical Society), the North London Collegiate School, the Conservation Area Advisory Committee and other stakeholders. It was available to view at a number of places, including the Council's website, Stanmore Library, the Civic Centre Library and the Planning Services reception at the Civic Centre. Posters were put up within the CA. Copies of the document were available on the internet and there was an opportunity to comment directly into the Objective software. A public meeting was held and there was an opportunity to provide comments and discuss the document in person. The Conservation Team also offered to hold separate meetings with interested parties to discuss the document. The responses were used to strengthen the document. It was adopted as part of the Stanmore and Edgware CAs Supplementary Planning Document, as part of the Council's Local Development Framework.

6.4 Conservation Area Management Strategy

6.4.1 Purpose of the Strategy

6.97 Conservation Area Appraisals provide an analysis of the character and appearance of CAs to identify elements that should be protected and opportunities for change, improvement or enhancement. This management strategy uses this analysis to look forward and set out how the area's character will be preserved or enhanced. It sets out guidance and controls to protect and preserve the area and actions to enhance it. Each section is linked to the relevant policy guidance, providing the framework for the future management and enhancement. The following proposal statement provides a list of actions, related to pressures, issues or opportunities for enhancement identified in the previous section.

6.98 Unless otherwise stated, the following should be regarded as a statement of intent. There are no set time limits. However, it is important to note that Conservation Area Appraisals and Management Strategies will be reviewed every 5 years.

6.4.2 Management Proposals

6.99 Pressures, issues and opportunity for enhancement are outlined in the linked Conservation Area Appraisal and are addressed in the following table.

Problems, Pressures and Potential for Enhancement	Address:	Description:
Proposals to demolish Tudor Revival/Metroland houses and replace with much larger scale and grander buildings	Throughout	There is a presumption against demolition of houses that contribute positively to the character of the CA. Where the existing is beyond repair/structurally unsound and replacement is considered appropriate, the council will expect the replacement to preserve the character of the area.
Two-Storey Extensions	Throughout	Extensions are encouraged to maintain the spaces/gaps between buildings and not reduce overall spaciousness and perceptibility of garden trees.
Roof extensions, changes to roof slopes increasing height of the buildings, dormers and excessive number of rooflights	Throughout	The Council encourage roof extensions to be contained within the existing roof slope and otherwise carefully considered so that they harmonise with the scale and character of the house. It is recommended that dormers are set to the rear and are the size of window openings only rather than boxy roof extensions for which the main aim is to create space. The size of windows are encouraged to be determined by the originals on the dwelling. It is recommended that roof lights are of conservation style ie small and flush with the roofline, and not so many that they clutter the roof.
Removal /alteration of chimneys or chimney stacks and poor quality replacement roof tiles	Throughout	The retention of chimneys is encouraged. An Article 4(2) Direction which would require planning permission for roof alterations and for alterations to chimneys is proposed, apart from along Lake View where it is considered roof tiles and chimneys have already been replaced or altered unsympathetically.
Removal/greatly enlarging/enclosing original porches	Throughout	In designing such proposals, it is encouraged that reference is made to this appraisal including its design guide. An Article 4 (2) Direction is proposed for the residential houses which would require planning

Problems, Pressures and Potential for Enhancement	Address:	Description:
		permission for such works, with the exception of Lake View where there are already a number of less sympathetic porch alterations.
Windows	Throughout	Residents are encouraged to repair existing windows wherever possible rather than replace them and, where replacement is necessary, are encouraged to match in material and design. If heat insulation is an issue there are many methods of upgrading existing windows such as secondary glazing or sympathetic double glazing. An Article 4 (2) Direction for the residential houses which would require planning permission for replacements is being proposed with the exception of Lake View.
Front doors and garage doors	Throughout	The repair of existing wherever possible is encouraged rather than replacement. Where replacement or enlargement is necessary a match in material and similar design is encouraged. An Article 4 (2) Direction which would require planning permission for replacements is proposed for residential houses, with the exception of Lake View.
Driveway paving	Throughout	An Article 4(2) Direction is in place to manage this. Residents are encouraged to retain the soft landscaped character of the CA.
Potential for archaeological works and the potential to extend/introduce a new Archaeological Priority Area	Throughout	Consult with English Heritage on the possibility for a new or revised Archaeological Priority Area designation.

6.4.3 Reviewing the Conservation Area's Boundaries and the Setting of the Conservation Area

6.100 Having considered the immediate surrounding areas it is not considered appropriate at this stage for the CA boundary to be amended. The CA is well defined by the edges on all the sides such as railway line on the west side; Edgware High street on the east side; and rear side of the residential gardens and public parks on the north and south side.

6.101 However, it is important to note that since the Canons Park Estate covered quite a wider expanse than the CA's boundaries there are elements within the setting of the CA that make an important contribution to its setting (see the 'Landscape Qualities' section).

6.4.4 Article 4 Directions

6.102 The standard planning controls for a CA can be found in the Council's leaflet, 'Conservation Areas - Residential Planning Guidelines' via www.harrow.gov.uk/conservation. Adding to these planning controls, an Article 4 direction was introduced in June 1991 removing some of the 'permitted development rights' normally associated with residential property. However, in sensitive areas such as CAs these 'permitted development rights' can result in works that detract from the character of the area.

The Canons Park Article 4 Direction requires planning permission for the all residential properties within the Conservation Area for the following:

- The provision of a hard surface within the curtilage of the dwellinghouse.
- The installation, alteration or replacement of a satellite antenna.
- The erection, construction, maintenance, improvement or alteration of a gate, fence wall or other means of enclosure.
- The formation, laying out and construction of a means of access to a highway.

6.103 This review of the CA has shown that it contains a good proportion of original or replica features to the residential houses in terms of windows and decorative detail, including porches, chimneys, front doors and garage doors, that contribute greatly to the area's special interest. Until now there has been little preventing the removal of these and installing replacements that are not sympathetic to the area's special character. This is particularly clear along Lake View. It is therefore proposed that an Article 4 (2) direction is introduced to residential houses to require planning permission for such changes fronting a highway, waterway or open space, with the exception of Lake View where it is considered the proportion of non-original replacement features makes such a control unnecessary. This is justified further in the 'problems, pressures and opportunities for enhancement' and 'management strategy' sections.

An Article 4 direction is being introduced to require planning permission for the all residential properties within the Conservation Area (with the exception of those along Lake View) for the following works where it faces a highway, waterway or open space:

- All additions/alterations to a building, including the alteration or replacement of windows or doors.
- Alterations to the roof of the dwelling house including the replacement of roof tiles (with the exception of 2 Rose Garden Close).
- The installation, alteration or replacement of a chimney(with the exception of 2 Rose Garden Close).
- The construction of a porch outside a front door.

Subject to consideration of any representations received, this Article 4 direction will be formally confirmed within 2 years.

6.4.5 Support

6.104 Relevant parties can contribute to the preservation and enhancement of the CA. These include: local residents, property owners, and local societies such as the Canons Park Estate Residents Association and Harrow Historical Society and national societies such as the Garden History Society, the Society for the Protection of Ancient Buildings, the Victorian Society, The Georgian Group and the 20th Century Society. They should be involved in all stages of devising ideas for management and enhancement of the area.

6.105 The above enhancement and improvement proposals and other possible future schemes can require funding. Much of the works would need to be completed by private owners but the council will continue to apply for grants wherever possible, for example, to the Harrow Heritage Trust. There may also be scope for securing planning gain funds towards improvements to the public realm, where the Council is responsible for these. In line with English Heritage's guidance it is essential when planning works within CAs that a considered approach, which preserves or enhances the area's character or appearance, is adopted. Where a conflict with general planning and highways policies occur special care must be taken to find a solution that meets both the needs of the local community and the historic environment.

6.4.6 Guidance

6.106 To ensure consistent decision-making the following guidance has been identified as being of key relevance to this area with reference to the conservation area appraisal:

Maintaining Canons Park Estate Conservation Area's Townscape and Built Character

To ensure that the character of the conservation area, and its setting, is both preserved and enhanced, all new development should:

- a) Respect the existing layout and historic form of the townscape and streetscene, especially its building lines and heights, and not diminish the gap between buildings;
- b) Complement existing buildings in terms of bulk, design, siting, detailing, scale, materials and use. Any extensions will be encouraged to be at the property's rear and subservient in scale to the original property, as well as match the existing house in design and materials;
- c) Not entail side extensions that significantly reduce the gap between buildings or diminish the architectural balance or detailing of the main building;
- d) Respect and harmonise with existing buildings in terms of design, siting, detailing, scale and materials;
- e) Avoid impeding views between buildings or into areas of open space;
- f) Retain original design features (as identified within the character appraisal, such as timber and leaded windows, bay windows, bricks pattern, prominent chimneys, canted bay window, cantilevered wooden bay, brickwork, straight and curved timber gable details and original doors or garage doors) and where replacement is necessary, the architectural detailing should closely match that of the original. Replacement features constructed of non-traditional materials will be resisted;
- g) Not involve the painting of unpainted brick surfaces;
- h) Ensure material alterations to buildings protect the appearance of elevations that face onto a highway, including alterations to chimneys and rooflines. Dormers and rooflights on front and side roofslopes will be discouraged.
- i) Retain visually important boundary treatments which are a characteristic of Canons Park Estate's CA. Replacement fencing should replicate the originals and reuse materials where possible;
- j) Not entail the positioning of satellite dishes and aerials in prominent positions;
- k) Not usually entail change of use to flats and other institutional uses; and
- l) Ensure microgeneration equipment is carefully sited to protect streetscene views and built fabric.

Maintaining Canons Park Estate Conservation Area's Greenery and Open Spaces

To ensure that the soft character of the conservation area is both preserved and enhanced

Harrow Council will:

- a) Encourage the retention and improvement of both public and private green spaces and open land, including trees, hedgerows and grass verges;
- b) Discourage development on existing areas of open land that contributes to the character of the conservation area;

- c) Further protect trees, and groups of private trees, by creating additional Tree Preservation Orders where appropriate.
- d) Discourage development that adversely affects significant trees.
- e) Seek to retain, or where necessary, replace street trees.

Maintaining Canons Park Estate's Archaeology

- a) Harrow Council recognises the archaeological importance of Canons Park Estate CA and its setting, and will help to protect these by continuing to consult with English Heritage to ensure appropriate action such as surveys are carried out before development commences.
- b) Where appropriate, and in discussion with English Heritage, the existing Archaeological Priority Areas will be revised, and/or new Archaeological Priority Areas created, to safeguard Canons Park Estate's archaeological remains

Maintaining Canons Park Estate's Streetscene

To ensure that the character of the streetscene is both preserved and enhanced, Harrow Council will:

- a) Refer to existing policy on telecommunications equipment or tall wind turbines are proposed.
- b) Encourage the utility companies to install the minimum amount of new and replacement street furniture and to locate this sensitively in suitable locations.
- c) Encourage the retention, or reinstatement, of traditionally designed street furniture and materials, such as street lamps and paving.
- d) Encourage street furniture to be well sited and designed and for redundant and unsightly street furniture to be removed where opportunities occur.
- e) Encourage the retention of original floorscape materials, such as granite kerbs and grass verges will be encouraged and wherever practicable, use of appropriate materials in replacement floorscapes.

6.5 Canons Park Residential Design Guide

6.5.1 Introduction

6.107 This design guide provides guidance to inform sympathetic design for proposals within Canons Park Estate CA.

6.5.2 Design Guidance

6.5.3 Guidelines for New Works and Alterations/Extensions

6.108 Proposals need not exactly replicate existing characteristics, but should recognise that similarity of form and detailing is a strong feature of this conservation area. Some properties' design depend upon asymmetry or symmetry. Extensions are encouraged not to compete with, nor overpower, the existing form and scale of the original dwellinghouse. It is therefore recommended to set extensions back from the main or front elevation so as to appear subordinate and to avoid the obvious joint of new meets old and that the existing roof profile and ridge height is respected with new roofs to two-storey extensions set down from the main roof, but still replicating the original pitch. Extensions that wrap around two or more elevations can greatly detract from the integrity of the original building's form and architecture.

6.5.4 Building Lines

6.109 The estate layout relies upon regular open spaces, ranging from garden areas to passageways between houses, in order to create a relatively low to moderate density and informal feel. It is therefore encouraged that extensions do not reduce these spaces if in so doing they prejudice the densities of development.

6.5.5 Single Storey Rear Extensions

6.110 With single storey extensions it may be difficult to achieve a roof form that is functional yet also respectful of the architecture of the main building. Ideally, such extensions should have a pitch roof that replicates the form and degree of pitch of that of the main roof. Mono-pitch or lean-to style roofs can often be sympathetically introduced on smaller extensions subject to individual house design and layout. However, sometimes achieving a pitch at the correct angle is not possible because it would impact upon first floor windows and/or eaves. Then alternative forms of roof are recommended that respect the traditional character of the houses. On occasion flat roofs may be appropriate with brick on edge on tile creasing detail.

6.5.6 Two Storey Rear Extensions

6.111 Two-storey extensions appear best when finished with gabled or hipped roofs that match the original. Two-storey flat or crown roofed extensions are not usually appropriate being at odds with the architectural character of the area. Where a two-storey extension compromises the original form of the house or openness of the area, they are not usually appropriate.

6.5.7 Loft Conversions

6.112 These houses are predominantly two storeys, although the storey heights differ. Hipped or half hipped, and gable roof profiles are common features. Sometimes there are traditional steeply pitched roofs to the houses sometimes with original dormer windows. There is often potential for roof dormers, usually to the rear elevations, subject to the following:

- General Council guidelines provide for at least 1 m set up from the eaves level and that no part of the dormer structure should be closer than 0.5 metres, ideally 1m from either side of the roof edge and/or chimneys. More distance will normally be required on properties in this area to ensure that the visual impact of any dormer windows is kept to a minimum. Usually

they should be the scale of window openings only and not boxy roof extensions, the main aim of which is to create space. The size of windows (and therefore the dormers) is encouraged to be determined by the originals on the dwelling.

- The design of the dormer window appear best where they reflect the features of the roof into which it is set and also the architectural detailing, such as the fenestration, of the building. Dormer roofs can often be hipped to reduce their bulk and correctly matching roofing materials should be used.
- Proposals for raising roof ridge heights or the altering the pitch of roofs are not usually appropriate given the disruption to the continuity of the streetscene and additional bulk this can create.
- Rooflights are encouraged to be set to the rear elevations and their number as few as possible. They should be of 'conservation' style that can be set below or flush with the roof plane.

6.5.8 Porches

6.113 As part of the Metroland and Tudor Revival styles there are a variety of porch designs including tiled ones and those recessed under an arch. It is encouraged that these are retained where possible, or replaced in replica, to retain the CA character.



Picture 6.95 Canons Drive



**Picture 6.96
Rose Garden
Close**



**Picture 6.97
Canons Drive**



**Picture 6.98
Canons Drive**

6.5.9 Garages

6.114 Most houses have good traditional single timber garage doors in the Tudor Revival style. If a larger garage door is required to accommodate a modern car, or doors are beyond repair, then a match in style and material is encouraged to maintain the special character of the area. Modern plastic doors are not usually a suitable replacement.



Picture 6.99 Garage Door



Picture 6.100 Garage Door

6.5.10 Satellite dishes

6.115 Satellite dishes and other antennae, as well as micro-generation equipment, such as solar panels and wind turbines, can spoil the traditional appearance of individual buildings and should therefore be sited as sensitively as possible. Rear elevations away from the streetscene, and rear gardens, provide most suitable locations.

6.5.11 Brickwork and Painting

6.116 For both repairs and new work it is important that brickwork and its detailing (colour, finish, type of bond and style of pointing) matches the original. Many properties feature attractive detailing such as decorative brick patterns (herringbone, fan etc). Such features would benefit from retention, repair and replication in new works. Where repointing, or new work is necessary, care should be taken to ensure that the style of pointing is appropriate. Mortar mixes should not be too hard, that is containing a high level of cement, as this damages brickwork.

6.5.12 Boundary Walls

6.117 Low brick wall, hedge, trees, and low fences are the predominant boundary enclosures. Where gates are used, usually these are timber with a permeable design. To retain the soft, suburban character it is recommended that these characteristics are maintained.

6.5.13 Roof Tiles

6.118 If remedial roof work becomes necessary, ideally original clay tiles should be replicated in terms of colour, size and detailing.

6.5.14 Replacement Doors and Windows

6.119 Many houses retain original wooden front doors. There are a variety of door designs in the area; most are of a simple heavy style in unpainted dark wood or stained or natural wood. Some are similar to the early 17th century style - a solid planked door with studded vertical strips. The original finish for the doors would have been varnish rather than paint. Original doors can be repaired where possible or if necessary replaced in replica. Plastic doors, or those of more contemporary design, are discouraged. Changes from a single to a double front door very often creates a grand character at odds with the traditional Metroland character of the buildings. For garage doors see the 'garages' heading above.

6.120 As a planned estate inspired by the Tudor Revival style, many of the windows are timber or metal casement with leaded lights. This contributes to the continuity of the CA and are an essential part of the architectural composition of the houses. Some of the properties along Canons Drive have distinctive windows some coloured patterned glazing adding special character.

6.121 Where replacement has happened in the past many try to replicate the originals with varying degrees of success and suggest general understanding and willingness to retain the appearance of these features. Ill-considered alterations though have a significant detrimental effect on the appearance of the CA. Like for like replacements are therefore encouraged in design and materials where replacement is needed. Where double glazing is proposed, proposals should take care to ensure glazing bars do not appear stuck on and that any spacer bars are of a recessive colour.

6.5.15 Roof Lights and Chimneys

6.122 Chimneys are a particularly important architectural feature and provide interest and continuity to the roofscape of this area. They vary in size and detailing. On semi-detached properties the chimney stacks are sited centrally and provide an important visual element in their symmetry. It is encouraged that chimneys are retained, even if no longer used, as the whole architectural integrity of a house can be severely prejudiced by their loss. If absolutely necessary, unstable chimneys could be taken down and rebuilt. Chimneys can remain useful by providing controllable ventilation. If unused, fireplaces are fitted with grilles and the chimney tops fitted with ventilating top cowls.

6.5.16 Hardsurfacing

6.123 Front areas were originally laid out as gardens though most houses were designed with garages accessed from driveways constructed of traditional grey asphalt or natural stone laid in crazy / random pattern and similar materials. Increased hardsurfacing gives a more urban feel, especially when sections of boundary fencing or hedging are lost.

- **Appropriate Design, Materials, Colour and Expanse of Paving**

Materials: should be in keeping with the Metroland style, which relies on traditional natural materials in association with abundant planting. Generally, the harder and more impermeable the materials, the more visually and environmentally damaging large areas of surfacing become. Appropriate materials are:

A) Grey asphalt - This is a traditional surface material that is widely found in the CA. This however is a non permeable material which causes water to run off rather than to drain away and so should be limited to very small areas.

B) Bricks/Paviours - Bricks or paviours of appropriate materials and colours can be used for repair/resurfacing of footpaths. However, these materials are not appropriate when used in large expanses of driveway, where the massing of strong colours and regular shapes is often visually overwhelming, dominating the house and garden.

C) Setts - These are small square or rectangular paving units which are made of stone. Setts should be laid in random courses, to retain the informality in the streetscene.

Colour - Grey, light or natural colours are the most successful. Reddy-brown, red, pink or other brightly coloured materials generally look out of place and can clash and compete for attention with the main building and should therefore be avoided.

Grass verges - It is important that crossovers do not cut through existing grass verges

Expanse of paving - It is recommended that the hard surfaced area is permeable and kept to a minimum, so that the soft, natural and green appearance of the CA is not depleted and flood risk is reduced. Front gardens should remain as gardens, not car parks. It is unrealistic to expect cars to be accommodated side by side without compromising the appearance of the property. Lake View in many cases serves as a warning to keep hardsurfacing contained within less than half of the front garden.

The Department for Communities and Local Government have provided guidance on driveways, which describes permeable materials that may be appropriate. This can be found at:

www.communities.gov.uk/documents/planningandbuilding/pdf/pavingfrontgardens.pdf

Locally Listed Buildings

Supplementary Planning Document



December 2013

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1 Introduction

1.1 Introduction

1.2 Harrow benefits from an exceptionally diverse historic environment. The borough has over 300 statutorily listed buildings, 28 conservation areas, 4 registered historic parks and gardens, 9 scheduled ancient monuments, and 9 archaeological priority areas. All of Harrow's statutorily listed buildings have met specific criteria to justify their designation by the Secretary of State (for the Department of Culture, Media and Sport) as being significantly important to our national heritage.

1.3 However, there are many other buildings and structures throughout Harrow, which do not meet the criteria for national statutory listing and/or are not within designated areas but are nonetheless considered by the public and the Council to have particular special local historical and/or architectural merit. These buildings/structures reinforce local distinctiveness and a sense of place and their local value deserves recognition through inclusion on the Local List for Harrow.

The distinction between Listed and Locally Listed buildings

1.4 The difference between the Statutory List and the Local List is essentially the level of control. Listed buildings, as well as the unlisted buildings in conservation areas, have statutory protection and enjoy various degrees of protection against alterations and demolition. Any works (internal or external) which affect the special interest of a listed building requires Listed Building Consent. This ensures that the very best of Harrow's architectural heritage is protected in the national public interest.

1.5 The control of works on a locally listed building or structure is more limited, with protection managed through the normal planning process. However, whilst buildings and structures on the local list are not subject to any additional planning controls over alteration or demolition, their local historical and/or architectural value deserves preservation. Therefore, when the Council considers any planning application for works to a locally listed building they will take its special local architectural or historic interest into account before making a decision. The Council will also strongly discourage the demolition of any buildings on the local list and will seek to encourage their retention, restoration and continued beneficial use wherever possible.



Picture 1.1 Former Police Station, West Street, Harrow on the Hill

Purpose of the SPD

1.6 We have a local list to ensure that the special interest of these buildings and their contribution to local distinctiveness is recognised when decisions are made affecting their future. It can provide potential candidates for statutory listing.

1.7 The purpose of this Supplementary Planning Document (SPD) is to provide good practice advice and guidance to the owners and occupiers of locally listed buildings for their maintenance and conservation and also to provide advice on the relevant planning controls.

1.8 The aim of the SPD is to ensure that the special features of a building, which contributes to its local importance, are retained and, where works are proposed, these are sympathetic in terms of design, materials used and methods employed. It also explains how Harrow's Local List has been created, the criteria for including buildings and structures on the Local List, and explains the implications of inclusion on the Local List.



Picture 1.2 Half Moon Public House, Roxeth Hill

Status of this SPD

1.9 This SPD supplements policy DM 7A: *Heritage Assets* of the Harrow Development Management Policies Local Plan and is a material consideration in the determination of planning applications affecting locally listed buildings.

1.10 The policy that the SPD supplements has been subject to Sustainability Appraisal. The SPD has been prepared in accordance with the requirements of the Part 5 of the Town and Country Planning (Local Planning) (England) Regulations 2012 and having regard to the National Planning Policy Framework (paragraph 153). The SPD was the subject of public consultation from 11th July 2013 to 5th September 2013. The consultation was undertaken in accordance with Council's Statement of Community Involvement and the comments received were considered and amendments made to take these into account. The SPD has also been screened and the Council has determined that a full Strategic Environmental Assessment is not needed.

2 Local Listing

2.1 The Local List is a locally designated register of buildings and structures of historical and architectural interest, which is important to the local environment. Local listing is not a statutory requirement. Local Planning Authorities can choose to establish a Local List, to reinforce efforts to preserve the character and appearance of the buildings that are included on it. Local Listing is encouraged in national heritage guidance and has been adopted by many planning authorities.

2.2 Buildings are usually locally listed in their entirety but some parts of locally listed buildings may be more important than others and some parts may not be of interest. Each locally listed building has its own local list description which is available upon request from the Council. This usually provides an indication of the building or structure's special interest but is not exhaustive. Since the 2012 review the local list descriptions are more detailed but prior to this were usually just put together for identification purposes.

Harrow's Local List

2.3 Harrow's Local List stems partly from the 1983 review of listed buildings. Until then another category of statutory listed building known as Grade III existed. Many were upgraded to Grade II, but not all qualified. The Council therefore included the remaining in its Local List. Further additions to the Local List resulted from a 1990 Borough-wide environmental survey and more recently, from work undertaken with local amenity and conservation groups.

2.4 Harrow's Local List forms an appendix to this document and comprises approximately 757 buildings and structures, structured according to street name. The local list will be kept under constant review and will allow for further inclusions onto it on an ad-hoc basis. This ensures that the register is up-to-date and takes into account new information and changes in the built environment. Buildings will be removed from the local list if they become listed on the statutory register, are demolished or due to unsympathetic works are no longer of value to warrant inclusion on the list. Further details on the criteria for Local Listing and how to nominate buildings and structures for inclusion on the Local List are set out below.

2.5 For the most up-to-date version of Harrow's Local List, please visit the Council's website: <http://www.harrow.gov.uk/locallylistedbuildings>.



**Picture 2.1 Pinnerwood Cottage,
Woodhall Road, Pinner**

Nominations and the criteria for the selection of buildings and structures to be included in Harrow's Local List

2.6 The Local List is kept under review and anyone can make nominations. We encourage the following is provided in order to consider additions/deletions, though we recognise that this may not be possible in all instances:

- Name and address of the building / feature
- Reason for nomination referring to selection criteria
- Photographs including the entire building / feature
- History if known
- Other relevant information

2.7 The selection criteria are based upon those for statutory listing, with additional local considerations:

- Architectural interest - including architectural design, decoration and craftsmanship and/or are good examples of a particular type of building;
- Townscape/Group value - including important contributions to unified architectural or historic groups, areas of planned townscape, or the local townscape. Some groups of buildings have character and good architectural qualities. Collectively these groups can contribute significantly to the townscape, and merit listing as a group within the local list.
- Historic interest - illustrating aspects of local/national social, economic, cultural or military history;
- Close historical associations - with locally/nationally important people or events.
- Additional factors taken into account include its rarity, relationship to designated landscapes, evidential value, the likely age of the building, the authenticity of the building (i.e. the degree to which it has been altered and the loss of the fabric), technical significance (buildings that display exceptional innovation and craftsmanship) and the effect on the character of the local environment if it were to be lost.

2.8 Following receipt of a recommendation the Council's conservation team will conduct their own research. If considered necessary, it will put forward a report to the Local Development Framework Panel requesting the Panel recommend that the Portfolio Holder agree the addition/deletion of said building to the Local List.



Picture 2.2 Ad Astra Orangery, Priory Drive, Stanmore

Implications of inclusion in the Local List

2.9 The inclusion of a building/structure on the Local List does not change the existing planning controls that already apply to these buildings, including their demolition. Inclusion on the Local List is also not primarily intended to restrict development, but will seek to ensure that any proposals take into consideration the local significance of the building. The only real implication therefore of including a building or structure on the Local List is that it will change the level of consideration given by the Council to preserving the buildings' character and appearance when planning proposals are assessed.

2.10 This means that this SPD will be a material consideration in assessing any proposals. In which case, the Local Planning Authority (LPA) will consider in a planning application for works to a locally listed building, any special local interest in relation to the property before a decision is made. Many development works, such as, external alterations, extensions and changes of use will need planning permission from the Council. Any proposals put forward are expected to respect the particular character and interest of the building. Guidance on how this might be achieved is set out in the following section of this document.



Picture 2.3 John Lyon School, Middle Road, Harrow on the Hill

2.11 Local listing can also provide potential candidates for national listing. If considered worthy an application can be completed on the English Heritage website available at this link: www.english-heritage.org.uk/ via the 'nominate a heritage asset' heading. Anyone can do this but it may be worth putting a building forward to the Council's conservation officer beforehand or one or more National Amenity Societies to seek their views on the potential for listing. This is because as of 2013 unless a structure is transparently listable or under acute threat, it may be rejected. The Council's conservation team put buildings forward from time to time. If there are concerns that a building worthy of national listing is under imminent threat of demolition or damage then the Council can serve a Building Preservation Notice on its owner and occupier. This means the building is effectively statutory listed for 6 months, giving English Heritage time to assess whether it is worthy of such protection.

3 Guidance on works to buildings/structures on the Local List

3.1 The inclusion of a building on the Local List does not affect the planning rights relating to the building. Permitted development rights remain unchanged⁰ and the requirements for when planning permission is required also remains the same. However, where an application is submitted to the Council for its alteration, extension or demolition, the special interest of the building will be taken in to consideration and its local listing status will be a material consideration when determining the application.

3.2 When considering proposals for development affecting buildings on Harrow's Local List, the Council will assess the proposed development using the following guidance. Where the Council has no control over the repair, alteration, extension or demolition of a building on the Local List it is hoped that this guidance will serve as a best practice guide for owners and occupiers.

3.3 It should be noted that while a building may be locally listed that this does not necessarily mean that the whole of the building is of architectural or historic interest. For example, the front elevation of a property might be Victorian and have local importance to the street scene but the rear of the property may have already been extended or adapted at later dates. As such, the Council will have regard to the precise nature of any planning applications for alterations or extensions of locally listed buildings and, in particular, whether the proposal relates to or affects that part of the subject building which is of architectural or historic interest.

3.4 If you are proposing to undertake works to a locally listed building, and are unsure whether planning permission is required or not, then please contact the Council's Conservation Team on 020 8736 6101 or conservation@harrow.gov.uk for advice. Alternatively, an application for a certificate of lawful development could be sought either before works or after works to get a formal decision from the Local Planning Authority as to whether or not planning permission is needed. It is recommended that, where possible, this is sought prior to works. The application form can be found via Harrow's planning pages at: www.harrow.gov.uk/planning.



**Picture 3.1 Christian Science Church,
Elm Park Road, Pinner**

Unless expressly removed by means of an Article 4 Direction. An article 4 direction is made by the local planning authority. It restricts the scope of permitted development rights either in relation to a particular area or site or building. Where an article 4 direction is in effect, a planning application may be required for development that would otherwise have been permitted development.

Maintenance and Repairs

3.5 Owners are encouraged to carry out regular maintenance in order to safeguard the historic fabric and avoid the need for more costly repairs in the future. A 'repair rather than replace' approach is encouraged to retain historic fabric and authenticity including doors, windows, chimneys, roofs, bargeboards, facing materials, boundary materials etc.

3.6 Materials and Methods - The use of traditional materials and methods is encouraged since building materials often play a large part in defining character e.g. brick walls, natural slate or clay tile roofs, timber windows and doors, metal decorative roof features etc. See also the 'windows and doors' section.



Picture 3.2 Traditional materials and methods to Orchard Cottage, Harrow Park, Harrow on the Hill

3.7 Exterior Details - It is encouraged that historic details are retained wherever possible since these usually make an important contribution to character. If they must be replaced, a like for like replacement is encouraged.



**Picture 3.3 Detail of Pinnerwood Farm,
Woodhall Road, Pinner**

3.8 Windows and Doors- Original and traditional windows and doors (e.g. timber and metal windows including Georgian iron casements and 20th century Crittalls) are a key part of the architectural composition of most buildings. Insensitive replacement doors and windows can seriously detract from special interest. As such the Council strongly recommends retention of original windows and doors, especially those that front or are visible from the street. However, the Council acknowledges that such a request may be at odds with the desire of owners and occupiers to reduce their overall maintenance requirements and to improve the energy efficiency of the building and its living environment. In order assist people in making this decision, the Council would offer the following considerations:

- Repair can be cheaper than replacement, even over the long-term. Historic timber windows and doors are usually of better quality hardwood than anything sourced today, so do last longer if appropriately maintained.
- Metal windows which appear to be well beyond repair can usually be restored, and at less cost than like for like replacement.
- Surface rust often looks much worse than it really is, occupying up to seven times the volume of unoxidised metal.
- Aluminium and UPVC windows do not last for ever – they too will require maintenance and repair over time, which can often be more difficult and costly than the maintenance of traditional wooden windows - usually resulting in owners opting to replace them again rather than repairing them.
- Standard products can rarely reflect the carefully considered proportions and detailed mouldings of historic ones. Plastic or aluminium windows have thicker framing than timber windows and many are hard edged, with two dimensional detailing that fails to replicate the soft edges or mouldings of original timber windows. They are also normally manufactured in standard sizes,

which cannot be easily altered without significantly adding to their cost. As a result, they cannot visually replicate historic timber windows, resulting in an appearance that is therefore usually quite different and not usually sympathetic to the historic building.

3.9 Where replacement is necessary, it is recommended that new work matches the originals in materials and detailing as far as possible.

3.10 Further advice is provided at: www.english-heritage.org.uk Further, the building conservation directory at www.buildingconservation.com and the Institute of Historic Building Conservation at <http://www.ihbc.org.uk/hespr/> both have a list of conservation specialists who can offer advice on suitable replacements for traditional windows and doors.



Picture 3.4 Original window detail to Pinnerwood Farm, Woodhall Gate



**Picture 3.5 29 Middle Road,
Harrow on the Hill**

3.11 Energy Efficiency –These measures are generally welcomed where a balanced judgment is made against preserving the special interest of the locally listed building. The following options are recommended and are usually cost effective and sensitive alterations to historic buildings and often would not require planning permission:

1. other forms of insulation e.g. wall or roof.
2. draught proofing - Some types simply act as gap fillers, and are applied as mastic or foam. Other forms keep out the weather by means of a snug, slightly oversized fitting, comprising silicone rubber tubes, polypropylene and nylon-filled pile brushes, or with rubber, polyester, or sprung-metal Z and V fins.
3. Whilst simplistic, curtains can be made with thicker material, or even of a quilted material with an insulating filling. Reflective coverings can reflect heat back into the room and make sure that escaping down draughts from between the window.
4. Lightweight secondary glazing - This uses framed glass panels, which are attached on top of existing window frames internally. It is cheaper than double-glazing, very effective and has the added benefit of ensuring there is minimum change to the external appearance of the building. Planning permission would not be required if internally fitted.

3.12 The Council would strongly discourage against the use of double glazing, especially for those locally listed buildings built pre-twentieth century. This is because such units often fatten the dimensions of glazing bars inappropriately, or result in extremely poor facsimiles stuck to the face of the glass, negatively impacting on the visual appearance of the historic building. It is encouraged that where it is being considered it should be carefully detailed so that glazing bars do not appear artificially stuck on a single pane of glass. Planning permission is not always required for such works. If it is, a cross section drawing showing how this would be integrated is useful to ensure the appearance would be in keeping.

3.13 For further information please refer to English Heritage's 'Building Regulations and Historic Buildings: Balancing the Needs for Energy Conservation with those of Building Conservation' (2002) and 'Practical Building Conservation, Glass and Glazing' publication (2012).

Alterations and Extensions

3.14 In some cases external and internal alterations to the building may be a desirable course of action to ensure buildings remain fit for purpose and can also help with maintenance and preservation. The building does not have to be preserved exactly as it is, however the Council requires any external alterations to be sympathetic and of high quality.

3.15 Proposals affecting buildings on the local list should ensure that they preserve its local interest by respecting the building's design, appearance and any architectural or historical features in the design of any extensions or alterations. Wherever practicable and appropriate, materials appropriate to the building's special local interest should be used.

3.16 When designing extensions to locally listed buildings it is important that the character and setting of the building is not harmed, and that the extension relates appropriately in scale and massing. Extensions should be subservient to the building in height and massing.

3.17 It is important that extensions and alterations to buildings on the Local List do not compromise elements of the building which are of historic or architectural interest. Extensions can be of an historic style to match the building, or adopt a contemporary approach. If an historic approach is adopted it is important that historic accuracy is employed, with regard to detailing, materials, colour and scale. If a contemporary approach is considered appropriate, a high quality of design detail and materials is essential, and the scale of the extension should respect the historic building.



Picture 3.6 83 West Street, Harrow on the Hill

3.18 Out Buildings - New buildings in the grounds of buildings on the Local List, or in close proximity, should ensure that the setting of the locally listed building is not compromised. Where appropriate, the new developments should preserve positive settings, and enhance settings which are poor. This can be achieved through appropriate positioning, layout, design and landscaping. Elements which are likely to contribute to positive setting of buildings are:

- The historic arrangement and layout of buildings
- Attractive views in to, from and through sites
- The relative levels of enclosure or openness of a site
- The use of landscape features to frame or enhance buildings or as a method of screening poor quality structures.
- The type and quality of surface treatments and historic surfacing.
- Historic boundary treatments

3.19 Micro-generation Equipment – These measures are encouraged as they can often be incorporated without harming special interest of the building. It is recommended that particular consideration is given to the special features of the locally listed building since for example solar panels on the front elevation of a locally listed building could be harmful to heritage values. English Heritage has guidance on various micro-generation equipment options for historic buildings via the Historic Environment: Local Management (HELM) website by entering 'energy' into the search engine.

3.20 Sky Lights and Dormers– For those seeking to install sky lights and dormers, the Council would encourage that close attention is paid to the location of these, proportions and visibility from the street to ensure they are incorporated appropriately within the buildings fabric. Often rear elevations will present the least obtrusive location. Where these are appropriate, scale and detailing should respond closely to traditional models, often requiring compromise with regard to size and number.

3.21 Advertisements and Signs– Where advertisements and signage are to be provided on a locally listed building, it is recommended that regard be had to the scale of the sign and the scale and character of the historic building upon which they are placed. Non-illuminated painted timber signage is often successful, occasionally with external illumination. Internally illuminated signs in modern materials are likely to compromise the particular character and interest of the building.



Picture 3.7 44 West Street, Harrow on the Hill



Picture 3.8 21 High Street, Harrow on the Hill

3.22 Landscape, including Hardstanding – Careful consideration should be given to the landscape treatment surrounding buildings on the Local List. Historic boundary treatments and surfacing contribute to the setting and to the wider landscape and should, where appropriate be preserved. The loss of areas of open greenness and trees can cause significant harm to the character of an area and the setting of historic buildings.



Picture 3.9 Pinnerwood Lodge, Woodhall Gate

3.23 Miscellaneous External Works– The Council recognises that, for historic buildings to provide the everyday comforts that occupant need or desire, certain external fixtures and fitting are required, such as satellite dishes, cables, external lights, vents, and air conditioning units. Such external fixtures and fittings can usually be fitted so they are quite unobtrusive, or are made available in range of sizes, designs and styles, offering a choice more suited to the architecture of the locally listed building.



Picture 3.10 38 West Street, Harrow on the Hill

Controls over Demolition

3.24 Given the contribution locally listed buildings make to the overall character of the Borough, the Council will endeavour to protect them from demolition where appropriate. If a building is within a conservation area planning permission is required for demolition. But, if a locally listed building is located outside of a conservation area, planning permission for demolition is not needed. However, notice should be given to the planning authority before demolition takes place. This will enable the Council to seek a record of the structure and/or setting prior to demolition, and to enable the Local List to be updated accordingly.

4 Contacts

- **For a first point of call for advice and discussion on the Local List, contact the Conservation Team on: 0208 736 6101, email conservation@harrow.gov.uk or Conservation, Place Shaping, Civic Centre, Station Road, Harrow, HA1 2UY.**
- Twentieth Century Society, 70 Cowcross Street, London, EC1M 6EJ. Tel: 020 7250 3857 Fax: 020 7251 8985 Email: caseworker@c20society.org.uk www.c20society.org.uk
- The Victorian Society, 1 Priory Gardens, Bedford Park, London, W4 1TT. Tel: 020 8994 1019 Email: admin@victoriansociety.org.uk www.victorian-society.org.uk
- The Georgian Group, 6 Fitzroy Square, London, W1T 5DX. Tel: 087 1750 2936 Fax: 087 1750 2937 Email: office@georgiangroup.org.uk www.georgiangroup.org.uk/
- The Society for the Protection of Ancient Buildings - <http://www.spab.org.uk/> 37 Spital Square, London, E1 6DY Tel 020 7377 1644 Fax 020 7247 5296 The Society runs a Technical Advice Line where members of the public are able to discuss their technical queries with a member of our technical staff. The line is open from Monday to Friday between 9.30 am and 12.30 pm on the following number: 020 7456 0916
- Ancient Monuments Society which is concerned with listed buildings of all ages and types, St Ann's Vestry Hall, 2 Church Entry, London, EC4V 5HB.
Telephone: 020 7236 3934 email: office@ancientmonumentsociety.org.uk
www.ancientmonumentsociety.org.uk/
- The Council for British Archaeology <http://www.britarch.ac.uk/contact>
- English Heritage, London Region, 1 Waterhouse Square, 138-142 Holborn, London, EC1 2ST. Tel: 020 7973 3000 www.english-heritage.org.uk
- Other Useful Contacts:
 - Building Conservation - <http://www.buildingconservation.com/>
 - Department for Communities and Local Government - www.communities.gov.uk
 - Planning Portal - www.planningportal.gov.uk
 - Royal Town Planning Institute - www.rtpi.org.uk
 - Royal Institute of British Architects - www.riba.org.uk
 - Royal Institute of Chartered Surveyors - www.rics.org.uk
 - Institute of Historic Buildings & Conservation - www.ihbc.org.uk

5 Appendix 1 - Locally Listed Buildings in Harrow

Street (alphabetical)	Building/Structure	Ward
Aa		
Alexandra Avenue, Rayners Lane:	Nos. 464 to 472 (even)	South Harrow
Altham Road, Hatch End:	Altham House	Hatch End
Angel Road, Harrow:	Former Methodist Church	Greenhill
Ashbourne Avenue	22 and 24	Harrow on the Hill
The Avenue, Hatch End:	Elmwood	Hatch End
Aylmer Drive, Stanmore:	No. 5 (Linden)	Stanmore Park
Bb		
Beaulieu Drive:	Heathfield School for Girls	Pinner South
Belmont Lane, Stanmore:	Aberdeen Cottages (Nos. 1 to 8)	Belmont
Belmont Lane, Stanmore:	The Quadrangle (Nos. 1 to 10)	Belmont
Belmont Lane, Stanmore:	Stuart Cottages (Nos. 2 to 8)	Belmont
Belmont Lane, Stanmore:	No. 40	Belmont
Bessborough Road, Harrow:	Nos. 111 to 113 (Kingsfield Arms Public House)	Greenhill
Bessborough Road, Harrow:	Nos. 40 to 42	West Harrow
Bessborough Road, Harrow:	Watering Trough (near to junction with West Street)	Greenhill
Bishop Ken Road	St Michael and All Angels	Wealdstone
Brickfields, Harrow on the Hill:	Inman House	Harrow on the Hill
Brickfields, Harrow on the Hill:	Giasfryn House	Harrow on the Hill
Brickfields, Harrow on the Hill:	Brickfields House	Harrow on the Hill

Bridge Street, Pinner:	No. 36	Pinner
Bridge Street, Pinner:	No. 60	Pinner
The Bridge, Wealdstone:	No. 21	Marlborough
The Broadway, Stanmore:	The Bernays Institute	Stanmore Park
Brockley Hill, Stanmore:	The Royal National Orthopaedic Hospital, three Lodge buildings and roadside wall and gates to Brockley Hill & Wood Lane	Canons
Brooke Avenue, South Harrow:	No. 41	Harrow on the Hill
Brookshill, Harrow Weald:	Hillside & Hillside Cottage	Harrow Weald
Brookshill, Harrow Weald:	Brookshill Cottage	Harrow Weald
Brookshill, Harrow Weald:	North Lodge	Harrow Weald
Brookshill, Harrow Weald:	Oak Cottage	Harrow Weald
Brookshill, Harrow Weald:	Oak Lodge	Harrow Weald
Brookshill Drive, Harrow Weald:	Copse Farm (formerly Wealdcopse Farm)	Harrow Weald
Brookshill Drive, Harrow Weald:	Barn to Copse Farm with Stable Range	Harrow Weald
Brookshill Drive, Harrow Weald:	Dairy Cottage, Farm Cottage and stables	Harrow Weald
Brookshill, Harrow Weald	Harrow College main block	Harrow Weald
Burnt Oak Broadway, Edgware:	Nos. 197 to 237	Edgware
Byron Hill Road, Harrow on the Hill:	No. 7	Harrow on the Hill
Byron Hill Road, Harrow on the Hill:	No. 4 (Greenbank)	Harrow on the Hill
Byron Hill Road, Harrow on the Hill:	Nos. 8, 10	Harrow on the Hill
Byron Hill Road, Harrow on the Hill:	Nos. 18 to 22 (even)	Harrow on the Hill
Byron Hill Road, Harrow on the Hill:	Nos. 12 to 16 (even)	Harrow on the Hill

Byron Hill Road, Harrow on the Hill:	No. 38	Harrow on the Hill
Cc		
Canons Drive, Edgware:	Nos. 10 to 14 (even)	Canons
Canons Drive, Edgware:	Nos. 18 to 28 (even)	Canons
Canons Drive, Edgware:	Nos. 36 to 40 (even)	Canons
Canons Drive, Edgware:	No. 32	Canons
Cannon Lane, Pinner:	Nursery Cottages	Pinner South
Chapel Lane, Pinner:	Nos. 1 to 2	Pinner
Church Lane, Pinner:	Church Cottage	Pinner
Church Lane, Pinner:	Elmdene	Pinner
Church Lane, Pinner:	Elmdene Cottage	Pinner
Clamp Hill, Harrow Weald:	No. 47 (Hermitage Gate)	Stanmore Park
Clamp Hill, Harrow Weald:	No. 58 (Brickfield Cottage)	Stanmore Park
Clamp Hill, Harrow Weald	The Cottage	Stanmore Park
College Road, Harrow:	Nos. 12 to 14	Harrow Weald
College Road, Harrow:	Nos. 146 to 164	Harrow Weald
College Road, Harrow Weald:	Nos. 8 to 12	Harrow Weald
College Road, Harrow Weald:	Nos. 32 to 34 (May Cottages)	Harrow Weald
The Common, Stanmore:	Three Chimneys	Stanmore Park
Common Road, Stanmore:	'Pill Box' Gun Emplacement (Bentley Priory Open Space)	Stanmore Park
Common Road, Stanmore:	Tanglewood	Stanmore Park
Common Road, Stanmore:	Tanglewood Lodge	Stanmore Park
Common Road, Stanmore:	Gate House to The Old Barn	Stanmore Park
Common Road, Stanmore:	The Lodge and Newland Lodge (formerly Priory Close)	Stanmore Park
Common Road, Stanmore:	Glenthorne Lodge	Stanmore Park

Crown Street, Harrow on the Hill:	No. 2	Harrow on the Hill
Crown Street, Harrow on the Hill:	No. 6	Harrow on the Hill
Crown Street, Harrow on the Hill:	Nos. 8, 10, 12	Harrow on the Hill
Crown Street, Harrow on the Hill:	No. 13	Harrow on the Hill
Crown Street, Harrow on the Hill:	Nos. 25, 27, 29	Harrow on the Hill
Crown Street, Harrow on the Hill:	No. 43	Harrow on the Hill
Crown Street, Harrow on the Hill:	Nos. 50, 52	Harrow on the Hill
Crown Street, Harrow on the Hill:	Two sets of Gate Piers to Oldfield House	Harrow on the Hill
Cuckoo Hill, Pinner Green:	The Cottage and Spindle Cottage	Pinner
Cuckoo Hill, Pinner Green:	Camden Row (Nos. 1 to 20)	Pinner
Cunningham Park, Harrow:	Nos. 31 to 33	Headstone South
Ee		
Eastcote Road, Pinner:	Nos. 42 to 48 (Oak Cottages)	Pinner South
Elm Park Road, Pinner:	The Lawns and Lawns Cottage	Pinner
Elm Park Road, Pinner:	Northend Cottage	Pinner
Elm Park Road, Pinner:	Red Cottage	Pinner
Elm Park Road, Pinner:	First Church of Christ the Scientist	Pinner
Elms Road, Harrow Weald:	No. 31 (Applegarth)	Harrow Weald

Ff		
Football Lane, Harrow on the Hill:	Science Schools (Harrow School)	Harrow on the Hill
Gg		
Gayton Road, Harrow:	Gayton School	Harrow on the Hill
George V Avenue, Pinner:	Pinner Park Farm, including Coach House & Stables, Cow Sheds & Barns	Pinner
Gordon Avenue, Stanmore:	Herondale, 26 and 28	Stanmore Park
Gordon Avenue, Stanmore:	4 Orme Lodge	Stanmore Park
Gordon Avenue, Stanmore:	No. 49 (Wykenham House)	Stanmore Park
Greenford Road, Harrow on the Hill:	The Rising Sun Public House	Harrow on the Hill
Greenford Road, Harrow on the Hill:	Signal Box, Sudbury Hill Railway Station	Harrow on the Hill
Green Lane, Stanmore:	Nos. 3, 4	Stanmore Park
Green Lane, Stanmore:	Nos. 1,2 Green Lane Cottages	Stanmore Park
Green Lane, Stanmore:	Nos. 11,12 Green Lane Cottages	Stanmore Park
Green Lane, Stanmore:	Nos. 1, 2, 3, 4 Franklin Cottages	Stanmore Park
Green Lane, Stanmore:	Nos. 1 to 4 Chart Cottages	Stanmore Park
Green Lane, Stanmore:	Hill Crest Cottages	Stanmore Park
Green Lane, Stanmore:	Olde Cottage	Stanmore Park
Green Lane, Stanmore:	The Cottage	Stanmore Park
Green Lane, Stanmore:	Fordyce	Stanmore Park
Green Lane, Stanmore:	Rylands	Stanmore Park
Green Lane, Stanmore:	Post Box	Stanmore Park
Green Lane, Stanmore:	Wall to Pynnacles Lodge & Cherchefelle Mews	Stanmore Park
Grove Hill, Harrow on the Hill:	Grove End	Harrow on the Hill

Grove Hill, Harrow on the Hill:	Elmfield	Harrow on the Hill
Grove Hill, Harrow on the Hill:	The Copse (Harrow School)	Harrow on the Hill
Grove Hill, Harrow on the Hill:	Gayton House (Harrow School)	Harrow on the Hill
Grove Hill, Harrow on the Hill:	Peterborough House (Harrow School)	Harrow on the Hill
Grove Hill, Harrow on the Hill:	Rendalls & boundary wall (Harrow School)	Harrow on the Hill
Grove Hill, Harrow on the Hill:	No. 1 (old stable block)	Harrow on the Hill
Grove Hill, Harrow on the Hill:	Nos. 2 to 12 (even)	Harrow on the Hill
Hh		
Harrow Fields Gardens, Harrow on the Hill:	Nos. 21 to 23 (odd)	Harrow on the Hill
Harrow Park, Harrow on the Hill:	Newlands (Harrow School)	Harrow on the Hill
Harrow Park, Harrow on the Hill:	Cairnryan	Harrow on the Hill
Harrow Park, Harrow on the Hill:	Kennet Cottage	Harrow on the Hill
Harrow Park, Harrow on the Hill:	Orchard Cottage	Harrow on the Hill
Harrow Park, Harrow on the Hill:	Kennet House	Harrow on the Hill
Harrow Park, Harrow on the Hill:	Folly & Wall	Harrow on the Hill
Headstone Drive	Air Ministry Citadel (known as Station Z) within the grounds of the former Kodak Ltd site	Marlborough
Headstone Lane, Harrow:	The Letchford Arms Public House	Headstone North
Headstone Lane, Harrow:	Headstone Lane Railway Station	Headstone North

Heathbourne Road, Bushey Heath:	Heathfield & Little Heathfield	Stanmore Park
Heathbourne Road, Bushey Heath:	No. 42 (Belswood Cottage)	Stanmore Park
High Road, Harrow Weald:	No. 241	Harrow Weald
High Road, Harrow Weald:	Church of St Joseph	Harrow Weald
High Road, Harrow Weald:	Harrow Weald Recreational Ground Memorial Gateway at junction with Boxtree Road	Harrow Weald
High Street, Edgware:	Nos. 81, 83	Edgware
High Street, Harrow on the Hill:	Nos. 21, 23	Harrow on the Hill
High Street, Harrow on the Hill:	No. 39	Harrow on the Hill
High Street, Harrow on the Hill:	Nos. 51, 53, 55, 57	Harrow on the Hill
High Street, Harrow on the Hill:	Nos. 59 to 61	Harrow on the Hill
High Street, Harrow on the Hill:	Harrow School Gymnasium & Approach Steps	Harrow on the Hill
High Street, Harrow on the Hill:	Nos. 32, 34	Harrow on the Hill
High Street, Harrow on the Hill:	Nos. 36 to 40 (even)	Harrow on the Hill
High Street, Harrow on the Hill:	Nos. 52 to 56 (even)	Harrow on the Hill
High Street, Harrow on the Hill:	Nos. 64 to 68 (even)	Harrow on the Hill
High Street, Harrow on the Hill:	No. 70 Bradbys (Harrow School)	Harrow on the Hill
High Street, Harrow on the Hill:	No. 74 Marilliers (Harrow School)	Harrow on the Hill
High Street, Harrow on the Hill:	No. 80	Harrow on the Hill
High Street, Harrow on the Hill:	Post Box, Within wall of 82 High Street	Harrow on the Hill
High Street, Harrow on the Hill:	No. 88 (Old Fire Station)	Harrow on the Hill
High Street, Harrow on the Hill:	No. 92 (Former National Westminster Bank)	Harrow on the Hill
High Street, Harrow on the Hill:	No. 100	Harrow on the Hill
High Street, Harrow on the Hill:	Former Photographic Studio, rear of Nos. 104 & 106	Harrow on the Hill

High Street, Pinner:	No. 2	Pinner
High Street, Pinner:	No. 41	Pinner
High Street, Wealdstone:	Wealdstone Baptist Church	Wealdstone
High Street, Wealdstone:	No. 36 (Lloyds Bank)	Wealdstone
High Street, Wealdstone:	Holy Trinity Church	Wealdstone
Hillside Road, Pinner:	Monks Rest	Pinner
Corner of Hillside Road, Pinner and Potter Street, Pinner Hill:	Boundary stone outside the fence of Monk's Rest	Pinner
Hive Road, Bushey Heath:	Kestrel Grove	Stanmore Park
Holland Close, Stanmore:	No. 2	Stanmore Park
Jj		
Julian Hill, Harrow on the Hill:	The Bell House	Harrow on the Hill
Julian Hill, Harrow on the Hill:	Julian Court	Harrow on the Hill
Kk		
Kenton Lane, Harrow Weald:	Nos. 559 & 561	Harrow Weald
Kenton Lane, Harrow Weald:	Nos. 880 to 886 (including Brocks Cottage & Ends Cottage)	Harrow Weald
Kerry Avenue, Stanmore:	Nos. 2 to 6 (even), 14, 16	Canons
Kingsfield Road, Harrow on the Hill:	Russel Cottage, Nos. 4, 6, 8, 10 & 18	Harrow on the Hill
Ll		
Lake View, Edgware:	No. 3	Canons
Little Common, Stanmore:	Nos. 1, 2, 3	Stanmore Park
Little Common, Stanmore:	No. 11 (Faircot)	Stanmore Park

Little Common, Stanmore:	No. 12 (Maytree Cottage)	Stanmore Park
Little Common, Stanmore:	Nos. 18 to 22	Stanmore Park
Locket Road, Wealdstone:	Wealdstone Methodist Church	Wealdstone
London Road, Harrow on the Hill:	Nos. 7 to 17 (odd)	Harrow on the Hill
London Road, Harrow on the Hill:	The Gerards	Harrow on the Hill
London Road, Harrow on the Hill:	Lincoln House	Harrow on the Hill
London Road, Harrow on the Hill:	Parkside	Harrow on the Hill
London Road, Harrow on the Hill:	The Woodlands (Nos. 1 to 8)	Harrow on the Hill
London Road, Harrow on the Hill:	Longridge, Kingsley House & Edgehill	Harrow on the Hill
London Road, Harrow on the Hill:	The Little House & The Hermitage	Harrow on the Hill
London Road, Harrow on the Hill:	Wilmington House	Harrow on the Hill
London Road, Harrow on the Hill:	West Acre	Harrow on the Hill
London Road, Harrow on the Hill:	Moat Lodge (Nos. 1 to 5)	Harrow on the Hill
London Road, Harrow on the Hill:	Uplands	Harrow on the Hill
London Road, Harrow on the Hill:	Park Lodge	Harrow on the Hill
London Road, Harrow on the Hill:	Herga House	Harrow on the Hill
London Road, Harrow on the Hill:	Stanmore Underground Station	Harrow on the Hill
Lorne Road, Wealdstone:	No. 46	Wealdstone
Love Lane, Pinner:	St Lukes Roman Catholic Church	Pinner

Lower Road, Harrow on the Hill:	Ortygia House	Harrow on the Hill
Lower Road, Harrow on the Hill:	Nos. 57, 59 (Ponsford Cottages)	Harrow on the Hill
Lower Road, Harrow on the Hill:	The Welsh Congregational Church	Harrow on the Hill
Lower Road, Harrow on the Hill:	No. 31	Harrow on the Hill
Lowlands Road, Harrow on the Hill:	Nos. 26 to 40 (even)	Harrow on the Hill
Mm		
Malvern Avenue	St Andrew Roxbourne	Roxbourne
Marsh Lane, Stanmore:	The Cottage, Stanmore Gas Works	Stanmore Park
Marsh Road, Pinner:	No. 79 (Grove Cottage)	Pinner
Middle Path, Harrow on the Hill:	Charmouth	Harrow on the Hill
Middle Path, Harrow on the Hill:	Cricket Field Cottage	Harrow on the Hill
Middle Path, Harrow on the Hill:	No. 27 (Roxeth Mead)	Harrow on the Hill
Middle Path, Harrow on the Hill:	Nos. 29, 31	Harrow on the Hill
Middle Path, Harrow on the Hill:	Pavilion to Lower School of John Lyon	Harrow on the Hill
Middle Path, Harrow on the Hill:	Lower House, (25 & 25a) & Buckholt House	Harrow on the Hill
Middle Path, Harrow on the Hill:	The John Lyon School	Harrow on the Hill
Middle Path, Harrow on the Hill:	Nos. 36 to 46 (even)	Harrow on the Hill
Mount Park Avenue. Harrow on the Hill:	Beechbank	Harrow on the Hill
Mount Park Avenue. Harrow on the Hill:	Thornies	Harrow on the Hill
Mount Park Avenue. Harrow on the Hill:	Belmont	Harrow on the Hill
Mount Park Avenue. Harrow on the Hill:	Mount Lodge (Headland)	Harrow on the Hill

Mount Park Avenue. Harrow on the Hill:	St Dominics Chapel	Harrow on the Hill
Mount Park Avenue. Harrow on the Hill:	The Oaks	Harrow on the Hill
Mount Park Avenue. Harrow on the Hill:	Rowney	Harrow on the Hill
Mount Park Avenue. Harrow on the Hill:	Duneaves	Harrow on the Hill
Mount Park Avenue. Harrow on the Hill:	Egerton	Harrow on the Hill
Mount Park Avenue. Harrow on the Hill:	Carolyn House	Harrow on the Hill
Mount Park Avenue. Harrow on the Hill:	Oakhurst (Purcell School)	Harrow on the Hill
Mount Park Avenue. Harrow on the Hill:	Ravensholt (Purcell School)	Harrow on the Hill
Mount Park Avenue. Harrow on the Hill:	Broomhill	Harrow on the Hill
Mount Park Avenue. Harrow on the Hill:	Westbourne House	Harrow on the Hill
Mount Park Avenue. Harrow on the Hill:	Charnwood	Harrow on the Hill
Mount Park Avenue. Harrow on the Hill:	Valleyfield	Harrow on the Hill
Mount Park Avenue. Harrow on the Hill:	Hillfield	Harrow on the Hill
Mount Park Avenue. Harrow on the Hill:	St Margarets Cottage	Harrow on the Hill
Nn		
Northolt Road, South Harrow:	Royal British Legion Club	Harrow on the Hill
Nower Hill, Pinner:	No. 16	Pinner
Nugents Park, Hatch End:	Four Oaks	Hatch End
Nugents Park, Hatch End:	Tall Trees	Hatch End

Nugents Park, Hatch End:	Cavan Garden	Hatch End
Nugents Park, Hatch End:	The Ridge	Hatch End
Nugents Park, Hatch End:	Tanglewood	Hatch End
Oo		
Old Church Lane, Stanmore:	Ornamental Well Cover, corner of Tudor Well Close	Belmont
Old Church Lane, Stanmore:	No. 24 (Stanmore Cottage)	Stanmore Park
Old Church Lane, Stanmore:	Nos. 42, 44	Belmont
Old Church Lane, Stanmore:	Nos. 58, 60	Belmont
Old Church Lane, Stanmore:	Lych Gate	Belmont
Old Church Lane, Stanmore:	Bernays Park Shelter	Stanmore Park
Old Church Lane, Stanmore:	Drinking Fountain	Stanmore Park
Old Church Lane, Stanmore:	Historic fingerpost on corner with Uxbridge Road	Stanmore Park
Old Lodge Way, Stanmore:	Nos. 8, 10	Stanmore Park
Old Redding, Harrow Weald:	Stable block & Piers, Grimsdyke	Harrow Weald
Old Redding, Harrow Weald:	The Case is Altered PH	Harrow Weald
Old Redding, Harrow Weald:	Historic fingerpost on corner with Oxhey Lane	Harrow Weald
Orley Farm Road, Harrow on the Hill:	No. 1	Harrow on the Hill
Oxhey Lane, Pinner:	Boundary stone on Grimsdyke Golf Course	Pinner
Pp		
Paines Lane, Pinner:	No. 50	Pinner

Paines Lane, Pinner:	No. 82 (Lavender Cottage)	Pinner
Paines Lane, Pinner:	The United Free Church	Pinner
Paines Lane, Pinner:	Historic fingerpost on corner with Uxbridge Road	Pinner
Park View Road, Pinner:	Naseby	Pinner
Penketh Drive, Harrow on the Hill:	Coach House	Harrow on the Hill
Peterborough Road, Harrow on the Hill:	Nos. 2 to 24 (even)	Harrow on the Hill
Peterborough Road, Harrow on the Hill:	Chalgrove	Harrow on the Hill
Peterborough Road, Harrow on the Hill:	The Knoll & Hillside (Harrow School)	Harrow on the Hill
Peterborough Road, Harrow on the Hill:	The Old Music School (Harrow School)	Harrow on the Hill
Peterborough Road, Harrow on the Hill:	Historic fingerpost on corner with Kenton Road	Harrow on the Hill
Pinner Hill, Pinner:	Pond Cottage	Pinner
Pinner Hill, Pinner:	Historic fingerpost on corner with Uxbridge Road	Pinner
Pinner Hill Road, Pinner:	Ohio Cottage	Pinner
Pinner Hill Road, Pinner:	Tudor House	Pinner
Pinner Road, Pinner:	No. 31	Pinner
Pinner Road, Pinner:	No. 491	Pinner
Pinner Road, Pinner:	Harrow Cemetery Mortuary Chapel	Pinner
Pinner Road, Pinner:	No. 352 (The Counting House)	Pinner
Pinner Road, Pinner:	Park Gates	Pinner
Pinner Road, Pinner:	Capel Gardens (Nos. 1 to 24 consecutively, 26 to 72 even)	Pinner

Pinner Road, Pinner:	Chapel, Lodge (660) and Park Entrance Gates and Pillars between Pinner Court and Capel Gardens	Pinner
Pinner Road, Pinner:	Pinner Fire Station and rear Tower and Repair Workshops	Pinner
Pinner View, Pinner	The Vicarage	Pinner
Potter Street, Pinner	Boundary stone within the garden of no. 48	Pinner
Priory Drive, Stanmore:	Tudor Cottage	Stanmore Park
Priory Drive, Stanmore:	Ad Astra	Stanmore Park
Rr		
Rayners Lane, Rayners Lane:	Nos. 420 to 422	Rayners Lane
Rectory Lane, Stanmore:	Wall between Wolstenholme and The Rectory	Stanmore Park
Roxborough Avenue, Harrow on the Hill:	No. 4 (Hollywood House)	Harrow on the Hil
Roxborough Avenue, Harrow on the Hill:	Nos. 8, 10,	Harrow on the Hil
Roxborough Avenue, Harrow on the Hill:	Nos11-14 Sheppards Court	Harrow on the Hil
Roxborough Park, Harrow on the Hill:	Nos. 17, 19	Harrow on the Hil
Roxborough Park, Harrow on the Hill:	No. 2	Harrow on the Hil
Roxborough Park, Harrow on the Hill:	No. 10	Harrow on the Hil
Roxborough Park, Harrow on the Hill:	Nos. 21 to 35 (odd)	Harrow on the Hil
Roxborough Park, Harrow on the Hill:	Nos. 47 to 49 (odd)	Harrow on the Hil
Roxeth Hill, Harrow on the Hill:	The Half Moon Public House	Harrow on the Hil
Roxeth Hill, Harrow on the Hill:	Vine Cottage	Harrow on the Hil

Roxeth Hill, Harrow on the Hill:	Siddons House	Harrow on the Hill
Roxeth Hill, Harrow on the Hill:	Ancillary office building adjacent to No. 24 & boundary wall adjacent to Ashbourne Avenue	Harrow on the Hill
Royston Grove, Hatch End:	Landaras	Hatch End
Royston Grove, Hatch End:	Virginia Lodge	Hatch End
Ss		
St. Ann's Road, Harrow:	The Rat & Parrot (formerly The Royal Oak) Public House	Greenhill
St. Ann's Road, Harrow:	Nos. 2 to 24 (even)	Greenhill
Sheppards Court, Roxborough Avenue:	Nos. 11 to 14 (consecutively)	Greenhill
South Hill Avenue, Harrow on the Hill:	The Grange	Harrow on the Hill
South Hill Avenue, Harrow on the Hill:	Oakmead	Harrow on the Hill
South Hill Avenue, Harrow on the Hill:	Orley Farm School	Harrow on the Hill
South Hill Avenue, Harrow on the Hill:	Westlands	Harrow on the Hill
South Hill Avenue, Harrow on the Hill:	The Red Lodge	Harrow on the Hill
South Hill Avenue, Harrow on the Hill:	Arden & Lobswood	Harrow on the Hill
South Hill Avenue, Harrow on the Hill:	San Souci & Hollin	Harrow on the Hill
South Hill Avenue, Harrow on the Hill:	Sundridge	Harrow on the Hill
South Hill Avenue, Harrow on the Hill:	Helmsley	Harrow on the Hill
South Hill Avenue, Harrow on the Hill:	Collingwood	Harrow on the Hill

South Hill Avenue, Harrow on the Hill:	Leaflands	Harrow on the Hill
South Hill Avenue, Harrow on the Hill:	Toll Gate Lodge (Ash Tree Cottage)	Harrow on the Hill
South Hill Avenue, Harrow on the Hill:	Nos. 38 44 (even)	Harrow on the Hill
South Hill Avenue, Harrow on the Hill:	(Former) South Harrow Station	Harrow on the Hill
South View Road, Pinner:	Oakwood	Pinner
South View Road, Pinner:	The Lodge	Pinner
Stanmore Hill, Stanmore:	No. 37	Stanmore Park
Stanmore Hill, Stanmore:	Nos. 156 & 158	Stanmore Park
Stanmore Hill, Stanmore:	The Vine Public House	Stanmore Park
Stanmore Hill, Stanmore:	Wall fronting Halsbury Court	Stanmore Park
Stanmore Hill, Stanmore:	No. 99	Stanmore Park
Stanmore Hill, Stanmore:	Nos. 103 to 107 (odd)	Stanmore Park
Stanmore Hill, Stanmore:	No. 129	Stanmore Park
Stanmore Hill, Stanmore:	No. 80 (The Cot)	Stanmore Park
Station Approach, Pinner:	Pinner Railway Station	Pinner
Station Road, North Harrow	Air Raid War Wardens' post, no. 21	Greenhill
Station Road, Harrow:	Nos. 307 to 313	Greenhill
Station Road, Harrow:	Nos. 329 to 353	Greenhill
Station Road, Harrow:	Nos. 361 to 369	Greenhill
Station Road	Frontage of Safari Cinema	Greenhill
Streatfield Road, Kenton:	Kenton Baptist Church	Kenton East
Sudbury Hill, Harrow on the Hill:	Marston Lodge	Harrow on the Hill
Sudbury Hill, Harrow on the Hill:	Armstrongs	Harrow on the Hill
Sudbury Hill, Harrow on the Hill:	Woodcroft	Harrow on the Hill
Sudbury Hill, Harrow on the Hill:	St Andrews	Harrow on the Hill
Sudbury Hill, Harrow on the Hill:	Allington House	Harrow on the Hill

Sudbury Hill, Harrow on the Hill:	Sudbury Lodge	Harrow on the Hill
Sudbury Hill, Harrow on the Hill:	Mount Lodge	Harrow on the Hill
Sudbury Hill, Harrow on the Hill:	Gooden Cottage	Harrow on the Hill
Sudbury Hill, Harrow on the Hill:	Bowden House Clinic	Harrow on the Hill
Sudbury Hill, Harrow on the Hill:	Queensgate & Kingsgate	Harrow on the Hill
Sudbury Hill, Harrow on the Hill:	Mountside & Oakside	Harrow on the Hill
Tt		
Tanglewood Close, Bushey Heath:	Garden (Tanglewood) Cottage and gate piers	Stanmore Park
Tanglewood Close, Bushey Heath:	Tanglewood Lodge	Stanmore Park
The Common, Stanmore	Bentley Manor	Stanmore Park
Torbay Road	Roxbourne First and Middle Schools	Rayners Lane
Uu		
Uxbridge Road, Stanmore:	No. 14 (The Lodge)	Stanmore Park
Uxbridge Road, Stanmore:	No. 1 (Lodge to Church of St John)	Stanmore Park
Uxbridge Road, Hatch End:	No. 579 (Blackthorn)	Hatch End
Uxbridge Road, Hatch End:	Nos. 151 to 153	Hatch End
Uxbridge Road, Hatch End:	Nos. 161 to 163 (The George Moore Memorial Building)	Hatch End
Uxbridge Road, Hatch End:	Arts & Crafts Block, Harrow Arts Centre, Elliot Hall	Hatch End
Uxbridge Road, Hatch End:	The Henry Jones Gymnasium, Harrow Arts Centre, Elliot Hall	Hatch End
Uxbridge Road, Hatch End:	No. 246 (former Post Office)	Hatch End

Uxbridge Road, Hatch End:	18 th century milestone approximately 1 mile west of Hatch End by the Montesole Park close to the junction with Pinner Hill Road / Elm Park Road	Hatch End
Uxbridge Road, Hatch End:	18 th century milestone approximately 1 mile east of Hatch End outside the cottage opposite The Cedars park 208 Uxbridge Road.	Hatch End
Uxbridge Road, Pinner:	Nos. 546 & 548	Pinner
Uxbridge Road, Pinner:	No. 552	Pinner
Uxbridge Road, Pinner:	No. 609 (Hall Lodge)	Pinner
Uxbridge Road, Harrow Weald:	No. 128 (The Nook)	Harrow Weald
Uxbridge Road, Harrow Weald:	Historic fingerpost	Harrow Weald
Uxbridge Road, Harrow Weald:	Gate Piers at entrance to Park Drive	Harrow Weald
Uxbridge Road, Harrow:	Grave of Leefe Robinson in the graveyard opposite All Saints Church	Harrow Weald
Vv		
Valencia Road, Stanmore:	Nos. 2 to 10 (even)	Canons
Victoria Terrace, Harrow on the Hill	No. 5	Harrow on the Hill
Victoria Terrace, Harrow on the Hill	Nos. 16, 17, 18	Harrow on the Hill
Ww		
Waldron Road, Harrow on the Hill:	Derrylands	Harrow on the Hill
Waldron Road, Harrow on the Hill:	Waldron Cottage	Harrow on the Hill

Warren Lane, Stanmore:	Garden Wall to Brouings & Wildwood	Stanmore
Warren Lane, Stanmore:	Limes House	Canons
Warren Lane, Stanmore:	Limes Lodge	Canons
Waxwell Lane, Pinner:	No. 1 (The Police Station)	Pinner
Waxwell Lane, Pinner:	The Oddfellows Arms Public House	Pinner
Waxwell Lane, Pinner:	Nos. 4 to 14 (even) (Unity Place)	Pinner
Waxwell Lane, Pinner	52 and 54	Pinner
Wellington Road, Hatch End:	Nos. 40, 42	Hatch End
West Drive, Harrow Weald:	No. 57	Harrow Weald
West Drive, Harrow Weald:	Nos. 6 to 71 (odd) enclosing wall	Harrow Weald
West End Avenue, Pinner	No. 61	Pinner
West End Lane, Pinner:	No. 32 (Rose Cottage)	Pinner
West End Lane, Pinner:	No. 34 (Woodbine Cottage)	Pinner
West End Lane, Pinner:	No. 124 (Lawns Cottage)	Pinner
West End Lane, Pinner	West House	Pinner
Westfield Park, Hatch End:	Westfield	Hatch End
Westfield Park, Hatch End:	Westfield Point	Hatch End
West Hill, Harrow on the Hill:	Winton	Harrow on the Hill
West Hill, Harrow on the Hill:	West Hill Hall	Harrow on the Hill
West Hill, Harrow on the Hill:	West Hill Close	Harrow on the Hill
West Street, Harrow on the Hill:	Post Box (corner of Victoria Terrace)	Harrow on the Hill
West Street, Harrow on the Hill:	No. 1	Harrow on the Hill
West Street, Harrow on the Hill:	Nos. 15, 17	Harrow on the Hill
West Street, Harrow on the Hill:	Nos. 19 to 29 (odd)	Harrow on the Hill
West Street, Harrow on the Hill:	Nos. 39 to 51 (odd)	Harrow on the Hill
West Street, Harrow on the Hill:	Nos. 59 to 63 (odd)	Harrow on the Hill

West Street, Harrow on the Hill:	No. 97	Harrow on the Hill
West Street, Harrow on the Hill:	Nos. 75 to 85 (odd)	Harrow on the Hill
West Street, Harrow on the Hill:	Nos. 99, 101	Harrow on the Hill
West Street, Harrow on the Hill:	No. 107	Harrow on the Hill
West Street, Harrow on the Hill:	Nos. 2, 2a	Harrow on the Hill
West Street, Harrow on the Hill:	Nos. 32, 34	Harrow on the Hill
West Street, Harrow on the Hill:	No. 38	Harrow on the Hill
West Street, Harrow on the Hill:	Nos. 40 to 60 (even)	Harrow on the Hill
West Street, Harrow on the Hill:	No. 62	Harrow on the Hill
West Street, Harrow on the Hill:	No. 70	Harrow on the Hill
West Street, Harrow on the Hill:	No. 76 (Police Station)	Harrow on the Hill
West Street, Harrow on the Hill:	Police Lantern (outside No. 76)	Harrow on the Hill
West Street, Harrow on the Hill:	Nos. 72, 74	Harrow on the Hill
West Street, Harrow on the Hill:	Field House Club	Harrow on the Hill
Whitchurch Lane, Edgware:	Police Station	Canons
Whitefriars Avenue, Wealdstone:	Whitefriars First & Middle Schools	Wealdstone
Whitefriars Avenue, Wealdstone:	Winsor and Newton office and attached industrial buildings	Wealdstone
Wilson Road, West Harrow:	Former Vaughan Infants School	West Harrow
Wood Lane, Stanmore:	Water Pump	Canons
Wood Lane, Stanmore:	Nos. 1 & 2 Garage Cottages	Canons
Wood Lane, Stanmore:	No. 122 (Woodleigh)	Canons
Wood Lane, Stanmore:	By the Pond	Canons
Woodhall Road, Hatch End:	Pinnerwood Cottage	Hatch End
Woodhall Road, Hatch End:	Pinnerwood Farm	Hatch End
Woodhall Road, Hatch End:	Pinnerwood Farm Lodge	Hatch End
Wyvenhoe Road, South Harrow:	Welldon Park School	Roxeth

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1 Introduction

1.1 Introduction

1.2 Harrow benefits from an exceptionally diverse historic environment. The borough has over 300 statutorily listed buildings, 28 conservation areas, 4 registered historic parks and gardens, 9 scheduled ancient monuments, and 9 archaeological priority areas. All of Harrow's statutorily listed buildings have met specific criteria to justify their designation by the Secretary of State (for the Department of Culture, Media and Sport) as being significantly important to our national heritage.

1.3 However, there are many other buildings and structures throughout Harrow, which do not meet the criteria for national statutory listing and/or are not within designated areas but are nonetheless considered by the public and the Council to have particular special local historical and/or architectural merit. These buildings/structures reinforce local distinctiveness and a sense of place and their local value deserves recognition through inclusion on the Local List for Harrow.

The distinction between Listed and Locally Listed buildings

1.4 The difference between the Statutory List and the Local List is essentially the level of control. Listed buildings, as well as the unlisted buildings in conservation areas, have statutory protection and enjoy various degrees of protection against alterations and demolition. Any works (internal or external) which affect the special interest of a listed building requires Listed Building Consent. This ensures that the very best of Harrow's architectural heritage is protected in the national public interest.

1.5 The control of works on a locally listed building or structure is more limited, with protection managed through the normal planning process. However, whilst buildings and structures on the local list are not subject to any additional planning controls over alteration or demolition, their local historical and/or architectural value deserves preservation. Therefore, when the Council considers any planning application for works to a locally listed building they will take its special local architectural or historic interest into account before making a decision. The Council will also strongly discourage the demolition of any buildings on the local list and will seek to encourage their retention, restoration and continued beneficial use wherever possible.



Picture 1.1 Former Police Station, West Street, Harrow on the Hill

Purpose of the SPD

1.6 We have a local list to ensure that the special interest of these buildings and their contribution to local distinctiveness is recognised when decisions are made affecting their future. It can provide potential candidates for statutory listing.

1.7 The purpose of this Supplementary Planning Document (SPD) is to provide good practice advice and guidance to the owners and occupiers of locally listed buildings for their maintenance and conservation and also to provide advice on the relevant planning controls.

1.8 The aim of the SPD is to ensure that the special features of a building, which contributes to its local importance, are retained and, where works are proposed, these are sympathetic in terms of design, materials used and methods employed. It also explains how Harrow's Local List has been created, the criteria for including buildings and structures on the Local List, and explains the implications of inclusion on the Local List.



Picture 1.2 Half Moon Public House, Roxeth Hill

Status of this SPD

1.9 This SPD supplements policy DM 7A: *Heritage Assets* of the Harrow Development Management Policies Local Plan and is a material consideration in the determination of planning applications affecting locally listed buildings.

1.10 The policy that the SPD supplements has been subject to Sustainability Appraisal. The SPD has been prepared in accordance with the requirements of the Part 5 of the Town and Country Planning (Local Planning) (England) Regulations 2012 and having regard to the National Planning Policy Framework (paragraph 153). The SPD was the subject of public consultation from 11th July 2013 to 5th September 2013. The consultation was undertaken in accordance with Council's Statement of Community Involvement and the comments received were considered and amendments made to take these into account. The SPD has also been screened and the Council has determined that a full Strategic Environmental Assessment is not needed.

2 Local Listing

2.1 The Local List is a locally designated register of buildings and structures of historical and architectural interest, which is important to the local environment. Local listing is not a statutory requirement. Local Planning Authorities can choose to establish a Local List, to reinforce efforts to preserve the character and appearance of the buildings that are included on it. Local Listing is encouraged in national heritage guidance and has been adopted by many planning authorities.

2.2 Buildings are usually locally listed in their entirety but some parts of locally listed buildings may be more important than others and some parts may not be of interest. Each locally listed building has its own local list description which is available upon request from the Council. This usually provides an indication of the building or structure's special interest but is not exhaustive. Since the 2012 review the local list descriptions are more detailed but prior to this were usually just put together for identification purposes.

Harrow's Local List

2.3 Harrow's Local List stems partly from the 1983 review of listed buildings. Until then another category of statutory listed building known as Grade III existed. Many were upgraded to Grade II, but not all qualified. The Council therefore included the remaining in its Local List. Further additions to the Local List resulted from a 1990 Borough-wide environmental survey and more recently, from work undertaken with local amenity and conservation groups.

2.4 Harrow's Local List forms an appendix to this document and comprises approximately 757 buildings and structures, structured according to street name. The local list will be kept under constant review and will allow for further inclusions onto it on an ad-hoc basis. This ensures that the register is up-to-date and takes into account new information and changes in the built environment. Buildings will be removed from the local list if they become listed on the statutory register, are demolished or due to unsympathetic works are no longer of value to warrant inclusion on the list. Further details on the criteria for Local Listing and how to nominate buildings and structures for inclusion on the Local List are set out below.

2.5 For the most up-to-date version of Harrow's Local List, please visit the Council's website: <http://www.harrow.gov.uk/locallylistedbuildings>. The list of Harrow's statutory listed buildings is also available to view on the Council's website via: <http://www.harrow.gov.uk/statutorylistedbuildings>.



**Picture 2.1 Pinnerwood Cottage,
Woodhall Road, Pinner**

Nominations and the criteria for the selection of buildings and structures to be included in Harrow's Local List

2.6 The Local List is kept under review and anyone can make nominations. We encourage the following is provided in order to consider additions/deletions, though we recognise that this may not be possible in all instances:

- Name and address of the building / feature
- Reason for nomination referring to selection criteria
- Photographs including the entire building / feature
- History if known
- Other relevant information

2.7 The selection criteria are based upon those for statutory listing, with additional local considerations:

- Architectural interest - including architectural design, decoration and craftsmanship and/or are good examples of a particular type of building;
- Townscape/Group value - including important contributions to unified architectural or historic groups, areas of planned townscape, or the local townscape. Some groups of buildings have character and good architectural qualities. Collectively these groups can contribute significantly to the townscape, and merit listing as a group within the local list.
- Historic interest - illustrating aspects of local/national social, economic, cultural or military history;
- Close historical associations - with locally/nationally important people or events.
- Additional factors taken into account include its rarity, relationship to designated landscapes, evidential value, the likely age of the building, the authenticity of the building (i.e. the degree to which it has been altered and the loss of the fabric), technical significance (buildings that display exceptional innovation and craftsmanship) and the effect on the character of the local environment if it were to be lost.

2.8 Following receipt of a recommendation the Council's conservation team will conduct their own research. If considered necessary, it will put forward a report to the Local Development Framework Panel requesting the Panel recommend that the Portfolio Holder agree the addition/deletion of said building to the Local List.



Picture 2.2 Ad Astra Orangery, Priory Drive, Stanmore

Implications of inclusion in the Local List

2.9 The inclusion of a building/structure on the Local List does not change the existing planning controls that already apply to these buildings, including their demolition. Inclusion on the Local List is also not primarily intended to restrict development, but will seek to ensure that any proposals take into consideration the local significance of the building. The only real implication therefore of including a building or structure on the Local List is that it will change the level of consideration given by the Council to preserving the buildings' character and appearance when planning proposals are assessed.

2.10 This means that this SPD will be a material consideration in assessing any proposals. In which case, the Local Planning Authority (LPA) will consider in a planning application for works to a locally listed building, any special local interest in relation to the property before a decision is made. Many development works, such as, external alterations, extensions and changes of use will need planning permission from the Council. Any proposals put forward are expected to respect the particular character and interest of the building. Guidance on how this might be achieved is set out in the following section of this document.



Picture 2.3 John Lyon School, Middle Road, Harrow on the Hill

2.11 Local listing can also provide potential candidates for national listing. If considered worthy an application can be completed on the English Heritage website available at this link: www.english-heritage.org.uk/ via the 'nominate a heritage asset' heading. Anyone can do this but it may be worth putting a building forward to the Council's conservation officer beforehand or one or more National Amenity Societies to seek their views on the potential for listing. This is because as of 2013 unless a structure is transparently listable or under acute threat, it may be rejected. The Council's conservation team put buildings forward from time to time. If there are concerns that a building worthy of national listing is under imminent threat of demolition or damage then the Council can serve a Building Preservation Notice on its owner and occupier. This means the building is effectively statutory listed for 6 months, giving English Heritage time to assess whether it is worthy of such protection.

3 Guidance on works to buildings/structures on the Local List

3.1 The inclusion of a building on the Local List does not affect the planning rights relating to the building. Permitted development rights remain unchanged⁰ and the requirements for when planning permission is required also remains the same. However, where an application is submitted to the Council for its alteration, extension or demolition, the special interest of the building will be taken in to consideration and its local listing status will be a material consideration when determining the application.

3.2 When considering proposals for development affecting buildings on Harrow's Local List, the Council will assess the proposed development using the following guidance. Where the Council has no control over the repair, alteration, extension or demolition of a building on the Local List it is hoped that this guidance will serve as a best practice guide for owners and occupiers.

3.3 It should be noted that while a building may be locally listed that this does not necessarily mean that the whole of the building is of architectural or historic interest. For example, the front elevation of a property might be Victorian and have local importance to the street scene but the rear of the property may have already been extended or adapted at later dates. As such, the Council will have regard to the precise nature of any planning applications for alterations or extensions of locally listed buildings and, in particular, whether the proposal relates to or affects that part of the subject building which is of architectural or historic interest.

3.4 If you are proposing to undertake works to a locally listed building, and are unsure whether planning permission is required or not, then please contact the Council's Conservation Team on 020 8736 6101 or conservation@harrow.gov.uk for advice. Alternatively, an application for a certificate of lawful development could be sought either before works or after works to get a formal decision from the Local Planning Authority as to whether or not planning permission is needed. It is recommended that, where possible, this is sought prior to works. The application form can be found via Harrow's planning pages at: www.harrow.gov.uk/planning.



**Picture 3.1 Christian Science Church,
Elm Park Road, Pinner**

Unless expressly removed by means of an Article 4 Direction. An article 4 direction is made by the local planning authority. It restricts the scope of permitted development rights either in relation to a particular area or site or building. Where an article 4 direction is in effect, a planning application may be required for development that would otherwise have been permitted development.

Maintenance and Repairs

3.5 Owners are encouraged to carry out regular maintenance in order to safeguard the historic fabric and avoid the need for more costly repairs in the future. A 'repair rather than replace' approach is encouraged to retain historic fabric and authenticity including doors, windows, chimneys, roofs, bargeboards, facing materials, boundary materials etc.

3.6 Materials and Methods - The use of traditional materials and methods is encouraged since building materials often play a large part in defining character e.g. brick walls, natural slate or clay tile roofs, timber windows and doors, metal decorative roof features etc. See also the 'windows and doors' section.



Picture 3.2 Traditional materials and methods to Orchard Cottage, Harrow Park, Harrow on the Hill

3.7 Exterior Details - It is encouraged that historic details are retained wherever possible since these usually make an important contribution to character. If they must be replaced, a like for like replacement is encouraged.



**Picture 3.3 Detail of Pinnerwood Farm,
Woodhall Road, Pinner**

3.8 Windows and Doors- Original and traditional windows and doors (e.g. timber and metal windows including Georgian iron casements and 20th century Crittalls) are a key part of the architectural composition of most buildings. Insensitive replacement doors and windows can seriously detract from special interest. As such the Council strongly recommends retention of original windows and doors, especially those that front or are visible from the street. However, the Council acknowledges that such a request may be at odds with the desire of owners and occupiers to reduce their overall maintenance requirements and to improve the energy efficiency of the building and its living environment. In order assist people in making this decision, the Council would offer the following considerations:

- Repair can be cheaper than replacement, even over the long-term. Historic timber windows and doors are usually of better quality hardwood than anything sourced today, so do last longer if appropriately maintained.
- Metal windows which appear to be well beyond repair can usually be restored, and at less cost than like for like replacement.
- Surface rust often looks much worse than it really is, occupying up to seven times the volume of unoxidised metal.
- Aluminium and UPVC windows do not last for ever – they too will require maintenance and repair over time, which can often be more difficult and costly than the maintenance of traditional wooden windows - usually resulting in owners opting to replace them again rather than repairing them.
- Standard products can rarely reflect the carefully considered proportions and detailed mouldings of historic ones. Plastic or aluminium windows have thicker framing than timber windows and many are hard edged, with two dimensional detailing that fails to replicate the soft edges or mouldings of original timber windows. They are also normally manufactured in standard sizes,

which cannot be easily altered without significantly adding to their cost. As a result, they cannot visually replicate historic timber windows, resulting in an appearance that is therefore usually quite different and not usually sympathetic to the historic building.

3.9 Where replacement is necessary, it is recommended that new work matches the originals in materials and detailing as far as possible.

3.10 Further advice is provided at: www.english-heritage.org.uk Further, the building conservation directory at www.buildingconservation.com and the Institute of Historic Building Conservation at <http://www.ihbc.org.uk/hespr/> both have a list of conservation specialists who can offer advice on suitable replacements for traditional windows and doors.



Picture 3.4 Original window detail to Pinnerwood Farm, Woodhall Gate



**Picture 3.5 29 Middle Road,
Harrow on the Hill**

3.11 Energy Efficiency –These measures are generally welcomed where a balanced judgment is made against preserving the special interest of the locally listed building. The following options are recommended and are usually cost effective and sensitive alterations to historic buildings and often would not require planning permission:

1. Insulation e.g. wall or roof.
2. Draught proofing - Some types simply act as gap fillers, and are applied as mastic or foam. Other forms keep out the weather by means of a snug, slightly oversized fitting, comprising silicone rubber tubes, polypropylene and nylon-filled pile brushes, or with rubber, polyester, or sprung-metal Z and V fins.
3. Whilst simplistic, curtains can be made with thicker material, or even of a quilted material with an insulating filling. Reflective coverings can reflect heat back into the room and make sure that escaping draughts from between the window.
4. Lightweight secondary glazing - This uses framed glass panels, which are attached on top of existing window frames internally. It is cheaper than double-glazing, very effective and has the added benefit of ensuring there is minimum change to the external appearance of the building. Planning permission would not be required if internally fitted.

3.12 The Council would strongly discourage against the use of double glazing, especially for those locally listed buildings built pre-twentieth century. This is because such units often fatten the dimensions of glazing bars inappropriately, or result in extremely poor facsimiles stuck to the face of the glass, negatively impacting on the visual appearance of the historic building. It is encouraged that where it is being considered it should be carefully detailed so that glazing bars do not appear artificially stuck on a single pane of glass. Planning permission is not always required for such works. If it is, a cross section drawing showing how this would be integrated is useful to ensure the appearance would be in keeping.

3.13 For further information please refer to English Heritage's 'Building Regulations and Historic Buildings: Balancing the Needs for Energy Conservation with those of Building Conservation' (2002) and 'Practical Building Conservation, Glass and Glazing' publication (2012).

Alterations and Extensions

3.14 In some cases external and internal alterations to the building may be a desirable course of action to ensure buildings remain fit for purpose and can also help with maintenance and preservation. The building does not have to be preserved exactly as it is, however the Council requires any external alterations to be sympathetic and of high quality.

3.15 Proposals affecting buildings on the local list should ensure that they preserve its local interest by respecting the building's design, appearance and any architectural or historical features in the design of any extensions or alterations. Wherever practicable and appropriate, materials appropriate to the building's special local interest should be used.

3.16 When designing extensions to locally listed buildings it is important that the character and setting of the building is not harmed, and that the extension relates appropriately in scale and massing. Extensions should be subservient to the building in height and massing.

3.17 It is important that extensions and alterations to buildings on the Local List do not compromise elements of the building which are of historic or architectural interest. Extensions can be of an historic style to match the building, or adopt a contemporary approach. If an historic approach is adopted it is important that historic accuracy is employed, with regard to detailing, materials, colour and scale. If a contemporary approach is considered appropriate, a high quality of design detail and materials is essential, and the scale of the extension should respect the historic building.



Picture 3.6 83 West Street, Harrow on the Hill

3.18 Out Buildings - New buildings in the grounds of buildings on the Local List, or in close proximity, should ensure that the setting of the locally listed building is not compromised. Where appropriate, the new developments should preserve positive settings, and enhance settings which are poor. This can be achieved through appropriate positioning, layout, design and landscaping. Elements which are likely to contribute to positive setting of buildings are:

- The historic arrangement and layout of buildings
- Attractive views in to, from and through sites
- The relative levels of enclosure or openness of a site
- The use of landscape features to frame or enhance buildings or as a method of screening poor quality structures.
- The type and quality of surface treatments and historic surfacing.
- Historic boundary treatments

3.19 Micro-generation Equipment – These measures are encouraged as they can often be incorporated without harming special interest of the building. It is recommended that particular consideration is given to the special features of the locally listed building since for example solar panels on the front elevation of a locally listed building could be harmful to heritage values. English Heritage has guidance on various micro-generation equipment options for historic buildings via the Historic Environment: Local Management (HELM) website by entering 'energy' into the search engine.

3.20 Sky Lights and Dormers– For those seeking to install sky lights and dormers, the Council would encourage that close attention is paid to the location of these, proportions and visibility from the street to ensure they are incorporated appropriately within the buildings fabric. Often rear elevations will present the least obtrusive location. Where these are appropriate, scale and detailing should respond closely to traditional models, often requiring compromise with regard to size and number.

3.21 Advertisements and Signs– Where advertisements and signage are to be provided on a locally listed building, it is recommended that regard be had to the scale of the sign and the scale and character of the historic building upon which they are placed. Non-illuminated painted timber signage is often successful, occasionally with external illumination. Internally illuminated signs in modern materials are likely to compromise the particular character and interest of the building.



Picture 3.7 44 West Street, Harrow on the Hill



Picture 3.8 21 High Street, Harrow on the Hill

3.22 Landscape, including Hardstanding – Careful consideration should be given to the landscape treatment surrounding buildings on the Local List. Historic boundary treatments and surfacing contribute to the setting and to the wider landscape and should, where appropriate be preserved. The loss of areas of open greenness and trees can cause significant harm to the character of an area and the setting of historic buildings.



Picture 3.9 Pinnerwood Lodge, Woodhall Gate

3.23 Miscellaneous External Works– The Council recognises that, for historic buildings to provide the everyday comforts that occupant need or desire, certain external fixtures and fitting are required, such as satellite dishes, cables, external lights, vents, and air conditioning units. Such external fixtures and fittings can usually be fitted so they are quite unobtrusive, or are made available in range of sizes, designs and styles, offering a choice more suited to the architecture of the locally listed building.



Picture 3.10 38 West Street, Harrow on the Hill

Controls over Demolition

3.24 Given the contribution locally listed buildings make to the overall character of the Borough, the Council will endeavour to protect them from demolition where appropriate. If a building is within a conservation area planning permission is required for demolition. But, if a locally listed building is located outside of a conservation area, planning permission for demolition is not needed. However, notice should be given to the planning authority before demolition takes place. This will enable the Council to seek a record of the structure and/or setting prior to demolition, and to enable the Local List to be updated accordingly.

4 Contacts

- **For a first point of call for advice and discussion on the Local List, contact the Conservation Team on: 0208 736 6101, email conservation@harrow.gov.uk or Conservation, Place Shaping, Civic Centre, Station Road, Harrow, HA1 2UY.**
- Twentieth Century Society, 70 Cowcross Street, London, EC1M 6EJ. Tel: 020 7250 3857 Fax: 020 7251 8985 Email: caseworker@c20society.org.uk www.c20society.org.uk
- The Victorian Society, 1 Priory Gardens, Bedford Park, London, W4 1TT. Tel: 020 8994 1019 Email: admin@victoriansociety.org.uk www.victorian-society.org.uk
- The Georgian Group, 6 Fitzroy Square, London, W1T 5DX. Tel: 087 1750 2936 Fax: 087 1750 2937 Email: office@georgiangroup.org.uk www.georgiangroup.org.uk/
- The Society for the Protection of Ancient Buildings - <http://www.spab.org.uk/> 37 Spital Square, London, E1 6DY Tel 020 7377 1644 Fax 020 7247 5296 The Society runs a Technical Advice Line where members of the public are able to discuss their technical queries with a member of our technical staff. The line is open from Monday to Friday between 9.30 am and 12.30 pm on the following number: 020 7456 0916
- Ancient Monuments Society which is concerned with listed buildings of all ages and types, St Ann's Vestry Hall, 2 Church Entry, London, EC4V 5HB.
Telephone: 020 7236 3934 email: office@ancientmonumentsociety.org.uk
www.ancientmonumentsociety.org.uk/
- The Council for British Archaeology <http://www.britarch.ac.uk/contact>
- English Heritage, London Region, 1 Waterhouse Square, 138-142 Holborn, London, EC1 2ST. Tel: 020 7973 3000 www.english-heritage.org.uk
- Other Useful Contacts:
 - Building Conservation - <http://www.buildingconservation.com/>
 - Department for Communities and Local Government - www.communities.gov.uk
 - Planning Portal - www.planningportal.gov.uk
 - Royal Town Planning Institute - www.rtpi.org.uk
 - Royal Institute of British Architects - www.riba.org.uk
 - Royal Institute of Chartered Surveyors - www.rics.org.uk
 - Institute of Historic Buildings & Conservation - www.ihbc.org.uk

5 Appendix 1 - Locally Listed Buildings in Harrow

Street (alphabetical)	Building/Structure	Ward
Aa		
Alexandra Avenue, Rayners Lane:	Nos. 464 to 472 (even)	South Harrow
Altham Road, Hatch End:	Altham House	Hatch End
Angel Road, Harrow:	Former Methodist Church	Greenhill
Ashbourne Avenue	22 and 24	Harrow on the Hill
The Avenue, Hatch End:	Elmwood	Hatch End
Aylmer Drive, Stanmore:	No. 5 (Linden)	Stanmore Park
Bb		
Beaulieu Drive:	Heathfield School for Girls	Pinner South
Belmont Lane, Stanmore:	Aberdeen Cottages (Nos. 1 to 8)	Belmont
Belmont Lane, Stanmore:	The Quadrangle (Nos. 1 to 10)	Belmont
Belmont Lane, Stanmore:	Stuart Cottages (Nos. 2 to 8)	Belmont
Belmont Lane, Stanmore:	No. 40	Belmont
Bessborough Road, Harrow:	Nos. 111 to 113 (Kingsfield Arms Public House)	Greenhill
Bessborough Road, Harrow:	Nos. 40 to 42	West Harrow
Bessborough Road, Harrow:	Watering Trough (near to junction with West Street)	Greenhill
Bishop Ken Road	St Michael and All Angels	Wealdstone
Brickfields, Harrow on the Hill:	Inman House	Harrow on the Hill
Brickfields, Harrow on the Hill:	Giasfryn House	Harrow on the Hill
Brickfields, Harrow on the Hill:	Brickfields House	Harrow on the Hill

Bridge Street, Pinner:	No. 36	Pinner
Bridge Street, Pinner:	No. 60	Pinner
The Bridge, Wealdstone:	No. 21	Marlborough
The Broadway, Stanmore:	The Bernays Institute	Stanmore Park
Brockley Hill, Stanmore:	The Royal National Orthopaedic Hospital, three Lodge buildings and roadside wall and gates to Brockley Hill & Wood Lane	Canons
Brooke Avenue, South Harrow:	No. 41	Harrow on the Hill
Brookshill, Harrow Weald:	Hillside & Hillside Cottage	Harrow Weald
Brookshill, Harrow Weald:	Brookshill Cottage	Harrow Weald
Brookshill, Harrow Weald:	North Lodge	Harrow Weald
Brookshill, Harrow Weald:	Oak Cottage	Harrow Weald
Brookshill, Harrow Weald:	Oak Lodge	Harrow Weald
Brookshill Drive, Harrow Weald:	Copse Farm (formerly Wealdcopse Farm)	Harrow Weald
Brookshill Drive, Harrow Weald:	Barn to Copse Farm with Stable Range	Harrow Weald
Brookshill Drive, Harrow Weald:	Dairy Cottage, Farm Cottage and stables	Harrow Weald
Brookshill, Harrow Weald	Harrow College main block	Harrow Weald
Burnt Oak Broadway, Edgware:	Nos. 197 to 237	Edgware
Byron Hill Road, Harrow on the Hill:	No. 7	Harrow on the Hill
Byron Hill Road, Harrow on the Hill:	No. 4 (Greenbank)	Harrow on the Hill
Byron Hill Road, Harrow on the Hill:	Nos. 8, 10	Harrow on the Hill
Byron Hill Road, Harrow on the Hill:	Nos. 18 to 22 (even)	Harrow on the Hill
Byron Hill Road, Harrow on the Hill:	Nos. 12 to 16 (even)	Harrow on the Hill

Byron Hill Road, Harrow on the Hill:	No. 38	Harrow on the Hill
Cc		
Canons Drive, Edgware:	Nos. 10 to 14 (even)	Canons
Canons Drive, Edgware:	Nos. 18 to 28 (even)	Canons
Canons Drive, Edgware:	Nos. 36 to 40 (even)	Canons
Canons Drive, Edgware:	No. 32	Canons
Cannon Lane, Pinner:	Nursery Cottages	Pinner South
Chapel Lane, Pinner:	Nos. 1 to 2	Pinner
Church Lane, Pinner:	Church Cottage	Pinner
Church Lane, Pinner:	Elmdene	Pinner
Church Lane, Pinner:	Elmdene Cottage	Pinner
Clamp Hill, Harrow Weald:	No. 47 (Hermitage Gate)	Stanmore Park
Clamp Hill, Harrow Weald:	No. 58 (Brickfield Cottage)	Stanmore Park
Clamp Hill, Harrow Weald	The Cottage	Stanmore Park
College Road, Harrow:	Nos. 12 to 14	Harrow Weald
College Road, Harrow:	Nos. 146 to 164	Harrow Weald
College Road, Harrow Weald:	Nos. 8 to 12	Harrow Weald
College Road, Harrow Weald:	Nos. 32 to 34 (May Cottages)	Harrow Weald
The Common, Stanmore:	Three Chimneys	Stanmore Park
Common Road, Stanmore:	'Pill Box' Gun Emplacement (Bentley Priory Open Space)	Stanmore Park
Common Road, Stanmore:	Tanglewood	Stanmore Park
Common Road, Stanmore:	Tanglewood Lodge	Stanmore Park
Common Road, Stanmore:	Gate House to The Old Barn	Stanmore Park
Common Road, Stanmore:	The Lodge and Newland Lodge (formerly Priory Close)	Stanmore Park
Common Road, Stanmore:	Glenthorne Lodge	Stanmore Park

Crown Street, Harrow on the Hill:	No. 2	Harrow on the Hill
Crown Street, Harrow on the Hill:	No. 6	Harrow on the Hill
Crown Street, Harrow on the Hill:	Nos. 8, 10, 12	Harrow on the Hill
Crown Street, Harrow on the Hill:	No. 13	Harrow on the Hill
Crown Street, Harrow on the Hill:	Nos. 25, 27, 29	Harrow on the Hill
Crown Street, Harrow on the Hill:	No. 43	Harrow on the Hill
Crown Street, Harrow on the Hill:	Nos. 50, 52	Harrow on the Hill
Crown Street, Harrow on the Hill:	Two sets of Gate Piers to Oldfield House	Harrow on the Hill
Cuckoo Hill, Pinner Green:	The Cottage and Spindle Cottage	Pinner
Cuckoo Hill, Pinner Green:	Camden Row (Nos. 1 to 20)	Pinner
Cunningham Park, Harrow:	Nos. 31 to 33	Headstone South
Ee		
Eastcote Road, Pinner:	Nos. 42 to 48 (Oak Cottages)	Pinner South
Elm Park Road, Pinner:	The Lawns and Lawns Cottage	Pinner
Elm Park Road, Pinner:	Northend Cottage	Pinner
Elm Park Road, Pinner:	Red Cottage	Pinner
Elm Park Road, Pinner:	First Church of Christ the Scientist	Pinner
Elms Road, Harrow Weald:	No. 31 (Applegarth)	Harrow Weald

Ff		
Football Lane, Harrow on the Hill:	Science Schools (Harrow School)	Harrow on the Hill
Gg		
Gayton Road, Harrow:	Gayton School	Harrow on the Hill
George V Avenue, Pinner:	Pinner Park Farm, including Coach House & Stables, Cow Sheds & Barns	Pinner
Gordon Avenue, Stanmore:	Herondale, 26 and 28	Stanmore Park
Gordon Avenue, Stanmore:	4 Orme Lodge	Stanmore Park
Gordon Avenue, Stanmore:	No. 49 (Wykenham House)	Stanmore Park
Greenford Road, Harrow on the Hill:	The Rising Sun Public House	Harrow on the Hill
Greenford Road, Harrow on the Hill:	Signal Box, Sudbury Hill Railway Station	Harrow on the Hill
Green Lane, Stanmore:	Nos. 3, 4	Stanmore Park
Green Lane, Stanmore:	Nos. 1,2 Green Lane Cottages	Stanmore Park
Green Lane, Stanmore:	Nos. 11,12 Green Lane Cottages	Stanmore Park
Green Lane, Stanmore:	Nos. 1, 2, 3, 4 Franklin Cottages	Stanmore Park
Green Lane, Stanmore:	Nos. 1 to 4 Chart Cottages	Stanmore Park
Green Lane, Stanmore:	Hill Crest Cottages	Stanmore Park
Green Lane, Stanmore:	Olde Cottage	Stanmore Park
Green Lane, Stanmore:	The Cottage	Stanmore Park
Green Lane, Stanmore:	Fordyce	Stanmore Park
Green Lane, Stanmore:	Rylands	Stanmore Park
Green Lane, Stanmore:	Post Box	Stanmore Park
Green Lane, Stanmore:	Wall to Pynnacles Lodge & Cherchefelle Mews	Stanmore Park
Grove Hill, Harrow on the Hill:	Grove End	Harrow on the Hill

Grove Hill, Harrow on the Hill:	Elmfield	Harrow on the Hill
Grove Hill, Harrow on the Hill:	The Copse (Harrow School)	Harrow on the Hill
Grove Hill, Harrow on the Hill:	Gayton House (Harrow School)	Harrow on the Hill
Grove Hill, Harrow on the Hill:	Peterborough House (Harrow School)	Harrow on the Hill
Grove Hill, Harrow on the Hill:	Rendalls & boundary wall (Harrow School)	Harrow on the Hill
Grove Hill, Harrow on the Hill:	No. 1 (old stable block)	Harrow on the Hill
Grove Hill, Harrow on the Hill:	Nos. 2 to 12 (even)	Harrow on the Hill
Hh		
Harrow Fields Gardens, Harrow on the Hill:	Nos. 21 to 23 (odd)	Harrow on the Hill
Harrow Park, Harrow on the Hill:	Newlands (Harrow School)	Harrow on the Hill
Harrow Park, Harrow on the Hill:	Cairnryan	Harrow on the Hill
Harrow Park, Harrow on the Hill:	Kennet Cottage	Harrow on the Hill
Harrow Park, Harrow on the Hill:	Orchard Cottage	Harrow on the Hill
Harrow Park, Harrow on the Hill:	Kennet House	Harrow on the Hill
Harrow Park, Harrow on the Hill:	Folly & Wall	Harrow on the Hill
Headstone Drive	Air Ministry Citadel (known as Station Z) within the grounds of the former Kodak Ltd site	Marlborough
Headstone Lane, Harrow:	The Letchford Arms Public House	Headstone North
Headstone Lane, Harrow:	Headstone Lane Railway Station	Headstone North

Heathbourne Road, Bushey Heath:	Heathfield & Little Heathfield	Stanmore Park
Heathbourne Road, Bushey Heath:	No. 42 (Belswood Cottage)	Stanmore Park
High Road, Harrow Weald:	No. 241	Harrow Weald
High Road, Harrow Weald:	Church of St Joseph	Harrow Weald
High Road, Harrow Weald:	Harrow Weald Recreational Ground Memorial Gateway at junction with Boxtree Road	Harrow Weald
High Street, Edgware:	Nos. 81, 83	Edgware
High Street, Harrow on the Hill:	Nos. 21, 23	Harrow on the Hill
High Street, Harrow on the Hill:	No. 39	Harrow on the Hill
High Street, Harrow on the Hill:	Nos. 51, 53, 55, 57	Harrow on the Hill
High Street, Harrow on the Hill:	Nos. 59 to 61	Harrow on the Hill
High Street, Harrow on the Hill:	Harrow School Gymnasium & Approach Steps	Harrow on the Hill
High Street, Harrow on the Hill:	Nos. 32, 34	Harrow on the Hill
High Street, Harrow on the Hill:	Nos. 36 to 40 (even)	Harrow on the Hill
High Street, Harrow on the Hill:	Nos. 52 to 56 (even)	Harrow on the Hill
High Street, Harrow on the Hill:	Nos. 64 to 68 (even)	Harrow on the Hill
High Street, Harrow on the Hill:	No. 70 Bradbys (Harrow School)	Harrow on the Hill
High Street, Harrow on the Hill:	No. 74 Marilliers (Harrow School)	Harrow on the Hill
High Street, Harrow on the Hill:	No. 80	Harrow on the Hill
High Street, Harrow on the Hill:	Post Box, Within wall of 82 High Street	Harrow on the Hill
High Street, Harrow on the Hill:	No. 88 (Old Fire Station)	Harrow on the Hill
High Street, Harrow on the Hill:	No. 92 (Former National Westminster Bank)	Harrow on the Hill
High Street, Harrow on the Hill:	No. 100	Harrow on the Hill
High Street, Harrow on the Hill:	Former Photographic Studio, rear of Nos. 104 & 106	Harrow on the Hill

High Street, Pinner:	No. 2	Pinner
High Street, Pinner:	No. 41	Pinner
High Street, Wealdstone:	Wealdstone Baptist Church	Wealdstone
High Street, Wealdstone:	No. 36 (Lloyds Bank)	Wealdstone
High Street, Wealdstone:	Holy Trinity Church	Wealdstone
Hillside Road, Pinner:	Monks Rest	Pinner
Corner of Hillside Road, Pinner and Potter Street, Pinner Hill:	Boundary stone outside the fence of Monk's Rest	Pinner
Hive Road, Bushey Heath:	Kestrel Grove	Stanmore Park
Holland Close, Stanmore:	No. 2	Stanmore Park
Jj		
Julian Hill, Harrow on the Hill:	The Bell House	Harrow on the Hill
Julian Hill, Harrow on the Hill:	Julian Court	Harrow on the Hill
Kk		
Kenton Lane, Harrow Weald:	Nos. 559 & 561	Harrow Weald
Kenton Lane, Harrow Weald:	Nos. 880 to 886 (including Brocks Cottage & Ends Cottage)	Harrow Weald
Kerry Avenue, Stanmore:	Nos. 2 to 6 (even), 14, 16	Canons
Kingsfield Road, Harrow on the Hill:	Russel Cottage, Nos. 4, 6, 8, 10 & 18	Harrow on the Hill
Ll		
Lake View, Edgware:	No. 3	Canons
Little Common, Stanmore:	Nos. 1, 2, 3	Stanmore Park
Little Common, Stanmore:	No. 11 (Faircot)	Stanmore Park

Little Common, Stanmore:	No. 12 (Maytree Cottage)	Stanmore Park
Little Common, Stanmore:	Nos. 18 to 22	Stanmore Park
Locket Road, Wealdstone:	Wealdstone Methodist Church	Wealdstone
London Road, Harrow on the Hill:	Nos. 7 to 17 (odd)	Harrow on the Hill
London Road, Harrow on the Hill:	The Gerards	Harrow on the Hill
London Road, Harrow on the Hill:	Lincoln House	Harrow on the Hill
London Road, Harrow on the Hill:	Parkside	Harrow on the Hill
London Road, Harrow on the Hill:	The Woodlands (Nos. 1 to 8)	Harrow on the Hill
London Road, Harrow on the Hill:	Longridge, Kingsley House & Edgehill	Harrow on the Hill
London Road, Harrow on the Hill:	The Little House & The Hermitage	Harrow on the Hill
London Road, Harrow on the Hill:	Wilmington House	Harrow on the Hill
London Road, Harrow on the Hill:	West Acre	Harrow on the Hill
London Road, Harrow on the Hill:	Moat Lodge (Nos. 1 to 5)	Harrow on the Hill
London Road, Harrow on the Hill:	Uplands	Harrow on the Hill
London Road, Harrow on the Hill:	Park Lodge	Harrow on the Hill
London Road, Harrow on the Hill:	Herga House	Harrow on the Hill
London Road, Harrow on the Hill:	Stanmore Underground Station	Harrow on the Hill
Lorne Road, Wealdstone:	No. 46	Wealdstone
Love Lane, Pinner:	St Lukes Roman Catholic Church	Pinner

Lower Road, Harrow on the Hill:	Ortygia House	Harrow on the Hill
Lower Road, Harrow on the Hill:	Nos. 57, 59 (Ponsford Cottages)	Harrow on the Hill
Lower Road, Harrow on the Hill:	The Welsh Congregational Church	Harrow on the Hill
Lower Road, Harrow on the Hill:	No. 31	Harrow on the Hill
Lowlands Road, Harrow on the Hill:	Nos. 26 to 40 (even)	Harrow on the Hill
Mm		
Malvern Avenue	St Andrew Roxbourne	Roxbourne
Marsh Lane, Stanmore:	The Cottage, Stanmore Gas Works	Stanmore Park
Marsh Road, Pinner:	No. 79 (Grove Cottage)	Pinner
Middle Path, Harrow on the Hill:	Charmouth	Harrow on the Hill
Middle Path, Harrow on the Hill:	Cricket Field Cottage	Harrow on the Hill
Middle Path, Harrow on the Hill:	No. 27 (Roxeth Mead)	Harrow on the Hill
Middle Path, Harrow on the Hill:	Nos. 29, 31	Harrow on the Hill
Middle Path, Harrow on the Hill:	Pavilion to Lower School of John Lyon	Harrow on the Hill
Middle Path, Harrow on the Hill:	Lower House, (25 & 25a) & Buckholt House	Harrow on the Hill
Middle Path, Harrow on the Hill:	The John Lyon School	Harrow on the Hill
Middle Path, Harrow on the Hill:	Nos. 36 to 46 (even)	Harrow on the Hill
Mount Park Avenue. Harrow on the Hill:	Beechbank	Harrow on the Hill
Mount Park Avenue. Harrow on the Hill:	Thornies	Harrow on the Hill
Mount Park Avenue. Harrow on the Hill:	Belmont	Harrow on the Hill
Mount Park Avenue. Harrow on the Hill:	Mount Lodge (Headland)	Harrow on the Hill

Mount Park Avenue. Harrow on the Hill:	St Dominics Chapel	Harrow on the Hill
Mount Park Avenue. Harrow on the Hill:	The Oaks	Harrow on the Hill
Mount Park Avenue. Harrow on the Hill:	Rowney	Harrow on the Hill
Mount Park Avenue. Harrow on the Hill:	Duneaves	Harrow on the Hill
Mount Park Avenue. Harrow on the Hill:	Egerton	Harrow on the Hill
Mount Park Avenue. Harrow on the Hill:	Carolyn House	Harrow on the Hill
Mount Park Avenue. Harrow on the Hill:	Oakhurst (Purcell School)	Harrow on the Hill
Mount Park Avenue. Harrow on the Hill:	Ravensholt (Purcell School)	Harrow on the Hill
Mount Park Avenue. Harrow on the Hill:	Broomhill	Harrow on the Hill
Mount Park Avenue. Harrow on the Hill:	Westbourne House	Harrow on the Hill
Mount Park Avenue. Harrow on the Hill:	Charnwood	Harrow on the Hill
Mount Park Avenue. Harrow on the Hill:	Valleyfield	Harrow on the Hill
Mount Park Avenue. Harrow on the Hill:	Hillfield	Harrow on the Hill
Mount Park Avenue. Harrow on the Hill:	St Margarets Cottage	Harrow on the Hill
Nn		
Northolt Road, South Harrow:	Royal British Legion Club	Harrow on the Hill
Nower Hill, Pinner:	No. 16	Pinner
Nugents Park, Hatch End:	Four Oaks	Hatch End
Nugents Park, Hatch End:	Tall Trees	Hatch End

Nugents Park, Hatch End:	Cavan Garden	Hatch End
Nugents Park, Hatch End:	The Ridge	Hatch End
Nugents Park, Hatch End:	Tanglewood	Hatch End
Oo		
Old Church Lane, Stanmore:	Ornamental Well Cover, corner of Tudor Well Close	Belmont
Old Church Lane, Stanmore:	No. 24 (Stanmore Cottage)	Stanmore Park
Old Church Lane, Stanmore:	Nos. 42, 44	Belmont
Old Church Lane, Stanmore:	Nos. 58, 60	Belmont
Old Church Lane, Stanmore:	Lych Gate	Belmont
Old Church Lane, Stanmore:	Bernays Park Shelter	Stanmore Park
Old Church Lane, Stanmore:	Drinking Fountain	Stanmore Park
Old Church Lane, Stanmore:	Historic fingerpost on corner with Uxbridge Road	Stanmore Park
Old Lodge Way, Stanmore:	Nos. 8, 10	Stanmore Park
Old Redding, Harrow Weald:	Stable block & Piers, Grimsdyke	Harrow Weald
Old Redding, Harrow Weald:	The Case is Altered PH	Harrow Weald
Old Redding, Harrow Weald:	Historic fingerpost on corner with Oxhey Lane	Harrow Weald
Orley Farm Road, Harrow on the Hill:	No. 1	Harrow on the Hill
Oxhey Lane, Pinner:	Boundary stone on Grimsdyke Golf Course	Pinner
Pp		
Paines Lane, Pinner:	No. 50	Pinner

Paines Lane, Pinner:	No. 82 (Lavender Cottage)	Pinner
Paines Lane, Pinner:	The United Free Church	Pinner
Paines Lane, Pinner:	Historic fingerpost on corner with Uxbridge Road	Pinner
Park View Road, Pinner:	Naseby	Pinner
Penketh Drive, Harrow on the Hill:	Coach House	Harrow on the Hill
Peterborough Road, Harrow on the Hill:	Nos. 2 to 24 (even)	Harrow on the Hill
Peterborough Road, Harrow on the Hill:	Chalgrove	Harrow on the Hill
Peterborough Road, Harrow on the Hill:	The Knoll & Hillside (Harrow School)	Harrow on the Hill
Peterborough Road, Harrow on the Hill:	The Old Music School (Harrow School)	Harrow on the Hill
Peterborough Road, Harrow on the Hill:	Historic fingerpost on corner with Kenton Road	Harrow on the Hill
Pinner Hill, Pinner:	Pond Cottage	Pinner
Pinner Hill, Pinner:	Historic fingerpost on corner with Uxbridge Road	Pinner
Pinner Hill Road, Pinner:	Ohio Cottage	Pinner
Pinner Hill Road, Pinner:	Tudor House	Pinner
Pinner Road, Pinner:	No. 31	Pinner
Pinner Road, Pinner:	No. 491	Pinner
Pinner Road, Pinner:	Harrow Cemetery Mortuary Chapel	Pinner
Pinner Road, Pinner:	No. 352 (The Counting House)	Pinner
Pinner Road, Pinner:	Park Gates	Pinner
Pinner Road, Pinner:	Capel Gardens (Nos. 1 to 24 consecutively, 26 to 72 even)	Pinner

Pinner Road, Pinner:	Chapel, Lodge (660) and Park Entrance Gates and Pillars between Pinner Court and Capel Gardens	Pinner
Pinner Road, Pinner:	Pinner Fire Station and rear Tower and Repair Workshops	Pinner
Pinner View, Pinner	The Vicarage	Pinner
Potter Street, Pinner	Boundary stone within the garden of no. 48	Pinner
Priory Drive, Stanmore:	Tudor Cottage	Stanmore Park
Priory Drive, Stanmore:	Ad Astra	Stanmore Park
Rr		
Rayners Lane, Rayners Lane:	Nos. 420 to 422	Rayners Lane
Rectory Lane, Stanmore:	Wall between Wolstenholme and The Rectory	Stanmore Park
Roxborough Avenue, Harrow on the Hill:	No. 4 (Hollywood House)	Harrow on the Hil
Roxborough Avenue, Harrow on the Hill:	Nos. 8, 10,	Harrow on the Hil
Roxborough Avenue, Harrow on the Hill:	Nos11-14 Sheppards Court	Harrow on the Hil
Roxborough Park, Harrow on the Hill:	Nos. 17, 19	Harrow on the Hil
Roxborough Park, Harrow on the Hill:	No. 2	Harrow on the Hil
Roxborough Park, Harrow on the Hill:	No. 10	Harrow on the Hil
Roxborough Park, Harrow on the Hill:	Nos. 21 to 35 (odd)	Harrow on the Hil
Roxborough Park, Harrow on the Hill:	Nos. 47 to 49 (odd)	Harrow on the Hil
Roxeth Hill, Harrow on the Hill:	The Half Moon Public House	Harrow on the Hil
Roxeth Hill, Harrow on the Hill:	Vine Cottage	Harrow on the Hil

Roxeth Hill, Harrow on the Hill:	Siddons House	Harrow on the Hill
Roxeth Hill, Harrow on the Hill:	Ancillary office building adjacent to No. 24 & boundary wall adjacent to Ashbourne Avenue	Harrow on the Hill
Royston Grove, Hatch End:	Landaras	Hatch End
Royston Grove, Hatch End:	Virginia Lodge	Hatch End
Ss		
St. Ann's Road, Harrow:	The Rat & Parrot (formerly The Royal Oak) Public House	Greenhill
St. Ann's Road, Harrow:	Nos. 2 to 24 (even)	Greenhill
Sheppards Court, Roxborough Avenue:	Nos. 11 to 14 (consecutively)	Greenhill
South Hill Avenue, Harrow on the Hill:	The Grange	Harrow on the Hill
South Hill Avenue, Harrow on the Hill:	Oakmead	Harrow on the Hill
South Hill Avenue, Harrow on the Hill:	Orley Farm School	Harrow on the Hill
South Hill Avenue, Harrow on the Hill:	Westlands	Harrow on the Hill
South Hill Avenue, Harrow on the Hill:	The Red Lodge	Harrow on the Hill
South Hill Avenue, Harrow on the Hill:	Arden & Lobswood	Harrow on the Hill
South Hill Avenue, Harrow on the Hill:	San Souci & Hollin	Harrow on the Hill
South Hill Avenue, Harrow on the Hill:	Sundridge	Harrow on the Hill
South Hill Avenue, Harrow on the Hill:	Helmsley	Harrow on the Hill
South Hill Avenue, Harrow on the Hill:	Collingwood	Harrow on the Hill

South Hill Avenue, Harrow on the Hill:	Leaflands	Harrow on the Hill
South Hill Avenue, Harrow on the Hill:	Toll Gate Lodge (Ash Tree Cottage)	Harrow on the Hill
South Hill Avenue, Harrow on the Hill:	Nos. 38 44 (even)	Harrow on the Hill
South Hill Avenue, Harrow on the Hill:	(Former) South Harrow Station	Harrow on the Hill
South View Road, Pinner:	Oakwood	Pinner
South View Road, Pinner:	The Lodge	Pinner
Stanmore Hill, Stanmore:	No. 37	Stanmore Park
Stanmore Hill, Stanmore:	Nos. 156 & 158	Stanmore Park
Stanmore Hill, Stanmore:	The Vine Public House	Stanmore Park
Stanmore Hill, Stanmore:	Wall fronting Halsbury Court	Stanmore Park
Stanmore Hill, Stanmore:	No. 99	Stanmore Park
Stanmore Hill, Stanmore:	Nos. 103 to 107 (odd)	Stanmore Park
Stanmore Hill, Stanmore:	No. 129	Stanmore Park
Stanmore Hill, Stanmore:	No. 80 (The Cot)	Stanmore Park
Station Approach, Pinner:	Pinner Railway Station	Pinner
Station Road, North Harrow	Air Raid War Wardens' post, no. 21	Greenhill
Station Road, Harrow:	Nos. 307 to 313	Greenhill
Station Road, Harrow:	Nos. 329 to 353	Greenhill
Station Road, Harrow:	Nos. 361 to 369	Greenhill
Station Road	Frontage of Safari Cinema	Greenhill
Streatfield Road, Kenton:	Kenton Baptist Church	Kenton East
Sudbury Hill, Harrow on the Hill:	Marston Lodge	Harrow on the Hill
Sudbury Hill, Harrow on the Hill:	Armstrongs	Harrow on the Hill
Sudbury Hill, Harrow on the Hill:	Woodcroft	Harrow on the Hill
Sudbury Hill, Harrow on the Hill:	St Andrews	Harrow on the Hill
Sudbury Hill, Harrow on the Hill:	Allington House	Harrow on the Hill

Sudbury Hill, Harrow on the Hill:	Sudbury Lodge	Harrow on the Hill
Sudbury Hill, Harrow on the Hill:	Mount Lodge	Harrow on the Hill
Sudbury Hill, Harrow on the Hill:	Gooden Cottage	Harrow on the Hill
Sudbury Hill, Harrow on the Hill:	Bowden House Clinic	Harrow on the Hill
Sudbury Hill, Harrow on the Hill:	Queensgate & Kingsgate	Harrow on the Hill
Sudbury Hill, Harrow on the Hill:	Mountside & Oakside	Harrow on the Hill
Tt		
Tanglewood Close, Bushey Heath:	Garden (Tanglewood) Cottage and gate piers	Stanmore Park
Tanglewood Close, Bushey Heath:	Tanglewood Lodge	Stanmore Park
The Common, Stanmore	Bentley Manor	Stanmore Park
Torbay Road	Roxbourne First and Middle Schools	Rayners Lane
Uu		
Uxbridge Road, Stanmore:	No. 14 (The Lodge)	Stanmore Park
Uxbridge Road, Stanmore:	No. 1 (Lodge to Church of St John)	Stanmore Park
Uxbridge Road, Hatch End:	No. 579 (Blackthorn)	Hatch End
Uxbridge Road, Hatch End:	Nos. 151 to 153	Hatch End
Uxbridge Road, Hatch End:	Nos. 161 to 163 (The George Moore Memorial Building)	Hatch End
Uxbridge Road, Hatch End:	Arts & Crafts Block, Harrow Arts Centre, Elliot Hall	Hatch End
Uxbridge Road, Hatch End:	The Henry Jones Gymnasium, Harrow Arts Centre, Elliot Hall	Hatch End
Uxbridge Road, Hatch End:	No. 246 (former Post Office)	Hatch End

Uxbridge Road, Hatch End:	18 th century milestone approximately 1 mile west of Hatch End by the Montesole Park close to the junction with Pinner Hill Road / Elm Park Road	Hatch End
Uxbridge Road, Hatch End:	18 th century milestone approximately 1 mile east of Hatch End outside the cottage opposite The Cedars park 208 Uxbridge Road.	Hatch End
Uxbridge Road, Pinner:	Nos. 546 & 548	Pinner
Uxbridge Road, Pinner:	No. 552	Pinner
Uxbridge Road, Pinner:	No. 609 (Hall Lodge)	Pinner
Uxbridge Road, Harrow Weald:	No. 128 (The Nook)	Harrow Weald
Uxbridge Road, Harrow Weald:	Historic fingerpost	Harrow Weald
Uxbridge Road, Harrow Weald:	Gate Piers at entrance to Park Drive	Harrow Weald
Uxbridge Road, Harrow:	Grave of Leefe Robinson in the graveyard opposite All Saints Church	Harrow Weald
Vv		
Valencia Road, Stanmore:	Nos. 2 to 10 (even)	Canons
Victoria Terrace, Harrow on the Hill	No. 5	Harrow on the Hill
Victoria Terrace, Harrow on the Hill	Nos. 16, 17, 18	Harrow on the Hill
Ww		
Waldron Road, Harrow on the Hill:	Derrylands	Harrow on the Hill
Waldron Road, Harrow on the Hill:	Waldron Cottage	Harrow on the Hill

Warren Lane, Stanmore:	Garden Wall to Brouings & Wildwood	Stanmore
Warren Lane, Stanmore:	Limes House	Canons
Warren Lane, Stanmore:	Limes Lodge	Canons
Waxwell Lane, Pinner:	No. 1 (The Police Station)	Pinner
Waxwell Lane, Pinner:	The Oddfellows Arms Public House	Pinner
Waxwell Lane, Pinner:	Nos. 4 to 14 (even) (Unity Place)	Pinner
Waxwell Lane, Pinner	52 and 54	Pinner
Wellington Road, Hatch End:	Nos. 40, 42	Hatch End
West Drive, Harrow Weald:	No. 57	Harrow Weald
West Drive, Harrow Weald:	Nos. 6 to 71 (odd) enclosing wall	Harrow Weald
West End Avenue, Pinner	No. 61	Pinner
West End Lane, Pinner:	No. 32 (Rose Cottage)	Pinner
West End Lane, Pinner:	No. 34 (Woodbine Cottage)	Pinner
West End Lane, Pinner:	No. 124 (Lawns Cottage)	Pinner
West End Lane, Pinner	West House	Pinner
Westfield Park, Hatch End:	Westfield	Hatch End
Westfield Park, Hatch End:	Westfield Point	Hatch End
West Hill, Harrow on the Hill:	Winton	Harrow on the Hill
West Hill, Harrow on the Hill:	West Hill Hall	Harrow on the Hill
West Hill, Harrow on the Hill:	West Hill Close	Harrow on the Hill
West Street, Harrow on the Hill:	Post Box (corner of Victoria Terrace)	Harrow on the Hill
West Street, Harrow on the Hill:	No. 1	Harrow on the Hill
West Street, Harrow on the Hill:	Nos. 15, 17	Harrow on the Hill
West Street, Harrow on the Hill:	Nos. 19 to 29 (odd)	Harrow on the Hill
West Street, Harrow on the Hill:	Nos. 39 to 51 (odd)	Harrow on the Hill
West Street, Harrow on the Hill:	Nos. 59 to 63 (odd)	Harrow on the Hill

West Street, Harrow on the Hill:	No. 97	Harrow on the Hill
West Street, Harrow on the Hill:	Nos. 75 to 85 (odd)	Harrow on the Hill
West Street, Harrow on the Hill:	Nos. 99, 101	Harrow on the Hill
West Street, Harrow on the Hill:	No. 107	Harrow on the Hill
West Street, Harrow on the Hill:	Nos. 2, 2a	Harrow on the Hill
West Street, Harrow on the Hill:	Nos. 32, 34	Harrow on the Hill
West Street, Harrow on the Hill:	No. 38	Harrow on the Hill
West Street, Harrow on the Hill:	Nos. 40 to 60 (even)	Harrow on the Hill
West Street, Harrow on the Hill:	No. 62	Harrow on the Hill
West Street, Harrow on the Hill:	No. 70	Harrow on the Hill
West Street, Harrow on the Hill:	No. 76 (Police Station)	Harrow on the Hill
West Street, Harrow on the Hill:	Police Lantern (outside No. 76)	Harrow on the Hill
West Street, Harrow on the Hill:	Nos. 72, 74	Harrow on the Hill
West Street, Harrow on the Hill:	Field House Club	Harrow on the Hill
Whitchurch Lane, Edgware:	Police Station	Canons
Whitefriars Avenue, Wealdstone:	Whitefriars First & Middle Schools	Wealdstone
Whitefriars Avenue, Wealdstone:	Winsor and Newton office and attached industrial buildings	Wealdstone
Wilson Road, West Harrow:	Former Vaughan Infants School	West Harrow
Wood Lane, Stanmore:	Water Pump	Canons
Wood Lane, Stanmore:	Nos. 1 & 2 Garage Cottages	Canons
Wood Lane, Stanmore:	No. 122 (Woodleigh)	Canons
Wood Lane, Stanmore:	By the Pond	Canons
Woodhall Road, Hatch End:	Pinnerwood Cottage	Hatch End
Woodhall Road, Hatch End:	Pinnerwood Farm	Hatch End
Woodhall Road, Hatch End:	Pinnerwood Farm Lodge	Hatch End
Wyvenhoe Road, South Harrow:	Welldon Park School	Roxeth

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Content 1

Authority's Monitoring Report New Structure

Authority's Monitoring Report New Structure

1.1 This year's Authority's Monitoring Report (formerly known as the Annual Monitoring Report) is the first to monitor Harrow's Core Strategy indicators which were adopted in February 2012. Existing indicators from previous reports which monitored saved Unitary Development Plan policies are included where relevant to the monitoring of the new Local Plan. The purpose of the AMR is to monitor the effectiveness of implementing local planning policies.

1.2 Overall this is the ninth AMR that the Council has prepared. All previous reports are made available to view and download from the Council's website: <http://www.harrow.gov.uk/planning>

1.3 The latest AMR provides an analysis of performance for the period 1 April 2012 to 31 March 2013. In doing so, it also draws upon the data gathered since 2005 where indicators are similar to the ones used to monitor Harrow's saved UDP policies, which enables trends to be identified and conclusions to be reached about whether individual policies are achieving their intended outcomes or whether they, or our processes, need to be modified or revisited. For ease of use each indicator is colour coded as to whether it is on target.

- Green = On Target
- Orange = Working towards target
- Red = Target not met

1.4 The AMR also monitors the Council's progress in preparing its Local Plan documents.

Key Findings

1.5 The following provides a brief summary of the main findings in the 2012/13 AMR:

- Most indicators are being met, or are on target to be met
- 736 net new homes were completed last year, well over the target of 350 per annum.
- Large sites delivering housing were Honeypot Lane (a further 163 units), Peel Road (45 Units), Neptune Point (146 Units), Railway Approach (34 Units), Goodwill to All (42 Units), Mill Farm Close (63 units), Rayners Lane Estate phase F (27 Units), Douglas Close (31 Units) and Strongbridge Close (40 Units).
- 364 affordable units were delivered against a plan target of 140 per annum. Of all residential dwellings delivered over the year, 48.3% were affordable housing.
- Over the plan period to date Harrow has delivered 2,157 units against a cumulative London Plan target of 1,500. Over the same period 853 were affordable - this equates to 39.5% of all units.
- There continues to be a loss of office space in the Borough of -3,220m², as older stock gets redeveloped. The level of office loss is likely to increase significantly in the next monitoring period due to office to residential Permitted Development coming into effect in May 2013.
- Since 2009 (the beginning of the plan period), there has been a net increase in retail floorspace of 5,623 sqm of which 1,992 sqm was completed in the last year.
- North Harrow centre which was previously the centre with the Boroughs highest vacancy rate at over 40%, has dramatically improved, and now has a vacancy rate at around 6% which is the Borough average.
- All key Green Gird projects for last year were successfully completed.
- Public Transport improvements including bus stop and priority lanes, and work on key junctions are underway.

- There has been no loss of Green Belt or Metropolitan Open Land contrary to Local Plan objectives.
- The Local Plan documents and Harrow's Community Infrastructure Levy were all progressed in accordance with the timetable set out in the Local Development Scheme.

Protect the historical and environmental features that contribute to Harrow's character and distinctiveness as a place to live, work and visit **2**

Authority's Monitoring Report New Structure

Green Belt, Metropolitan Open Land and Parks

Green Belt and Metropolitan Open Land

2.1 In total, the Green Belt within Harrow covers over 20% of the total area of the borough and is equivalent to 4.52 ha per 1,000 population (Environment and Open Space). However, while there is a large area of Green Belt land, and public rights of way across many parts of the Green Belt, much of this land is still not accessible to the public. The most publicly accessible sites within the borough are: Stanmore Country Park, Stanmore Common, Bentley Priory Open Space, Grimsdyke Open Space, Harrow Weald Common, Harrow Weald Wood and Sylvia Avenue Open Space.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 1 CS1 Objective 2 CS1 Objective 3	GMP1	Loss of, or inappropriate development on, Green Belt or Metropolitan Open Land	No net loss of, or inappropriate development on, Green Belt or Metropolitan Open Land		More than one appeal allowed for inappropriate development on Green Belt or Metropolitan Open Land

2.2 In 2012/13 there was no net loss of designated Green Belt or Metropolitan Open Land in the borough. There were three appeals allowed for inappropriate development on Green Belt or Metropolitan Open Land. These were for an outbuilding to an existing house in the Green belt, a new building at Headstone Garden Centre in the Green belt, and a new mobile phone mast in the Green Belt. As all of these are small scale developments, there is currently no need to review policy.

Parks

2.3 The Green Flag is a national award scheme for parks and gardens based on a number of criteria: a welcoming place; healthy, safe and secure; clean and well maintained; sustainability; conservation and heritage; community involvement; marketing; and management.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 1 CS1 Objective 5	GMP2	Number of parks managed to Green Flag award standard	77% of parks managed to Green Flag award standard (using 2010 as base year)		Less than 55% by 2017/18 Less than 66% by 2021/22

2.4 In 2012/13 five of Harrow's 28 parks (18%) are managed to Green Flag standard. These are:

2 Protect the historical and environmental features that contribute to Harrow's character and distinctiveness as a place to live, work and visit

- Harrow Recreation Ground
- Roxeth Recreation Ground
- Pinner Memorial Park
- Canons Park
- Kenton Recreation Ground

2.5 Although the indicator is currently shown as being met, this target may prove challenging going forward given Council's current funding constraints.

Areas of Special Character

2.6 Pinner Hill and Harrow Weald Ridge Areas of Special Character provide an elevated horizon of tree cover and open countryside which spans across the north of the Borough and acts as a visual reminder that Harrow is an outer-London borough, a transition between the highly urbanised characteristics of central & inner London and the more rural character of the counties beyond. Harrow Hill Area of Special Character is a topographical feature with an identifiable profile to the south of the Borough, forming the verdant 'shoulders' upon which sits St. Mary's Church and supplemented by a substantial body of open space around the Hill's lower slopes. Harrow Weald Ridge, Pinner Hill and Harrow on the Hill contain a significant number of the Borough's heritage assets. Harrow on the Hill is also of cultural importance as the Borough's principal historic settlement and as the location of Harrow School.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 1 CS3 Objective 1 CS6 Objective 1 CS7 Objective 1	ASC1	Development adversely affecting an Area of Special Character: <ul style="list-style-type: none"> • Borough-wide • Harrow Hill • Pinner Hill • Harrow Weald Ridge 	No applications approved for development adversely affecting an Area of Special Character: <ul style="list-style-type: none"> • Borough-wide • Harrow Hill • Pinner Hill • Harrow Weald Ridge 		More than one application approved involving development adversely affecting an area of special character over a rolling five year period: <ul style="list-style-type: none"> • Borough-wide • Harrow Hill • Pinner Hill • Harrow Weald Ridge

2.7 In 2012/13 there were no applications approved for development adversely affecting an area of special character.

Local Views

2.8 The landscape backdrop provided by the Green Belt, to the north of the Borough, and the profile of Harrow Hill with St. Mary's Church to the south of the Borough, are significant components of local identity and sense of place. The Harrow Views Assessment (2012) identified 11 local views that merit protection in accordance with the London View Management Framework.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 1 CS1 Objective 10	LV1	Development adversely affecting an identified local view	No applications approved for development adversely affecting an identified local view		More than one application approved involving development adversely affecting identified local view over a rolling five year period

2.9 There were no applications approved in 2012/13 for development adversely affecting an identified local view.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS3 Objective 3	LV2	Development adversely affecting an identified local view of St. Mary's Church	No application approved for development adversely affecting an identified local view of St. Mary's Church		More than one application approved involving development adversely affecting an identified local view over a rolling five year period

2.10 In 2012/13 there were no applications approved for development adversely affecting an identified local view of St. Mary's Church.

Heritage

2.11 Harrow benefits from a surprisingly diverse historic environment. It comprises:

- 28 conservation areas
- over 300 statutory listed buildings
- 4 historic parks and gardens
- 9 scheduled ancient monuments
- over 750 locally listed buildings
- 2 locally listed parks and gardens
- 9 archaeological priority areas

2 Protect the historical and environmental features that contribute to Harrow's character and distinctiveness as a place to live, work and visit

2.12 These and many other heritage assets provide a point of reference in the cultural distinctiveness of the Borough and their conservation enables both residents and visitors to appreciate Harrow's history. They also represent a precious inheritance, to be passed-on for future generations to understand and enjoy.

Heritage Assets - General

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 1 CS1 Objective 18 CS3 Objective 1 CS6 Objective 1 CS7 Objective 1	HER1	Heritage assets on the English Heritage 'at risk' register: <ul style="list-style-type: none"> • Borough-wide • Harrow Hill • Pinner Hill • Harrow Weald Ridge 	None		Additional heritage assets on the English Heritage 'at risk' register: <ul style="list-style-type: none"> • Borough-wide • Harrow Hill • Pinner Hill • Harrow Weald Ridge

2.13 In 2012/13, 17 of the borough's heritage assets were listed on the English Heritage 'at risk' register. Two of the heritage assets at risk are within Bentley Priory, on Harrow Weald Ridge (Bentley Priory - central entrance block and Registered Park and Garden (grade II)). The preparation of the Bentley Priory Open Space Management Plan and the on-going redevelopment of the site, will address both these assets and seek to bring about their positive conservation and eventual removal from the 'at risk' registry.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 1 CS3 Objective 1	HER2	Development adversely affecting the setting of Harrow Hill	No applications approved for development adversely affecting the setting of Harrow Hill		One application involving development adversely affecting the setting of Harrow Hill over a rolling five year period

2.14 In 2012/13 there were no applications approved for development adversely affecting the setting of Harrow Hill.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 1 CS1 Objective 18	HER3	Development adversely affecting a heritage asset (except enabling development)	No application approved for development adversely affecting a heritage asset		More than one application approved adversely affecting a heritage asset over five years

2.15 In 2012/13 there were no applications approved for development adversely affecting a heritage asset (excluding enabling development).

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS8 Objective 1	HER4	Development in Edgware centre (LB Harrow part) adversely affecting a heritage asset	No application approved for development adversely affecting a heritage asset		More than one application approved adversely affecting a heritage asset over five years

2.16 In 2012/13 there were no applications approved for development within the Harrow part of Edgware Major Centre adversely affecting a heritage asset.

Heritage Assets - Listed Buildings

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 1 CS1 Objective 18	HER5	Up-to-date list of buildings of local architectural or historic buildings	Review list every five years		No review by end 2016/17 No further review by end 2021/22

2.17 Harrow's local list of buildings of architectural or historic importance was last updated in March 2013. There are currently 758 buildings and structures on the Harrow local list.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
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2 Protect the historical and environmental features that contribute to Harrow's character and distinctiveness as a place to live, work and visit

Strategic Objective 1	HER6	Up-to-date guidance leaflet for owners of locally listed buildings	Review guidance every five years		No review by end 2016/17
CS1 Objective 18					No further review by end 2021/22

2.18 In December 2013 the Council adopted its Locally Listed Buildings SPD, which provides good practice advice and guidance to the owners and occupiers of locally listed buildings for their maintenance and conservation and also to provide advice on the relevant planning controls.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS5 Objective 6	HER7	Planning appeals dismissed for development or alterations adversely affecting listed buildings within Rayners Lane district centre	100%		More than five appeals allowed for development adversely affecting Metroland and suburban character over a rolling three year period

2.19 In 2012/13 there were no appeals dismissed and no appeals allowed for development or alterations adversely affecting listed buildings within the Rayners Lane district centre.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS6 Objective 6	HER8	Development adversely affecting the setting of Harrow Arts Centre	No application approved for development adversely the setting of Harrow Arts Centre		No site allocation setting clear parameters for development of the car park site by end 2012/13

2.20 In 2012/13 there were no applications approved for development adversely affecting the setting of Harrow Arts Centre. Harrow's Site Allocations Local Plan document was adopted on July 4 2013 and sets clear parameters for the development of the Arts Centre car park and ancillary buildings (site G04).

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS7 Objective 3	HER9	Completion of Bentley Priory restoration and redevelopment	Complete by end 2013/14		Works stall by end 2012/13

2.21 In 2012/13 the restoration and redevelopment of the former RAF Bentley Priory site was well underway. Completion of the development is scheduled for 2013/14.

Heritage Assets - Conservation Areas

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 1 CS1 Objective 18 CS3 Objective 1 CS5 Objective 6 CS6 Objective 1 CS7 Objective 1	HER10	Conservation areas with adopted supplementary planning documents, area appraisals and management strategies	100% by 2017/18		Less than 70% by 2014/15

2.22 Harrow has a total of 28 Conservation Areas across the borough. 20 of these (71%), currently have up-to-date Conservation Area Appraisal and Management Strategy, are afforded weight as a material planning consideration through provision within a recently adopted supplementary planning document. The adoption of the Stanmore and Edgware SPD, expected in December 2013, will add a further six conservation areas to this list, bringing the figure of CAs in active management by the Council up to 93%.

Heritage Assets - Parks & Gardens

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 1 CS1 Objective 18 CS3 Objective 1	HER11	Historic parks and gardens with an adopted asset management plan	100% by 2025/26		Less than 50% by 2016/17 Less than 75% by 2020/21

2.23 In 2012/13 none of Harrow's four historic parks & gardens were covered by an adopted management plan, representing coverage of 0%. Work is underway on preparing a management plan for the Bentley Priory Grade II Registered Park & Garden, and an SPD for Harrow School is also being developed that includes Harrow Park. The completion of both of these will see the 2016/17 target being met but currently the target is shown as amber.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
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2 Protect the historical and environmental features that contribute to Harrow's character and distinctiveness as a place to live, work and visit

Strategic Objective 1	HER12	Up to date list of locally important historic parks and gardens	Review list every five years		No review by end 2016/17 No further review by end 2021/22
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2.24 Harrow's local list of locally important historic parks and gardens was not reviewed during the last monitoring period. The Council is proposing to undertake a review and call for sites in 2014/15.

Local Character

2.25 Harrow is a classic outer London borough. Having formed part of the Middlesex landscape of villages, farms and country estates for many centuries, the extension of railway lines out of London in the 19th and early 20th Centuries generated rapid suburbanisation which in turn required new shopping districts, factories and public open spaces. The resulting legacy is a network of surviving village and inter-war town centres, enveloped by residential suburbs, and local parks, schools, offices and business premises. The Borough's residential suburbs provide a generally quiet, leafy environment and traditional forms of accommodation, particularly attractive for families, and together with the network of town centres, public transport, social and economic infrastructure, provide a good foundation for more sustainable living.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 1	LC1	Planning appeals allowed for inappropriate garden development	None		More than one appeal allowed for inappropriate garden development over a rolling three year period

2.26 On 11th April 2013, following consultation during the 2012/13 monitoring period, the Council adopted an SPD to better explain and amplify the Core Strategy policy on garden land development. In 2012/13 there were two appeals allowed for garden land development, both of which were prior to adoption of the SPD.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 1 CS1 Objective 8	LC2	Planning appeals allowed for development adversely affecting Metroland and suburban character	Less than 5		More than five appeals allowed for development adversely affecting Metroland and suburban character over a rolling three year period

2.27 In 2012/13 there were no appeals allowed for development adversely affecting Metroland and suburban character.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 1	LC4	Planning appeals allowed for works to protected trees	Less than 5		More than five appeals allowed for works to protected trees over a rolling five year period

2.28 In 2012/13 there were no appeals allowed for works to protected trees.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS2 Objective 1	LC5	Area Action Plan adopted for Harrow & Wealdstone Intensification Area	Adopt area action plan by end 2013/14		No examination in public of area action plan during 2012/13

2.29 On 8th October 2012 the Council submitted the Harrow & Wealdstone Area Action Plan to the Planning Inspectorate for independent Examination in Public (EiP). Public hearing sessions were held on 22nd, 28th and 30th January 2013. Following receipt of the Inspector's report in June 2013 the Council adopted the Plan on 4 July 2013.

Biodiversity

2.30 Harrow's Biodiversity Action Plan (BAP) identifies the borough's Sites of Special Scientific Interest (SSSIs), Sites of Nature Conservation Importance (SINCs) (including proposed additional sites) and Local Nature Reserves (LNR) designations. The BAP also details nine priority habitats and four priority species for Harrow.

2.31 Habitats selected are:

- Bare Ground
- Decaying Timber
- Garden and Allotments
- Grassland
- Heathland
- Parks
- Standing and Running Water
- Wasteland
- Woodlands

2.32 Species selected are:

- Bats
- Heath Spotted Orchid

2 Protect the historical and environmental features that contribute to Harrow's character and distinctiveness as a place to live, work and visit

- Reptiles and Amphibians
- Southern Wood Ant

2.33 The Plan can be viewed on the council's website:
http://www.harrow.gov.uk/info/200023/conservation/1260/harrow_biodiversity/1.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 1	BIO1	Improve the quality of existing natural and semi-natural open space sites	70% of existing sites meet the recommended local quality standard by 2026 (based on the 2010 PPG17 figures)		<p>Less than 60% by 2016/17</p> <p>Less than 65% by 2021/22</p> <p>New PPG 17 study in 2017/18 identifies material deterioration in quality compared to 2010 study</p>

2.34 Harrow's PPG 17 Study of Open Space, Sport and recreation found there to be 28 sites of natural and semi-natural open space in the borough. Of these 11 (39%) were recorded as meeting or exceeding the recommended minimum quality standard. No further qualitative assessment of these sites has been carried out since the 2010 Study. The target of 60% by 2016/17 may prove challenging given the Council's current funding constraints.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
<p>Strategic Objective 1</p> <p>CS3 Strategic Objective 2</p> <p>CS6 Strategic Objective 2</p>	BIO2	Sites of importance for nature conservation where positive conservation management has been or is being implemented	80% of SINCS where positive conservation management has been or is being implemented		<p>Less than 60% by 2016/17</p> <p>Less than 70% by 2021/22</p> <p>No increase in the number of SINCS in positive conservation management over a rolling three year period</p>

2.35 The number of Local Sites of Importance for Nature Conservation (SINCS) in the borough increased from 30 to 44 in 2013 as a result of the adoption Harrow Local Plan Site Allocations document in July 2013. This has resulted in a temporary reduction in the percentage of Local

Sites positively managed for conservation when compared with previous years monitoring. In 2012/13, 17 of the of the 44 had a management strategy that had been, or was in the process of being, implemented which equates to 39%.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 1	BIO3	Development adversely affecting functional flood plain	No application approved for development adversely affecting the functional flood plain		More than five applications approved for development adversely affecting the functional floodplain over five years (rolling)

2.36 In 2012/13 there were no applications approved for development adversely affecting the functional flood plain.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS4 Objective 6	BIO4	Implementation of Biodiversity Action Plan programme of actions to improve Biodiversity at Newton Farm Ecology Park and Roxeth Park	Implementation by 2025/26		No delivery or no funded proposals for delivery by 2017/18

2.37 Harrow's Biodiversity Action Plan includes the Earth Project as an action to utilise Newton Farm Ecology Park for courses in wildlife-friendly horticulture and Harrow's Green grid project will aim to deliver improvements at Roxeth Recreation Ground as part of the 2013/14 programme.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS10 Objective 3	BIO5	Implementation of Biodiversity Action Plan objectives to improve Biodiversity along the Belmont Nature Walk	Implementation by 2025/26		No delivery or no funded proposals for delivery by 2017/18

2.38 Improvement works along the Belmont Trail have taken place over the past two years as part of the Green Grid. Projects identified for 2013/14 include improvements to the Belmont Trail to the north of Belmont Circle.

Enhance the infrastructure, environment and other resources which make Harrow a desirable place to live, work and visit **3**

Authority's Monitoring Report New Structure

Investment and Community Infrastructure

3.1 Harrow's adopted Core Strategy not only establishes the spatial strategy for sustainable development and economic growth in the borough to 2026, but also lays the foundation for the co-ordinated provision of infrastructure needed to support that development and growth. Underpinning the Core Strategy is an Infrastructure Assessment and Delivery Plan which identifies the infrastructure that will be required over the plan period and the cost of providing that infrastructure.

3.2 The introduction of Harrow's Community Infrastructure Levy will help fund the following infrastructure:

- New primary schools
- A new secondary school
- Flood mitigation works
- New GP health centres
- Performing arts space
- Implementation of the Harrow Green Grid and Biodiversity Action Plan
- Improvements in the accessibility to, and quality of, Harrow's network of parks
- Provision of areas of play and facilities for young people in areas identified as deficient
- The provision of cemetery space
- Junction improvements required to improve bus service efficiency

Infrastructure - General

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS2 Objective 5	ICI1	Total annual public and private investments in the Borough	18% growth to 2026 on 2009 as the base year		Less than 3% growth over a rolling three year period

3.3 Contributions towards Infrastructure 2007/08 - 2012/13 shows that S.106 contributions towards infrastructure have varied considerably over the past five monitoring periods, peaking at £8,771,315.60 in this monitoring period. This is largely due to the Kodak site being granted permission, which has contributed the vast amount of the S.106 obligations.

Infrastructure	Amount Contributed (£)					2012/13
	2007/08	2008/09	2009/10	2010/11	2011/12	
Public Transport	-	£125,000	£540,000	£578,000	£250,000	£14,470
Highways/Infrastructure	£55,000	£80,000	£219,692	£364,457	£90,000	£3,376,320
Green Belt	-	-	-	£260,000	-	
Public Open Space	£350,000	-	-	£162,325	-	£9,730
Parks	£7,050	£50,000	£25,000	£43,850	£100,000	£1,360

3 Enhance the infrastructure, environment and other resources which make Harrow a desirable place to live, work and visit

Infrastructure	Amount Contributed (£)					2012/13
	2007/08	2008/09	2009/10	2010/11	2011/12	
Community Services	-	£250,000	£6,759	£81,218	£53,440	£1,710,000
Leisure/Sports Ground	£500,000	£536,973	£85,331	£15,000	-	£1,980,000
Drainage	£55,000	£10,000	£10,000	-	-	£176,000
Health Care	-	£50,000	£99,885	£125,000	£35,000	£313,835.60
Public Art	-	£50,000	-	-	£50,000	
Education	-	-	-	£188,694	£177,622	£1,189,600
Total	£967,050	£1,151,973	£986,667	£1,818,544	£756,062	£8,771,315.60

Source: Harrow Council, Design & Conservation

Contributions towards Infrastructure 2007/08 - 2011/12

3.4 Using 2009/10 as the baseline (as required by the indicator) the total contributions secured in 2012/13 represents a 889% net growth against 2009/10. However, this is an exception, given that the Kodak development represents one of the largest development schemes to be granted in the Borough over the past decades and for the foreseeable future. Nevertheless, it is anticipated that contributions in 2013/14 will also be above average as developers seek to complete their planning applications prior to the Borough introducing its Community Infrastructure Levy, which will effectively replace S106 contributions from development for the provision of strategic infrastructure.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 2 CS1 Objective 17	ICI2	Planning appeals allowed for development not demonstrating adequate infrastructure capacity to serve the development	Less than 20%		More than 20% appeals allowed for development not demonstrating adequate infrastructure capacity to serve the development over three years (rolling)

3.5 In 2012/13 there were no appeals allowed for development not demonstrating adequate infrastructure capacity.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger

CS2 Objective 5	ICI3	Harrow and Wealdstone Intensification Area maintained in future revisions of London Plan	Harrow & Wealdstone included in next replacement London Plan		Draft next replacement London Plan published with Harrow & Wealdstone Intensification Area excluded
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3.6 No London Plan revisions affecting the Harrow & Wealdstone Intensification Area designation were proposed or adopted in 2012/13.

Infrastructure - Educational

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 2 CS1 Strategic Objective 5	ICI4	Provision of additional primary school capacity	Approval for and construction of new and extended schools in accordance with Harrow's School Places Plan		No permanent expansion under construction by the end 2012/13 and annually thereafter to 2015/16

3.7 The Council agreed its School Place Planning Strategy in February 2010 to meet the increasing demand for school places that is primarily birth rate driven. Harrow has been opening additional temporary Reception classes since 2009, with an escalating trend. 5 additional Reception classes were opened in 2009 and in 2010, 8 additional Reception classes in 2011 and 12 additional Reception classes opened in September 2012, a 50% increase above September 2011. An additional Year 1 class was also opened in October 2011.

3.8 In July 2011, Cabinet agreed a school expansion programme as part of the School Place Planning Strategy. The strategy aims to secure sufficient primary school places through the creation of additional permanent places, supplemented by planned bulge classes and contingency bulge classes, opened if required.

3.9 On 20th June 2012, Council approved the first of two phases of permanent school expansions. Phase one saw the expansion of 9 primary schools (Camrose Primary; Cedars Manor School; Glebe Primary School; Marlborough Primary School; Pinner Park Infant and Nursery School; Pinner Park Junior School; Stanburn First School; Stanburn Junior School; and Vaughan Primary School). £14M in funding has been secured from the Government towards the projected £26.2M cost of delivering these expansions which are now into the construction phase of development, delivering a further 270 primary school places.

3.10 The target number of permanent expansions in Phase 2 of the primary school expansion programme is around 13 forms of entry (a further 390 places). In November 2012 Cabinet agreed that the 2nd phase of primary schools should be moved to the statutory process for permanent expansion. Since then work has been progressed with schools to identify the schools that will be proposed for expansion.

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Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 2 CS1 Strategic Objective 5	ICI5	Provision of additional secondary school capacity	1 x new secondary school from 2016/17 and before 2025/26		No site identified for new secondary school by end 2016/17 No delivery or no funded proposals for delivery by end 2020/21

3.11 The Harrow & Wealdstone Area Action Plan allocates one site (the Teachers' Centre in Wealdstone) for a new secondary school. In September 2012 the Avanti House School took occupation of the site providing a temporary new Free School. The Avanti House School has subsequently announced that its long term accommodation needs will be met on a site in the London Borough of Barnet. Harrow Council is now going to provide a secondary school on the Wealdstone site subject to funding being secured in 2014 with anticipated completion in 2016.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS3 Objective 4	ICI6	Retention of Harrow School, John Lyon School and Whitmore High School in the Borough	No relocation of Harrow School, John Lyon School and Whitmore High School out of the Borough		Any proposal to relocate out of the Borough

3.12 Harrow School, John Lyon School and Whitmore School continue to thrive in their current locations. In August 2013 Harrow School signed a Memorandum of Understanding with Harrow Council to jointly prepare a supplementary planning document as a long-term development strategy for the Harrow School Estate.

Infrastructure - Health

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS7 Objective 3	ICI7	Completion of phase one of the RNOH (Stanmore) redevelopment	Complete by end 2014/15		Works stall by end 2013/14

3.13 On 21st March 2013 the Council resolved to grant planning permission for the comprehensive, phased redevelopment of the Royal National Orthopaedic Hospital (P/3191/12). This replaced an early planning application, which was not progressed as it failed to secure the

necessary funding required to trigger the Hospital's PPI agreement. It is anticipated that the phase one works of the new planning permission are unlikely to commence on site until 2014/15, and therefore the local plan target date for completion of the new hospital will not be met.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 2 CS1 Strategic Objective 5	ICI8	Provision of additional health services capacity	Provision of two additional polyclinics or GP-led surgeries by the end of the plan period in 2026		No site identified for new polyclinics or GP-led surgeries by end 2015/16 No delivery or no funded proposals for delivery by end 2020/21

3.14 The Harrow & Wealdstone Area Action Plan allocates one site (Lyon Road) for mixed use development to include a new health facility. This development received planning permission in May 2012, and included within 1,500sqm for the provision of a new GP surgery. As to date, development of this scheme has not commenced. The Site Allocations Local Plan allocates three further sites (Amner Lodge, Roxeth Library & Clinic and Belmont Clinic) for redevelopment including replacement health care facilities. No new GP led surgeries or polyclinics were completed during 2012/13.

Infrastructure - Sport

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS3 Objective 4	ICI9	Engage schools in preparation of open spaces strategy and cultural strategy (as appropriate)	Schools engaged in strategy preparation by end 2012/13		Schools not invited to engage in strategy preparation by end 2011/12

3.15 The Council adopted the Harrow Outdoor Sports and Outdoor Pitch Strategies on 11th April 2013. Research on which the draft Outdoor Sports Pitch Strategy is based was undertaken with wide consultation with sports clubs in the borough. In addition the Football Association and the English Cricket Board were involved with developing the strategic priorities and the draft implementation plan. Sport England have received the draft implementation plan for comment. Delivery of the Strategy will require further consultation with local residents, sports clubs and users on specific projects to ensure that any planned improvements can be delivered to respond to need and to maximise usage without impacting negatively on local residents. However, limited engagement with schools has taken place to date in the preparation of the Open Space strategy. An early review may therefore be necessary to ensure that existing school facilities can be taken into account in maximizing opportunities for shared use.

3.16 The Council currently has no plans to prepare a Cultural Strategy.

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Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS3 Objective 9	ICI10	Community access to sports facilities at Harrow School, John Lyon School and Whitmore High School	Maintain		New PPG 17 study by 2017/18 identifies no loss of community access to facilities at Harrow School, John Lyon School and Whitmore High School

3.17 Following the rebuilding of Whitmore High School under the Building Schools for the Future programme, a new Multi-use Games Area (MUGA) has been developed which is available for community as well as school use. A similar facility is being planned for Hatch End High School.

3.18 MyPlace is a multi-million pound government programme to deliver world class places for young people. In a partnership approach, Harrow Council and Watford Football Club's Community Sports and Education Trust successfully joined together to bid for funding to demolish and replace the Cedars Youth Centre at Chicheley Road in Harrow Weald. The new state of the art facility incorporates a gym and changing room facilities, climbing wall, social area, arts and crafts room, music and drama room, café and external multi-use games area providing an excellent communal space for its users. The project particularly targets young people in Harrow from disadvantaged backgrounds.

3.19 In May 2013, John Lyon School decided to close its Sport Centre to member and external users. The popularity of the Sports Centre brought a high volume of users to the School, giving rise to parking issues. While the Sports Centre will continue to be used for school purposes its closure to the public represents a loss of community access to a significant facility.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS9 Objective 3	ICI11	Completion of The Hive sport development	Completion of The Hive sport development by 2016/17		Complex not substantially complete by 2014/15

3.20 The Hive Football Centre in Camrose Avenue, Edgware which opened in December 2009 is a major sporting hub in the borough managed by Barnet Football Club, offering modern state-of-the-art facilities for local people.

3.21 The completed first phase provides two full size all-weather floodlit artificial pitches (divisible into six smaller pitches) and grass pitches, including dedicated training areas. The ground floor of the main building provides changing and associated facilities. Work on Phase Two commenced in the current monitoring period and includes a stadium, floodlighting and further indoor sports facilities to enable the complex to become an FA Centre of Excellence. Unfortunately, the stadium and floodlighting erected did not accord with the approved plans. An application for retrospective planning permission was not granted by the Council in September 2013 and as such the works are now on hold awaiting the outcome of an appeal and enforcement notice issued by the Council.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS9 Objective 4	ICI12	Community access to sports facilities at The Hive	Maintain		New PPG 17 study by 2017/18 identifies no loss of community access to facilities at The Hive

3.22 As well as being the new home to Barnet Football Club, and despite the current planning issues associated with the completion of Phase two works, The Hive is a community facility, working in partnership with Harrow Council, and offers the following facilities for hire: 2 full size 3G astro turf pitches; 7-a-side football pitches; Various sized grass pitches for hire; Wheeled portable goals; Meeting rooms; and changing rooms at competitive rates. Also available for community use are a gym, banqueting facility (capacity 500 people) and the Amber Lounge (bar/eatery).

Infrastructure - Community

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 2 CS1 Strategic Objective 5	ICI13	Retention of community uses	No net loss of community facilities unless compensation is provided		Loss of more than one community facility to other non-community uses, without compensation (using 2010 as the base year)

3.23 In 2012/13 there was a net gain of 9,157 m² floorspace of D1 Use Class (Non-residential Institution), compared to 14,592 m² in 2010/11 and 11,789 m² in 2011/12. Over the same period there was a net gain of 3,243 m² of D2 (Assembly and Leisure), compared to 2,926 m² in 2010/11 and a net loss of 115 m² in 2011/12. Although the net proposed floorspace in 2012/13 is not as high as in 2008/09 and 2010/11, it still shows that there is a positive trend for more community facilities in the borough ('Permissions & Net Losses/Gains of Floorspace for Community Uses').

Use Class	Permissions for Development					Net Loss/Gain Floorspace (m ²)				
	08/09	09/10	10/11	11/12	12/13	08/09	09/10	10/11	11/12	12/13
D1 (Non-residential Institution)	122	126	145	128	122	13,777	10,857	14,592	11,789	9,157
D2 (Assembly & Leisure)	34	27	33	17	4	5,816	838	2,926	-115	3,243
Total	156	153	178	145	126	19,593	11,695	17,518	11,674	12,400

Note: These figures include improvements and extensions to existing facilities, as well as proposals for new facilities. An increase in facilities can be interpreted from the total floorspace proposed.

Source: Harrow Council, Economic Development, Research & Enterprise

Permissions & Net Losses/Gains of Floorspace for Community Uses

3 Enhance the infrastructure, environment and other resources which make Harrow a desirable place to live, work and visit

3.24 In 2012/13 there was a slight decrease in the amount of floorspace proposed for Health & Community facilities, 33,707 m² compared to 34,009 m² in 2011/12. However, there was a significant increase in the amount of floorspace completed in the past year, 12,632 m² compared to 7,446 m² in 2011/12. In the same period the number of permissions fell from 83 to 60, whilst the number of developments completed was up by two to 45 ('Health and Community Facilities 2010/11 - 2012/13'). The majority of these completions related to schools, with the most significant of these being alterations to form a Sixth Form Centre at John Lyon School, Middle Road, Harrow (329 m²). However, the new Harrow Central Mosque, Station Road, Harrow (5,728 m²) was the largest community facility to be completed in 2012/13.

Type of Development	2010/11				2011/12				2012/13			
	No. of Perms	Floorspace Proposed (m ²)	No. of Devts. Completed	Floorspace Completed (m ²)	No. of Perms	Floorspace Proposed (m ²)	No. of Devts. Completed	Floorspace Completed (m ²)	No. of Perms	Floorspace Proposed (m ²)	No. of Devts. Completed	Floorspace Completed (m ²)
Arts	2	124	-	-	-	-	-	-	-	-	-	-
Care Homes	3	3,983	2	453	8	7,750	1	193	4	9,561	3	1,656
Churches	4	211	-	-	5	1,013	1	1,858	3	75	3	0
Cinemas	-	-	-	-	-	-	-	-	-	-	1	0
Community Centres	6	3,967	3	3,149	2	322	4	845	2	2,190	2	522
Day Care	-	-	-	-	1	71	-	-	-	-	-	-
Day Nurseries	7	130	-	-	2	198	2	600	4	331	2	335
Education	25	8,072	3	3,197	20	8,188	5	1,881	6	1,398	5	266
Function Rooms	-	-	-	-	-	-	-	-	1	1,937	-	-
Gyms	-	-	-	-	-	-	-	-	2	1,231	2	1,765
Halls	1	0	2	310	1	82	-	-	2	93	-	-
Health/Medical Centres	11	876	3	128	9	1,018	4	234	8	3,332	7	479
Hospitals	1	0	-	-	-	-	-	-	2	0	-	-
Libraries	-	-	1	0	1	1,358	-	-	-	-	-	-
Museums	1	1,905	-	-	2	0	-	-	-	-	-	-
Nursing Homes	-	-	-	-	1	11,728	-	-	-	-	-	-
Schools	42	2,913	19	22,419	24	1,505	24	1,835	23	12,374	15	712
Sports Facilities	10	3,472	1	1	6	776	1	0	2	30	4	1,169

Type of Development	2010/11				2011/12				2012/13			
	No. of Perms	Floorspace Proposed (m ²)	No. of Devts. Completed	Floorspace Completed (m ²)	No. of Perms	Floorspace Proposed (m ²)	No. of Devts. Completed	Floorspace Completed (m ²)	No. of Perms	Floorspace Proposed (m ²)	No. of Devts. Completed	Floorspace Completed (m ²)
Swimming Pools	-	-	1	21	-	-	-	-	-	-	-	-
Temples & Synagogues	1	5,728	-	-	1	0	1	0	-	-	1	5,728
Total	114	31,381	35	29,764	83	34,009	43	7,446	60	33,707	45	12,632

Note: These figures include improvements and extensions to existing facilities, as well as proposals for new facilities. An increase in facilities can be interpreted from the total floorspace

Source: Harrow Council, Economic Development, Research & Enterprise proposed and completed.

Health and Community Facilities 2010/11 - 2012/13

3.25 Hatch End Library opened in the main Harrow Arts Centre building on 27th March 2012 and has since had an increased level of visits. There are exciting plans to involve the new library with cultural activities at the Arts Centre. The old library building will become a dance/exercise studio.

3.26 The Libraries Transformation Customer Satisfaction Survey carried out in November 2011 showed that 60% of users deemed the library service as being better since the transformation. 68% of users said that it takes less time to complete transactions since the introduction of self-service.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 2 CS1 Strategic Objective 5 CS2 Objective 9	ICI14	Provision of performing arts space	An additional performing arts space by 2025/26		No site identified for new performing arts space by end 2015/16 No delivery or no funded proposals for delivery by end 2020/21

3.27 The Harrow & Wealdstone Area Action Plan allocates one site (Lowlands Recreation Ground in Harrow town centre) to provide a new outdoor performance space. The Council secured funding for the project from the Mayor of London's Outer London Fund during 2012/13. It is anticipated that the new space will be completed by March 2014.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger

3 Enhance the infrastructure, environment and other resources which make Harrow a desirable place to live, work and visit

CS7 Objective 8	ICI15	Scoping study to determine viability of cemetery extension	Publish scoping study by end 2015/16		No scoping study commission/underway by end 2014/15
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3.28 The Council has not yet commissioned a scoping study to determine the viability of a cemetery extension to the existing Harrow Weald Cemetery. The potential for a cemetery extension was included in the Core Strategy in recognition of the (then) potential to redevelop Harrow College's Brookshill campus. Since that time the College has indicated that it has no plans to redevelop the Brookshill campus for the foreseeable future, and the campus is now therefore allocated for education/training uses. Opportunities for cemetery expansion elsewhere in the borough are limited and therefore new sites may need to be explored along with options around crematorium provision.

Transport

3.29 The need to encourage the use of modes of transport other than the car presents Harrow with one of its biggest challenges. Environmental pollution as a result of road traffic, traffic congestion and the prevention of accidents are all serious concerns within the community, and can significantly affect quality of life. The transport policies in the Local Plan aim to bring about a reduction in road traffic (especially car traffic) and create a genuine choice of travel modes.

Transport Infrastructure - Trains

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS2 Objective 13	TRA1	Capacity of peak train services serving Harrow on the Hill and Harrow & Wealdstone stations	Maintain and where possible increase the number of services serving Harrow on the Hill and Harrow & Wealdstone stations		Reduction in capacity of peak train services

3.30 In 2010 the Council published a Transport Audit that had been prepared to inform the preparation of Harrow's Core Strategy. In line with Transport for London methodology, the capacity of train services was based on 'crush load' comprising realistic standing capacity as well as seating capacity.

3.31 The following table shows the crush load capacity of peak time Metropolitan line services at Harrow on the Hill Station:

		AM Peak	PM Peak
Northbound	Uxbridge branch	10,420	10420
	Moor Park branch	10,420	10420
Southbound	Uxbridge branch	9,378	9378

		AM Peak	PM Peak
	Moor Park branch	7,294	8336

Passenger Capacity of Metropolitan line services at Harrow on the Hill Station (2010)

3.32 During 2012/13 Transport for London phased-in new rolling stock on the Metropolitan line to replace the 1960s 'A' stock. The new stock has increased the capacity of services at Harrow on the Hill station to 1,003 persons per train.

3.33 Harrow on the Hill Station is also served by Chiltern Railways' mainline services from Amersham to London Marylebone. At the time of the 2010 Audit the capacity of these services could not be quantified.

3.34 The following table shows the crush load capacity if peak time Bakerloo line and London Overground services at Harrow & Wealdstone Station:

		AM Peak	PM Peak
Northbound	London Overground	5,593 (peak period not specified)	
Southbound	Bakerloo line	4,362	4,362
	London Overground	5,593 (peak period not specified)	

Passenger Capacity of Metropolitan line services at Harrow on the Hill Station (2010)

3.35 Transport for London's current upgrade plans would see capacity improvements and journey time reductions on the Bakerloo line completed by 2018.

3.36 Harrow & Wealdstone Station is also served by London Midland mainline services from Tring to London Euston, and by Southern mainline services from Watford Junction to Clapham Junction. At the time of the 2010 Audit the capacity of these services could not be quantified.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS2 Objective 12	TRA2	Successful lobbying of TfL to bring forward improved disabled access at Harrow on the Hill station	Inclusion in revised Mayor's Transport Strategy of upgrade to Harrow on the Hill station to secure full disabled access to ticket hall and platforms		Not included in revised Mayor's Transport Strategy by end 2020/21

3.37 Harrow's Local Implementation Plan for the period 2011/12-2013/14 maintains a commitment that the Council will lobby Transport for London to improve the quality, capacity and accessibility of Harrow on the Hill Station. During 2012/13 the Council held preliminary meetings with the GLA and TfL on this matter, in relation to a commercialization pilot scheme being advanced by TfL that considered options for maximising the beneficial use of their existing property assets at or around

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the station. This work is still on-going but has potential to be developed further into a comprehensive masterplan for the station and its surrounds. At the present time however the upgrade of the station is not included in the Mayor's current Transport Strategy and therefore the indicator is currently shown as amber.

Transport Infrastructure - Buses

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 2 CS1 Objective 13 CS2 Objective 4 CS8 Objective 4	TRA3	Highway improvements at key junctions used by buses	100% by 2026		80% of key junction not improved or no funded proposals for improvement by 2016/17 50% of key junction not improved or no funded proposals for improvement by 2020/21

3.38 Harrow's Infrastructure Assessment and Delivery Plan identifies 12 of the Borough's 21 key junctions which have identified capacity problems in one or both of the peak periods and serve key bus routes. These are:

- London Road/Brockley Hill, Stanmore
- Honeypot Lane/Streatfield Road/Taunton Way, Queensbury
- Northolt Road/Petts Hill, South Harrow
- Station Road/Hindes Road, Harrow
- Station Road/Greenhill Way, Harrow
- Headstone Drive/Harrow View, Wealdstone
- Uxbridge Road/High Road/Brookshill, Harrow Weald
- Uxbridge Road/Pinner Green/Elm Park Road, Pinner
- Pinner Road/George V Avenue/Headstone Lane, North Harrow
- Wemborough Road/Whitchurch Lane/Honeypot Lane, Stanmore
- Kenton Road/Kenton Lane, Stanmore
- Headstone Road/Greenhill Way, Harrow

3.39 During 2012/13 XX improvements were carried out at these junctions...XX

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS1 Objective 13 CS2 Objective 13	TRA4	Improved orbital bus routes	Additional orbital bus route(s) by 2025/26		No delivery or funded proposals for delivery of additional orbital bus routes by 2017/18

3.40 Harrow's Local Implementation Plan for the period 2011/12-2013/14 maintains a commitment that the Council will work with Transport for London to improve orbital bus links. During 2012/13 the Council has continued to lobby TfL to improve orbital bus connections. At the present time however no new orbital bus routes serving Harrow are planned or have been established.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS2 Objective 12	TRA5	Increase bus station capacity by provision of additional bus standing space on Kimberley Road	Provision of additional bus standing space in Kimberley Road by end 2017/18		No funded proposals to secure additional bus standing space in Kimberley Road by end 2013/14

3.41 The provision of additional bus standing space in Kimberley Road in Harrow town centre is included in the Council's current local implementation plan, which is funded by Transport for London. During 2012/13 the Council commissioned a study of the public realm (including traffic circulation) of Kymberley Road/Clarendon Road/Headstone Road and the adjacent part of College Road, within Harrow town centre. Proposals for additional bus standing space in Kimberley Road are being developed as a part of the town centre initiative, which is programmed for completion in March 2014.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS2 Objective 13	TRA6	Number of bus routes serving Harrow town centre and Wealdstone	Maintain and where possible increase the number of routes serving Harrow town centre and Wealdstone		Reduction by one or more route(s)

3.42 During 2012/13 there was no overall change in the number of bus routes serving Harrow town centre and Wealdstone. The ability to increase routes serving Harrow town centre is linked to the achievement of improved bus standing capacity at the station (see indicator TRA5 above).

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS3 Objective 6 CS4 Objective 1 CS6 Objective 5 CS7 Objective 6 CS9 Objective 1	TRA7 TRA12	Implementation of bus stop accessibility improvements	100% of schemes funded by 2026		No improvements or funded proposals for improvements by 2021 in: <ul style="list-style-type: none"> Sudbury Hill local centre South Harrow centre

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CS10 Objective 1					<ul style="list-style-type: none"> • Hatch End centre • Harrow Weald centre • Kingsbury/Queensbury centres • Kenton/Belmont centres
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3.43 During 2012/13 there were XX accessibility improvements to bus stops in Harrow, funded by Transport for London through Harrow's Local Implementation Plan, bringing the proportion of the Borough's accessible standard bus stops to XX%.

3.44 Of the improvements during 2012/13, XX were within Sudbury Hill local centre, XX were within South Harrow district centre and XX were within Hatch End local centre.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS5 Objective 4	TRA8	Completion of Rayners Lane bus priority scheme	Complete by end 2012/13	Met	Works stall by end 2011/12

3.45 The Rayners Lane bus priority scheme was identified through Harrow's Local Implementation Plan and was completed in 2012/2013.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS5 Objective 4	TRA9	Completion of Elm Park Road/Cannon Lane/Rayners Lane bus stop accessibility corridor	Complete by end 2012/13	Met	Works stall by end 2011/12

3.46 The Elm Park Road/Cannon Lane/Rayners Lane bus stop accessibility corridor was identified through Harrow's Local Implementation Plan and was completed in 2012/13.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS5 Objective 4	TRA10	Completion of Pinner Road bus priority scheme	Complete by end 2012/13		Works stall by end 2011/12

3.47 The Pinner Road bus priority scheme was identified through Harrow's Local Implementation Plan and has been postponed due to high costs. Other funding sources to be investigated.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger

CS7 Objective 4 CS8 Objective 3	TRA11	Implementation of Stanmore Hill and Edgware Road bus stop accessibility schemes	Complete by end 2012/13	Met	Works stall by end 2011/12
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3.48 The Stanmore Hill and Edgware Road bus priority schemes were identified through Harrow's Local Implementation Plan and were completed in 2012/13.

Transport Infrastructure - Harrow Local Implementation Plan schemes

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS1 Objective 13	TRA13	Implementation of Harrow's LIP 2	As set out in the LIP		As set out in the LIP

3.49 Implementation of the schemes identified in the Transport Local Implementation Plan (LIP2), which was agreed by Harrow Council's Cabinet and the Mayor of London, has now begun:

- A new public realm scheme was introduced around Mollison Way in Edgware ward (Mollison Way). This cost around £1.1 million and provided improvements to road safety, traffic congestion, access to bus stops, improved road crossing facilities, local community areas where people could sit and socialise, improved local personal security as well as a local historic heritage trail commemorating the area's aviation history.
- Around 80% of bus stops in the borough are now Disability Discrimination Act (DDA) compliant and in addition 87% are suitable for the more accessible low floor buses, compared to 79% in 2010/11
- New 20 miles per hour (mph) zones were introduced around Priestmead School and Cannon Lane Infant and Junior Schools, and consultation has been completed on two further 20 mph zones proposed for Belmont First and Middle School and St John's Church of England School.
- New Local Safety Schemes were introduced along Shaftesbury Avenue, Whitchurch Lane, Honeypot Lane and Streatfield Road. Localised waiting restrictions are due to be implemented shortly Eastcote Lane, Alexandra Avenue, Culver Grove, Rickmansworth Road, Uxbridge Road (Harrow Weald) between High Road (HW) and Elms Road, High Road (Harrow Weald) north of Elms Road following completion of the informal and statutory consultation processes.
- Approximately 2.8 km of cycle lanes have been upgraded across the borough. Future proposals for improvements include Suffolk Road to Lincoln Road (new route through open space and new bridge across Yeading Brook; Vernon Drive to Wemborough Road (new dedicated route to avoid existing footpath conflict outside Synagogue); and Sherwood Road to Northolt Road (route through stopped up highway).
- Improvements for cyclists were introduced along Long Elmes, Brookshill, College Road, Streatfield Road and Marsh Lane. These improvements included contra flow cycle lanes, on carriageway markings, improved signage and alterations to refuges.
- Improvements to parking facilities were made at junctions to improve visibility and safety at junctions across the borough
- A traffic management scheme was introduced in the Kingshill Avenue area. This reduced traffic congestion, reduced speeds and improved overall safety.

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- Reductions in the speed limit were introduced along Warren Lane and improvements were made to the junction at the entrance to the former BAE site
- Work continued along the Belmont Trail, a new off-road cycle route in the borough. The work has improved signage and drainage along the route. Surfacing and significant planting took place at various locations along the route. In addition, accessibility improvements along Montrose Walk took place which will enable improved access for cyclists and pedestrians.
- Controlled Parking Zones extensions were introduced across the borough enabling improved management of available parking in the borough. These CPZ extensions were in South Harrow and Rayners Lane. Further CPZ proposals are currently being advanced for Pinner; Belmont Circle; around Hatch End, Canons Park, Queensbury and North Harrow stations; Devonshire Road; and Welbeck Road / Scott Crescent / The Arches area in South Harrow.
- Changes were made to disabled bays resulting in 23 new disabled bays which were introduced at the request of residents where residents met the agreed Harrow criteria for their introduction. In addition 21 H-bars were introduced to help disabled residents maintain access to their properties.
- A new path improving disabled access from Stanmore Hill to the footway was introduced enabling access to the available disabled parking facilities
- A new £100k congestion relief scheme along the Stanmore Hill corridor began in 2011/12 and was completed in 2012/13. This links five sets of traffic signals at three junctions which has improved traffic flow.
- An allocation of £100,000 is included in the 2013/14 programme for measures to reduce the number of killed and seriously injured accidents throughout the borough. An assessment of particular accident trends has identified suitable treatments for the Marsh Road junction with High Street and Station Approach which includes kerb realignment and a slightly raised area at the existing zebra crossing facilities, and College Road, Greenhill to remove the 3 arm zebra crossing on College Road and replace it with 2 separate zebra crossings on the pedestrian desire lines.
- The borough held around 28 travel awareness events promoting sustainable forms of transport and the uptake of electric vehicles
- Cycle training has been provided to 2,000 children and 900 adults - An additional £30k has been allocated for new cycle projects in 2013/14.
- Travel information maps have been supplied to seven high schools in the borough. These include detailed information on walking, cycling and public transport including local distances and journey times.
- Walking and public transport maps were made available for all primary school in the borough. These are aimed at helping reduce the school run.
- Cycle clubs have been introduced at three high schools in the borough. These include a syllabus in curriculum time covering bike maintenance, route planning and cycle training. In addition, a major high school pedestrian safety initiative produced 8,000 Oyster card holders designed by the students that contained road safety messages.
- Doctor Bike sessions were held at nine primary schools and six secondary schools in the borough. These sessions fixed bikes for staff, parents and pupils at the schools.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
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CS2 Objective 4	TRA14	Implementation of Station Road major scheme (LIP2)	Completion of Station Road major scheme by end 2025/26		Scheme not approved by TfL by end 2014/15
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3.50 The Station Road Major Scheme was identified through Harrow's Local Implementation Plan with a funding allocation of £50,000 for the period 2013/14 to undertake a feasibility study of proposed option improvements and will be complete by the end of 2013.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS2 Objective 11 CS3 Objective 5	TRA15	Legible London signing for Harrow town centre and Wealdstone	Provision of Legible London signs by end 2017/18		No funded proposals to secure Legible London signs by end 2013/14

3.51 The Legible London signing scheme for Harrow town centre and Wealdstone commenced with design work in 2012, and the first tranche of signs being implemented in 2013/14. The remainder of the scheme will be complete in 2014.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS5 Objective 4	TRA16	Implementation of footway maintenance (High Worples to 383 Alexandra Avenue)	Project complete by 2021		Project not underway by end 2012/13

3.52 The High Worples/Alexandra Avenue footway maintenance scheme was identified through Harrow's Local Implementation Plan and was completed XX.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS5 Objective 4	TRA17	Rayners Lane accessibility major project (including link to Strongbridge Close)	Project complete by 2021		Project not underway by end 2011/12

3.53 The Rayners Lane major project was identified through Harrow's Local Implementation Plan and was completed XX.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger

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CS5 Objective 4	TRA18	Northumberland Road 20mph zone	Scheme implemented by 2015		Scheme not submitted to TfL by end 2011/12 Project not underway by end 2013/14
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3.54 The Northumberland Road Major Scheme was identified through Harrow's Local Implementation Plan with a funding allocation of £100,000 for the period 2012/13 and a further £900,000 for the period 2013/14.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS5 Objective 5	TRA19	Improved pedestrian access from Harrow View to Harrow Museum and Headstone Manor	Improved access implemented by 2026		No funded proposals for improved access in place by 2020/21

3.55 On 11th July 2012 the Council granted outline planning permission for the comprehensive, phased redevelopment of the Kodak site including the former Kodak sports ground west of Harrow View. The approved scheme includes a green pedestrian link between Headstone Drive and Harrow View (i.e. across the main Kodak site) and between Harrow View and Headstone Manor (i.e. across the former sports ground). The latter part of the link is included in the first phase of the approved scheme and is expected to be delivered 2014/15.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS7 Objective 4	TRA20	Implementation of Stanmore Hill/Uxbridge Road signal work/congestion relief scheme	Complete by end 2012/13		Works stall by end 2011/12

3.56 The Stanmore Hill/Uxbridge Road signal work/congestion relief scheme was identified through Harrow's Local Implementation Plan and was completed in 2012/13

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS7 Objective 6	TRA21	Implementation of the Long Elmes/College Avenue/The Avenue cycle improvement scheme	Complete by end 2012/13	Met	Works stall by end 2011/12

3.57 The Long Elmes/College Avenue/The Avenue cycle improvement scheme was identified through Harrow's Local Implementation Plan and was completed in 2012/13

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS8 Objective 3	TRA22	Investigation and implementation of signing strategy for London lorry ban	Complete investigation by end 2013/14		Investigation not commenced by end 2012/13
CS8 Objective 4			Implement by end 2015/16		Implementation not commenced by end 2014/15

3.58 Investigation and implementation of a signing strategy for the London lorry ban was identified through Harrow's Local Implementation Plan and was carried out XX.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS9 Objective 1	TRA23	Implementation of Streatfield Road/Christchurch Avenue cycle improvements	Complete by end 2012/13		Works stall by end 2011/12

3.59 The Streatfield Road/Christchurch Avenue cycle improvement scheme was identified through Harrow's Local Implementation Plan and was completed in 2012/13.

Transport Infrastructure - Public Realm Works

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS3 Objective 6 CS4 Objective 1 CS5 Objective 4 CS6 Objective 5	TRA24	Renewal/rationalisation of street furniture and highway signage in: <ul style="list-style-type: none"> • Sudbury Hill local centre • South Harrow centre • North Harrow & Rayners Lane centres • Hatch End centre • Stanmore district centre 	Renewal/rationalisation of street furniture and signage by end 2025/26		No published programme for rationalisation/renewal by end 2017/18 No funded proposals for implementation by end 2020/21

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CS7 Objective 4		<ul style="list-style-type: none"> Edgware district centre Kingsbury and Queensbury centres Kenton and Belmont Circle centres 			
CS8 Objective 3					
CS9 Objective 1					
CS10 Objective 1					

3.60 The Council currently has no plans to publish a programme for the rationalisation or renewal of street furniture in local town centres.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS6 Objective 5 CS7 Objective 4	TRA25	Investment in public realm and way finder sign improvements between: <ul style="list-style-type: none"> Hatch End centre and Hatch End Station Stanmore and Stanmore Station 	Additional signs within 2 years as part of the Legible London scheme.		No improvements or new way finder signs have been built.

3.61 This scheme has not yet commenced but the Legible London signs are currently being devised and are expected to be implemented in 2014.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS10 Objective 2	TRA26	Investment in public realm and way finder sign improvements between Kenton and Northwick Park stations.	Additional signs within 2 years as part of the Legible London scheme by end 2017/18		No plans for improvements or new way finder signs by end 2016/17

3.62 This scheme has not yet commenced.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS10 Objective 2	TRA27	Secure agreement with London Borough of Brent to work together to improve pedestrian connectivity between Kenton and Northwick Park stations	Agreement secured by end 2014/15		No progress towards agreement by end 2013/14

3.63 The Council plans to work together with the London Borough of Brent in forthcoming years to secure improved pedestrian connectivity between Kenton Station and Northwick Park Station. A meeting was held with Brent regarding their proposed draft Egdware Town Centre management plan where it was agreed to work collaboratively on the framework, in particular, the junction, urban realm and bus routing improvements.

Transport - Outcomes

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 2	TRA28	Proportion of trips made by public transport	Reduce the proportion of trips made by car from a baseline (currently estimated at 51.9% of modal share), by a minimum of 5% over the period to 2026		Less than a 1% reduction in the periods 2013/14, 2016/17, 2019/20, & 2022/23

3.64 The 2011 Census found that

Objective Number	Indicator Number	Indicator	Target	Trigger
Strategic Objective 2	TRA29	Number of applications approved for major development in areas of low public transport accessibility (PTALs 0, 1 and 2) that do not enhance the PTAL of the site	None	More than five applications approved for major development in areas of low public transport that do not enhance the PTAL of the site over a rolling five year period

3.65 During 2012/13 there were XX applications approved for major development in areas of low public transport accessibility that did not enhance the PTAL of the site.

Green Grid

3.66 The Harrow Green Grid was approved by Cabinet in July 2011. It is part of the London-wide Green Grid project managed by the GLA and forms part of the spatial vision for Harrow as set out in the Core Strategy. The project has been supported through capital funding of £200,000 per annum, with this sum being matched by contributions from developers, grants and work in kind provided by volunteers.

3.67 The Green Grid project aims to combine the energy and enthusiasm of Harrow's residents and voluntary groups with strategic planning and funding from the Council and developers to bring about better and more co-ordinated management of the borough's green spaces, and the linkages between them. Green Grid projects over the last two years has promoted volunteering across the borough and involved the planting of over 17,000 bulbs, nearly 12,000 trees, shrubs, wildlife attracting perennials, ferns and some street trees across the borough.

Objective Number	Indicator Number	Indicator	Target	Status	Trigger
Strategic Objective 2 CS1 Objective 5 CS4 Objective 5	GG1	Implementation of Green Grid projects	100% of projects funded and/or implemented by 2026		Less than 30% of projects funded and/or implemented by 2016/17 Less than 60% of projects funded and/or implemented by 2021/22

3.68 The following projects are key to implementing the Green Grid in Harrow, as outlined in the Core Strategy. The table below highlights their current status.

Project Number and Name	Status
· 11.1.01 Belmont Trail	Biodiversity and path Improvements 2011 - 13, ongoing
· 11.1.02 Links at north end of trail to Green Belt	Improvements
11.1.03 Harrow town centre, Byron Recreation Ground and Kenton Recreation Ground	Outstanding
· 11.1.04 Kenton Recreation Ground	3 entrance improvements at Kenton Recreation Ground
· 11.1.06 Temple Pond	Outstanding
· 11.1.07 Bernays Gardens	Listed Building Consent for works to wall 2011-12

· 11.2.01 River Crane: The Yeading, The Roxbourne and Roxbourne Return Arm)	Biodiversity Improvements, new path and signage 2011-13
· 11.2.02 Yeading walk trail system	Outstanding
· 11.2.02 Roxbourne Park to Headstone Manor/Pinner	Outstanding
· 11.2.03 Yeading Brook and Roxbourne Park (regeneration and restoration)	Path restoration 2011-13
· 11.2.05 Headstone Manor Recreation Ground	Stage 1 report complete, works to commence in 2014
· 11.2.06 River Pinn: Celandine route links	Biodiversity Improvements, new path and signage 2011-12
· 11.2.07 Pinner Park Farm corridor and Woodridings brook	Outstanding
· 11.2.09 Harrow Arts Centre	Outstanding
· 11.2.10 Montesoles Playing Fields and Grim's Ditch	Planting work undertaken 2011-12
· 11.2.13 Roxborough Bridge	Hard & soft landscape complete
· 11.3.01 Edgware Brook paths	Outstanding
· 11.3.02 Edgware Brook: link to Belmont trail	Outstanding
· 11.3.03 Stanmore Marsh	Biodiversity improvements 2011-12
· 11.3.04 Canons Park and Lakes	Habitat creation Railway Woodland 2011-12, Entrance improvements Canons Park Extension and New path aside Canons Drive 2012-13
· 11.3.05 Dalkeith open space	Outstanding
· 11.3.06 Queensbury Recreation Ground	New fencing and footpath 2012- 13, new pond, watercourse realignment and improvements scoped to commence in 2014
11.4.05 Land at Bentley Priory	Management Plan drafted for Bentley Priory open space including SSSI & Registered Park & Garden
· 11.4.07 Pinner Hill golf course	Outstanding
· 11.4.10 London Loop	New stiles and gates and ongoing

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11.5.01 Street Tree Planting	Planting undertaken on Canons Drive, Carlton Ave, Pinner Road. Remaining programme is ongoing
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3.69 A detailed delivery schedule is published alongside the Green Grid and can be viewed via the following link: http://www.harrow.gov.uk/info/856/local_plan/935/green_grid. In 2012/13, work had commenced on the delivery of 61% of Harrow's Green Grid projects.

Town Centres and Retail Development

3.70 Harrow town centre is classified as a Metropolitan centre and is one of only 12 such centres across London. They serve multi-borough catchments, comprise around 100,000 square metres of retail and office floorspace with a high proportion of comparison shops, enjoy good public transport accessibility and accommodate a mix of other employment and leisure uses. In addition to Harrow town centre, the Borough's network of town centres comprises: part of one major centre⁰; nine district centres⁰; and five local centres⁰.

New Retail Floorspace

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 2	TCR1	Pipeline supply of new retail floorspace (comparison and convenience)	44,000 m ² net additional retail floorspace by 2026		Less than 15,000 m ² by end 2016/17 Less than 29,000 m ² by end 2020/21

3.71 Since 2009 (the beginning of the plan period), there has been a net increase in retail floorspace of 7,277 sqm across the Borough (see table below). The only major retail scheme to completed in the current plan period was the new Morrisons at Neptune point, which accounts for the majority of the net increase shown. Retail schemes that have gained planning approval but have not yet commenced, and therefore are included as pipeline supply, include the Tesco's Harrow extension (3,020m²) granted in 2010, and the Lyon House development (500m²) and Kodak (up to 5,000m²) development sites which were granted in the current monitoring period.

Net Floorspace Metres Squared				
	2009/10	2010/11	2011/12	2012/13

Major centres serve a borough-wide catchment, comprise around 50,000 square metres of retail floorspace including a high proportion of comparison shops, and may also have a mix of other employment, leisure or civic uses. Edgware major centre is predominantly located in the London Borough of Barnet but with some secondary frontage and tertiary components extending into the London Borough of Harrow. District centres serve areas within a borough, comprise between 10-50,000 square metres retail floorspace and provide mainly convenience shops and local services or specialist functions. Burnt Oak district centre straddles the boundary with the London Borough of Barnet (also part of Brent) and Kenton district centre straddles the boundary with the London Borough of Brent. Kingsbury district centre is predominantly located within the London Borough of Brent but with some secondary frontage and tertiary components extending into the London Borough of Harrow. South Harrow, Rayners Lane, North Harrow, Pinner, Stanmore and Wealdstone district centres are all wholly contained within Harrow.

Local centres serve a localised catchment and provide mainly convenience shops and local services or specialist functions. Sudbury Hill local centre straddles the boundary with the London Borough of Ealing. Hatch End, Harrow Weald, Queensbury and Belmont Circle local centres are all wholly contained within Harrow.

A1 Retail	2,063	-2,445	5,667	1,992
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Retail Floorspace Pipeline Supply

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 2 CS1 Objective 11 CS2 Objective 2 CS2 Objective 9	TCR2	Pipeline supply of new retail floorspace (comparison only) in Harrow town centre	22,500 m ² net additional retail floorspace by 2026		Less than 7,000 m ² by 2016/17 Less than 14,500 m ² by 2020/21

3.72 To date there has been an additional 4,992m² new comparison floorspace delivered, which is on target to reach 7,000m² by 2017. As noted above, the Lyon House mixed use development on Lyon Road also includes provision for 500m² of new retail floorspace.

Objective Number	Indicator Number	Indicator	Target	Trigger
Strategic Objective 2 CS1 Objective 11 CS2 Objective 2	TCR3	Number of applications approved for major retail development in out of centre locations	None	One or more applications approved for major retail development in out of centre locations over a rolling five year period

3.73 During 2012/13 there was one applications approved for major retail development in out of centre locations which was for a supermarket on the Kodak site. This is in line with the Site Allocation Local Plan allocation for the Kodak site, and thus should not trigger a policy review.

Hotel Development

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 2 CS1 Objective 11 CS2 Objective 2	TCR4	Number of hotel bedspaces in Harrow town centre ⁽¹⁾	Increase the number of hotel bedspaces to 500 within the town		Less than a 20% increase (i.e. 410 hotel bedspaces) by end 2015/16

⁽¹⁾ Based on a telephone survey in September 2011 there were 342 bedspaces in 3 hotels serving Harrow town centre

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			centre by 2026 (using September 2011 as the base year)		Less than a 35% increase (i.e. 460 hotel bedspaces) by end 2020/21
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3.74 There was no increase in the number of hotel bedspaces within Harrow town centre during 2012/13. However there are a number of sites where pre-application discussions have taken place about the potential for hotel development, and it is expected that some of these may materialise in the next monitoring year.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS2 Objective 9	TCR5	Number of hotel bedspaces in Wealdstone town centre	Increase the number of hotel bedspaces to 50 within Wealdstone town centre by 2026 (using September 2011 as the base year)		Less than a 40% increase (i.e. 20 hotel bedspaces) by end 2015/16 Less than a 80% increase (i.e. 40 hotel bedspaces) by end 2020/21

3.75 There was no increase in the number of hotel bedspaces within Wealdstone district centre during 2012/13. However as with Harrow town centre there are a number of sites where pre-application discussions have taken place about the potential for hotel development, and it is expected that some of these may materialise in the next monitoring year.

Town Centre Health

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 2 CS2 Objective 3 CS4 Objective 2 CS5 Objective 1 CS7 Objective 5	TCR6	Vacancy rate for each centre (total measured retail frontage): <ul style="list-style-type: none"> Borough-wide Wealdstone district centre South Harrow district centre North Harrow district centre Stanmore district centre 	No increase of vacancy rates in Primary Shopping frontage from 2009 to 2026 (Borough-wide) No more than 10% vacant frontage (in centres)		An increase in vacant retail frontage of more than 5% in any centre over a rolling five year period

3.76 The table below, shows the vacancy rates in the Primary Shopping Frontage for all of the borough's Metropolitan, Major and District Centres. It now stands at 3.62%, the lowest since 2008/09, and can in part be attributed to the improving economy, but is also due to the large decrease in vacancy in North Harrow, which is a result of the Local Development Order there allowing a wider range of uses in certain frontages, and targeted activities by Harrow's Economic Development Team aimed at attracting new investment and increasing footfall.

Town Centre	2008/09 Vacancy Rate (%)	2009/10 Vacancy Rate (%)	2010/11 Vacancy Rate (%)	2011/12 Vacancy Rate (%)	2012/13 Vacancy Rate (%)
Harrow Town Centre	3.37	4.18	4.48	5.19	8.44
Burnt Oak (part)	2.37	8.51	2.86	0.00	0.00
Edgware (part)	n/a	n/a	n/a	n/a	n/a
Kenton (part)	n/a	n/a	n/a	n/a	n/a
Kingsbury (part)	n/a	n/a	n/a	n/a	n/a
North Harrow	31.67	40.48	29.58	19.13	3.75
Pinner	5.08	4.53	4.76	5.04	5.42
Rayners Lane	10.85	5.68	8.32	6.12	7.86
South Harrow	4.03	5.95	2.13	3.25	4.07
Stanmore	0.00	0.00	0.00	0.00	0.00
Wealdstone	16.93	14.55	14.05	12.37	10.38
Average Rate	6.75%	7.63%	6.02%	4.65%	3.62%

Source: Harrow Council, Economic Development, Research & Enterprise

Percentage of Vacant Primary Shopping Frontage in District Centres & Harrow Town Centre

3.77 The table below shows the vacancy rates for all of the Borough's town centres. The average vacancy rate now stands at 4.94%, with three centres having no vacancies (although all these centres are only partially located in Harrow, and the figures only cover those units in Harrow). This reduction in vacancy is largely down to the drop in vacancy from 13% to 6% in North Harrow.

Town Centre	2008/09 Vacancy Rate (%)	2009/10 Vacancy Rate (%)	2010/11 Vacancy Rate (%)	2011/12 Vacancy Rate (%)	2012/13 Vacancy Rate (%)	% Change Over Rolling Five Year Period
Harrow Town Centre	5.62	7.77	6.41	8.95	8.91	4.12

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Town Centre	2008/09 Vacancy Rate (%)	2009/10 Vacancy Rate (%)	2010/11 Vacancy Rate (%)	2011/12 Vacancy Rate (%)	2012/13 Vacancy Rate (%)	% Change Over Rolling Five Year Period
Burnt Oak (part)	6.28	8.21	3.49	1.84	0.00	-6.73
Edgware (part)	6.70	7.33	7.41	14.58	7.88	-0.65
Kenton (part)	1.59	8.29	6.59	6.18	0.00	-11.65
Kingsbury (part)	3.92	0.00	3.92	3.92	0.00	0.00
North Harrow	15.52	23.09	21.03	13.77	6.47	-8.26
Pinner	3.58	3.63	2.99	3.55	4.80	2.38
Rayners Lane	10.34	11.83	9.87	10.66	10.54	1.81
South Harrow	4.49	4.34	1.49	3.08	3.65	-2.12
Stanmore	1.65	0.80	4.95	0.00	0.80	-2.56
Wealdstone	9.75	10.44	9.15	7.92	9.35	-0.30
Belmont	11.04	12.66	10.01	6.60	3.33	-6.01
Harrow Weald	3.21	3.21	3.98	8.35	10.52	6.77
Hatch End	3.17	7.13	6.66	4.06	3.11	-2.14
Queensbury	5.58	5.06	9.08	7.50	9.68	4.44
Sudbury Hill (part)	0.00	6.27	3.27	3.27	0.00	-3.33
Average Rate	5.78%	7.50%	6.89%	6.51%	4.94%	-0.02%

Source: Harrow Council, Economic Development, Research & Enterprise

Percentage of Vacant Retail Frontage in Local Centres, District Centres & Harrow Town Centre

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 2 CS2 Objective 3 CS4 Objective 2	TCR7	Average footfall in Metropolitan and district centres: <ul style="list-style-type: none"> Borough-wide Wealdstone district centre South Harrow district centre 	Not to fall more than 10% below 2009/10 levels		Footfall more than 10% below 2009/10 levels in: <ul style="list-style-type: none"> any centre over five years (rolling) Wealdstone district centre over five years (rolling) South Harrow district centre over five years (rolling)

CS5 Objective 1		<ul style="list-style-type: none"> North Harrow district centre Stanmore district centre 			<ul style="list-style-type: none"> North Harrow district centre over five years (rolling) Stanmore district centre over five years (rolling)
CS7 Objective 5					

3.78 The tables below shows the results for pedestrian counts for all of the Borough's town centres⁰. Whilst some centres, notably Wealdstone and South Harrow have seen a slight increase since the 2009 baseline, most centres have remained reasonably consistent, or have slightly decreased footfall. Overall footfall is down 3.2% since 2009 baseline. The exceptions to this are Stanmore and Rayners Lane, which have seen a nearly 10% and 20% drop in footfall respectively. The reasons for this decrease are unclear at present, as the vacancy rate in Stanmore is one of the lowest in the Borough, whilst in Rayners Lane it is the highest at 10.54% but is not significantly higher than a number of other centres who's footfall has remained fairly constant. Therefore in respect of Rayners Lane, further work will be done to establish whether this lower footfall and higher vacancy rate are signs the centre needs further support, or is part of a natural cycle of retail activity in the area.

Town Centre	2009/10 (Baseline)	2010/11	2011/12	2012/13
Harrow	1,744,605	1,914,880	1,807,860	1,692,785
Burnt Oak	180,885	176,355	-	183,225
North Harrow	127,545	116,460	106,920	105,750
Pinner	247,020	-	222,885	252,900
Rayners Lane	195,060	178,815	177,735	157,245
South Harrow	259,710	304,710	289,530	263,505
Wealdstone	260,310	249,945	200,820	271,140
Hatch End	68,085	-	67,050	69,315
Kenton	86,940	-	90,255	81,225
Stanmore	139,320	130,530	-	126,390

Source: Harrow Council,

Economic Development, Research & Enterprise
Pedestrian Counts in Harrow's Metropolitan, District & Local Centres

Town Centre	2009/10 (Baseline)	2011/12			2012/13		
		Total Footfall	Actual Change	% Change	Total Footfall	Actual Change	% Change
Harrow	1,744,605	1,807,860	63,255	3.6%	1,692,785	-51,820	-2.9%
Burnt Oak	180,885	176,355	-4,530	-2.5%	183,225	2,340	1.3%

Note not all town centres surveyed in every year.

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North Harrow	127,545	106,920	-20,652	-16.2%	105,750	-21,795	-17%
Pinner	247,020	222,885	-24,135	-9.8%	252,900	5,880	2.4%
Rayners Lane	195,060	177,735	-17,325	-8.8%	157,245	-37,815	-19.4%
South Harrow	259,710	289,530	29,820	11.5%	263,505	3,795	1.5%
Wealdstone	260,310	200,820	-59,490	-22.8%	271,140	10,830	4.1%
Hatch End	68,085	67,050	-1,035	-1.5%	69,315	1,230	1.8%
Kenton	86,940	90,255	3,315	3.8%	81,225	-5,715	-6.5%
Stanmore	139,320	13,0530	-8,790	-6.3%	126,390	-12,930	-9.3%
Overall	3,309,480	3,269,940	-39,540	-1.2%	3,203,480	-106,000	-3.2%

Source: Harrow Council, Economic Development, Research & Enterprise

Actual & Percentage Change in Town Centre Footfall 2011/12 & 2012/13 Compared to 2009/10 Baseline

Strengthening Harrow Town Centre's Role

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 2 CS1 Objective 11 CS2 Objective 2 CS2 Objective 8	TCR8	Number of applications for development on sites with existing B1 use in Harrow town centre	80% to include re-provision of office floorspace through redevelopment		Less than 50% over a rolling three year period

3.79 In 2012/13 there were five applications for development or change of use of B1 offices within Harrow town centre. Of these the majority included change of use to D1 or D2 use (education or places of worship) and therefore did not include replacement office provision, but still make provision towards employment use of the existing floorspace. Only one application included the redevelopment of office floorspace for non-employment use - the Lyon Road mixed use development of Equitable and Lyon houses - which included re-provision of some 1,500m² of replacement office floorspace, representing 20% of those applications.

3.80 In May 2013 the Government amended the General Permitted Development Order to allow for the conversion of existing office space to residential development as permitted development for a three-year time limited period. While the Council sought to have the Harrow & Wealdstone Intensification Area, including Harrow town centre, excluded from this change, this request was not successful. As a result, it is anticipated that a significant quantum of Harrow town centre's

office floorspace will be lost to residential change of use. Under permitted development the Council cannot apply its Local Plan policies and therefore cannot negotiate a proportion of existing office floorspace be retained/re-provided. This will significantly impact on the ability to meet this Local Plan target over the coming years.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 2 CS1 Objective 11 CS2 Objective 2 CS2 Objective 8	TCR9	Office vacancy rates in Harrow town centre	Reduce vacancy to 10% by 2026		Not greater than 15% by 2015/16 Not greater than 12% by 2020/21

3.81 The table below shows office vacancy rates in Harrow town centre since 2006. The vacancy rate in 2012/13 remained fairly constant to that experienced in 2011/12 at just above 20%, which is still double the target vacancy rate sought over the life of the Local Plan. However, it is anticipated that this will dramatically change as a result of the new permitted change of use of office floorspace to residential development, with developers and landowners looking to take advantage of this relaxation of planning policy.

Year	Occupied Office Space (m ²)	Vacant Office Space (m ²)	Total Office Space (m ²)	Vacant (%)
2006	107,422	18,255	125,677	14.53
2007	114,197	11,480	125,677	9.13
2008	107,653	17,907	125,560	14.26
2009	105,261	18,451	123,712	14.91
2010	97,599	22,916	120,515	19.02
2011	83,699	36,048	119,747	30.10
2012	93,248	25,618	118,866	21.55
2013	93,632	24,576	118,208	20.79

Note: Based on surveys carried out in March

Source: Harrow Council, Economic Development, Research & Enterprise

Amount of Office Floorspace & Vacancy Rates in Harrow Town Centre 2006 - 2013

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
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Strategic Objective 2	TCR10	Number of applications for 100% major residential development in Harrow town centre	None		More than three applications approved for 100% major residential development in Harrow town centre over a rolling five year period
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3.82 In 2012/13 there were no major applications approved for 100% residential development in Harrow town centre.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS1 Objective 1	TCR11	Amount of retail and office floorspace built/delivered in Harrow town centre annually	70% of all new retail and office floorspace to be provided in Harrow town centre		Less than 40% of overall retail and/or office floorspace provided in Harrow town centre over a rolling three year period

3.83 In 2012/13 the only new major retail development to be delivered in Harrow was the new Morrison's store in Harrow town centre, which accounted for 87% of all retail delivered. The indicator is therefore met.

3.84 In 2012/13 there was a net loss of 2,584 m² office floorspace within Harrow town centre and no new office floorspace delivered.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS2 Objective 10	TCR12	Delivery of new Civic Centre within Harrow town centre	Provision of a new Civic Centre by end 2025/26		No site identified for a new civic centre by end 2015/16 No delivery or no funded proposals for delivery by end 2020/21

3.85 In 2012/13 there was no identified site and no plans to deliver a new Civic Centre.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger

CS2 Objective 10	TCR13	Delivery of new polyclinic or GP-led surgery within Harrow town centre	Provision of an additional polyclinic or GP-led surgery by end 2025/26		No site identified for a new polyclinic or GP-led surgery by end 2015/16 No delivery or no funded proposals for delivery by end 2020/21
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3.86 On 31st October 2012 the Council granted planning permission for the mixed use redevelopment of the Equitable House/Lyon Road site within Harrow town centre. The approved scheme makes provision for 1,548m² A1-A3 and D1 uses with the option that the D1 element be made available for a new health clinic.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS2 Objective 10	TCR14	Delivery of new central library within Harrow town centre	Provision of a new central library by end 2025/26		No site identified for a new central library by end 2015/16 No delivery or no funded proposals for delivery by end 2020/21

3.87 The Harrow & Wealdstone Area Action Plan was adopted in July 2013. Allocated Site 17 (17-51 College Road) identifies the potential of the site to deliver a new central library within Harrow town centre. Pre-application discussions are on-going but as yet not further planning applications have been submitted for this site.

Enhancing Other Centres

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS5 Objective 1	TCR15	Adoption of a local development order for ground floor shop premises in North Harrow district centre	Local development order adopted by end 2012/13	Met	No progress on preparation of local development order by end 2011/12

3.88 The North Harrow Local Development Order became effective on 1st July 2012. Details of the Order including conditions and exclusions can be found on the Council's website: http://www.harrow.gov.uk/info/856/local_plan/594/north_harrow_local_development_order

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Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS5 Objective 2	TCR16	Number of applications for 100% major residential development in Rayners Lane district centre	None		More than 5 applications approved for 100% major residential development in Rayners Lane district centre over five years (rolling)

3.89 In 2012/13 there were no major applications approved for 100% residential development in Rayners Lane district centre.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS7 Objective 5	TCR17	Disposal of Stanmore car park/Anmer Lodge for development	Complete sale of site by end 2012/13		Marketing of site not complete by end 2011/12

3.90 The Council's Estate's Team undertook to tender the redevelopment of the Stanmore car park and Anmer Lodge site in 2012/13. The Council has now appointed a successful bidder, and a planning application for redevelopment of the site is expected in 2014, the grant of which will complete the required sales arrangements.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS7 Objective 5	TCR18	Planning permission granted for comprehensive (mixed use) redevelopment of the Stanmore car park/Anmer Lodge site in accordance with an adopted site allocation and brief	Planning permission granted by end 2017/18		No planning application by end 2016/17

3.91 In 2012/13 the Council appointed a successful bidder for the tender redevelopment of the Stanmore car park and Anmer Lodge site. A planning application for redevelopment of the site is expected in 2014.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
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CS8 Objective 1	TCR19	Positive response to consultations from London Borough of Barnet on proposals for appropriate retail development	100% positive response on appropriate proposals		Negative response on proposals for appropriate retail development
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3.92 During 2012/13 there were no consultations from the London Borough of Barnet on retail development proposals within Edgware major centre.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS8 Objective 2	TCR20	Positive response to consultations from London Boroughs of Barnet or Brent on proposals for appropriate retail development	100% positive response on appropriate proposals		Negative response on proposals for appropriate retail development

3.93 During 2012/13 there were no consultations from the London Boroughs of Barnet and Brent on retail development proposals within Burnt Oak district centre.

Employment Land Management

Overall Supply

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 2	ELM1	Amount of industrial land released for redevelopment to other uses	Not more than 11.2 hectares between 2009 and 2026		More than 11.2 hectares industrial land released for redevelopment to other uses

3.94 The table below shows the amount of industrial land released from other uses since 2009/10. The release rate has been fairly constant over the last four years, and is within the rate expected due to the ongoing contraction of manufacturing in London and the losses of poorer quality, outdated industrial units in accordance with the Local Plan's policy release criteria. The overall loss to date is just over 3.5 hectares, which if current trends continue will breach the 11.2 hectare target towards the end of the decade. However it is expected that this release will slow over the plan period as the outdated stock is redeveloped, leaving the fit for purpose, modern viable units in operation.

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	Use Class	2009/10 Area (ha)	2010/11 Area (ha)	2011/12 Area (ha)	2012/13 Area (ha)
Change from and to other Employment Uses (Use Classes B2,B8):	B2	0.357	0.098	0.023	0.002
	B8	-0.051	-0.078	-0.020	-0.853
Change from or to all Other Uses (except Employment Uses):	B2	-0.423	-0.314	-0.615	0.000
	B8	-1.334	-0.083	-0.370	0.082
Total		-1.451	-0.377	-0.982	-0.769
Note: Light Industry; B2 - General Industry; B8 - Storage or Distribution					Overall Loss = -3.579
Source: Harrow Council, Economic Development, Research & Enterprise					

Industrial Land Released

Strategic Industrial Land

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS2 Objective 3	ELM2	Post adoption of the Area Action Plan, the amount of strategic industrial land in Wealdstone released to uses not within the definitions and exceptions of Policy 2.17 of the London Plan	No release of SIL land over and above any limit (hectares) permitted through the area action plan		More than five applications approved for redevelopment of SIL land to uses not within the definition and exceptions of Policy 2.17 of the London Plan over five years (rolling)

3.95 The Harrow & Wealdstone Area Action Plan provides for the release of strategic industrial land from the Wealdstone Preferred Industrial Location. This release reflects the approved redevelopment of the Kodak site in Wealdstone. The Plan was adopted on 4 July 2013. No applications on sites other than the Kodak site and involving the release of Wealdstone SIL land to non-conforming uses were approved in 2012/13.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS8 Objective 8	ELM3	Hectares of allocated strategic industrial location (SIL) land at	No release of SIL land over and		More than five applications approved for

CS9 Objective 2		Honeypot Lane released for redevelopment to uses not within the definition and exceptions of Policy 2.17 of the London Plan	above any limit (hectares)		redevelopment of SIL land to uses not within the definition and exceptions of Policy 2.17 of the London Plan over five years (rolling)
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3.96 During 2012/13 there were no applications were approved for non conforming uses on sites forming part of the Honeypot Lane SIL.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS8 Objective 8 CS9 Objective 2	ELM4	Develop a strategy for the environmental improvement of Honeypot Lane SIL in partnership with the Mayor of London/GLA	Strategy adopted by end 2017/18		No strategy undergoing preparation by end 2016/17

3.97 No work to develop a strategy for the environmental improvement of the Honeypot Lane SIL was undertaken during 2012/13. It is anticipated that this work will commence in the next financial year.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 2	ELM5	Square metres of new floorspace on strategic industrial location (SIL) land for uses within the definition of Policy 2.17 of the London Plan	25,000 m² (gross) by 2026		Less than 3,500 m² (gross) by 2017/18; Less than 11,000 m² (gross) by 2020/21

3.98 No new floorspace was delivered on SIL designated land in 2012/13. The Kodak site was granted planning permission in June 2012 and includes re-provision of up to 35,975m² of new business and development floorspace. However, this is likely to be developed out in the latter stages of the scheme and therefore towards the end of the current plan period.

Allocated Business and Industrial Use Land

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
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Strategic Objective 2	ELM6	Square metres of new floorspace on business use and industrial & business use land for economic development uses	4,000 m² (gross) by 2026		Less than 1,000 m² (gross) by 2015/16 Less than 2,500 m² (gross) by 2020/21
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3.99 Table XX below shows the amount of new floorspace delivered on designated business use and industrial & business use land for economic development uses during 2012/13.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS2 Objective 3	ELM7	Post adoption of the Area Action Plan, the amount of designated employment land in Wealdstone released to non economic development uses	No release of designated employment land over and above any limit (hectares) permitted through the area action plan		More than five applications approved for redevelopment of designated employment land to non economic development uses over five years (rolling)

3.100 The Harrow & Wealdstone Area Action Plan designates 5.2 hectares of business use and industrial & business use land for redevelopment. The Plan was adopted in July 2013. No applications on designated land for non-economic development uses were approved in 2012/13.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS3 Objective 8	ELM8	Square metres of new/refurbished floorspace at Brember Road estate for economic development uses	A minimum of 1,000 m² new/refurbished floorspace by 2020/2021		No planning permission or pre-application proposal by 2017/18

3.101 No new or refurbished floorspace for economic development uses at Brember Road industrial estate was proposed or completed during 2012/13.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS3 Objective 8 CS4 Objective 3	ELM9	Percentage of premises that are vacant within:	Less than 10%		More than 10%

		<ul style="list-style-type: none"> the Brember Road industrial estate South Harrow Arches 			
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3.102 There are 18 units within the Brember Road Industrial Estate and, of these, 3 were vacant on 31st March 2013. This represents a vacancy rate of 16.67%.

3.103 There are 54 units within the South Harrow Arches business use and industrial & business use areas and, of these, 11 were vacant on 31st March 2013. This represents a vacancy rate of 20.37%.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS8 Objective 7	ELM10	Incubator units vacancy rates at Stanmore Place	No vacancy		Occupancy below 80%

3.104 The Stanmore Business & Innovation Centre (the incubator space at Honeypot Lane) opened in November 2013, and includes 55 incubator units (comprising a total of 1,394m² floorspace for business use). Of these, 6 were vacant on 31st March 2013. This represents a vacancy rate of 10%.

Office

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 2 CS3 Objective 7 CS4 Objective 4 CS5 Objective 3 CS8 Objective 6	ELM12	Office (B1a) vacancy rates in the Borough	Not greater than 10% by 2025/26		Not greater than 15% by 2015/16 Not greater than 12% by 2020/21

3.105 The table below shows office vacancy rates in the Borough since 2006. The vacancy rate is slightly higher in previous years, out of a reduced amount of office floorspace, reflecting the weaker demand for office accommodation in the Borough, and the recent prior approval conversions to residential use.

Year	Occupied Office Space (m ²)	Vacant Office Space (m ²)	Total Office Space (m ²)	Vacant (%)
2003	354,466	46,135	400,601	11.52
2004	321,529	44,105	365,634	12.06

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Year	Occupied Office Space (m ²)	Vacant Office Space (m ²)	Total Office Space (m ²)	Vacant (%)
2005	330,128	35,571	365,699	9.73
2006	325,376	40,240	365,616	11.01
2007	326,796	40,106	366,902	10.93
2008	311,754	36,333	348,087	10.44
2009	306,981	40,457	347,438	11.64
2010	288,131	46,186	334,317	13.82
2011	278,079	52,257	330,336	15.82
2012	275,705	48,468	324,173	14.95
2013	265,942	57,336	323,278	17.74

Note: Based on surveys carried out in March

Source: Harrow Council, Economic Development, Research & Enterprise

Amount of Office Floorspace & Vacancy Rates in Harrow 2003 - 2013

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS3 Objective 7 CS4 Objective 4 CS5 Objective 3 CS8 Objective 6	ELM13	Residential development enabled optimum provision of new floorspace for appropriate economic uses: <ul style="list-style-type: none"> Northolt Road business use area North Harrow and Rayners Lane offices Ballard Mews 	Provision of new floorspace for economic uses by 2026		No floorspace for economic uses approved by 2020/21

3.106 During 2012/13 XX applications were approved for enabling development resulting in the the provision of XXm² floorspace for economic uses within the Northolt Road business use area.

3.107 During 2012/13 XX applications were approved for enabling development resulting in the the provision of XXm² floorspace for economic uses within the North Harrow District Centre.

3.108 During 2012/13 XX applications were approved for enabling development resulting in the the provision of XXm² floorspace for economic uses within the Rayners Lane District Centre.

3.109 During 2012/13 XX applications were approved for enabling development resulting in the the provision of XXm² floorspace for economic uses within the Ballard Mews business use area.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS8 Objective 5	ELM14	Square metres of new/refurbished floorspace at Spring Villa estate for economic development uses	A minimum of 1,000 m ² new/refurbished floorspace by 2020/2021		No planning permission or pre-application proposal by 2017/18

3.110 No new or refurbished floorspace for economic development uses at Spring Villas Business Estate was proposed or completed during 2012/13.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS8 Objective 5	ELM15	Percentage of premises within Spring Villa estate that are vacant	Less than 10%		More than 10%

3.111 There is 5,287sqm of floorspace within the Spring Villas Business Estate and, of this, 358sqm was vacant on 31st March 2013. This represents a vacancy rate of 6.77%.

Housing Delivery and Supply

3.112 Housing constitutes the largest single component of the borough's built environment (about 50%). There are around 85,450 dwellings in Harrow, almost two-thirds of which were constructed during the inter-war period. The majority of the existing housing stock consists of owner-occupied, three-bedroom, two storey, semi-detached houses. In recent years one and two bedroom flats have accounted for the bulk of new residential development. High house prices in Harrow mean that much of the existing stock is unaffordable for families on low incomes, hence the need for more affordable housing units, especially three and four bedroom houses. The requirement for good quality housing that meets the needs of Harrow's residents is one of the most important issues facing the council.

3.113 This section addresses local indicators relating to housing, specifically the provision of new dwellings, including affordable housing, and future housing provision.

Housing Delivery

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 2	HOU1	Number of net additional dwellings built each	Deliver a minimum of 6,050 net additional		Where the cumulative total completions (as measured from 2009/10) falls below more than 30% of the

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CS1 Objective 6		year as monitored through the AMR	dwellings over the plan period to 2026		cumulative London Plan target for a period of two consecutive years, or by more than 300 units in the first year, according to the housing trajectory in the AMR (see Appendix B)
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3.114 Based on the London Housing Capacity Study 2009, Harrow's Core Strategy establishes a minimum housing target of 6,050 net additional homes to be provided over the period 2009/10 to 2025/26. The table below shows the number of new homes completed each year since 2009/10 (excluding non-conventional supply and long-term vacant properties brought back into residential use).

3.115 In 2012/13 a further 753 net new homes were completed in the borough, bringing the number of homes delivered within the current Local Plan period to 2,157, exceeding the cumulative minimum housing target of 1,500 homes by 657 homes. The 753 net homes delivered in 2012/13 comprised 736 homes from conventional supply (see table below), 29 long-term vacant (over 6 months) properties brought back into residential use, and a loss of 12 units of non-conventional supply through conversion or redevelopment of residential care accommodation and HMO premises. Major developments to completed in 2012/13 were Honeypot Lane (a further 163 units), Peel Road (45 Units), Neptune Point (146 Units), Railway Approach (34 Units), Goodwill to All (42 Units), Mill Farm Close (63 units), Rayners Lane Estate phase F (27 Units), Douglas Close (31 Units) and Strongbridge Close (40 Units). As shown in the table below, conversions and changes of use to residential dwellings continue to make a small but cumulatively significant contribution to Harrow's overall housing delivery.

Type of Development	2009/10	2010/11	2011/12	2012/13
New Build				
Total no. of existing units	108	103	215	80
Total no. of completed units (gross)	490	457	573	767
Net no. of completions	382	364	358	687
No. of sites	42	31	37	35
Conversions/Change of Use				
Total no. of existing units	49	40	32	32
Total no. of completed units (gross)	127	110	122	81
Net no. of completions	78	70	90	49
No. of sites	56	45	41	36
Total				

Type of Development	2009/10	2010/11	2011/12	2012/13
Total no. of existing units	157	143	247	112
Total no. of completed units (gross)	617	577	695	848
Net no. of completions	460	434	445	736
No. of sites	98	76	78	71

Source: London Development Database/Housing Monitoring Database, Harrow Council

Residential Completions 2009/10 - 2012/13

Sub-Area Housing Delivery

3.116 Harrow's Core Strategy divides the Borough into nine sub-areas for the purpose of spatial planning. With respect to housing delivery, challenging targets were set for three sub-areas where existing densities, urban character or heritage constraints restrict opportunities for significant windfall development. The following indicators were therefore established to more closely monitor housing delivery in these sub-areas ensuring each makes its required contribution to Harrow's overall housing provision.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS3 Objective 10	HOU2	Net additional dwellings in Harrow on the Hill and Sudbury sub area from 2009	In excess of 250 net additional dwellings by end 2025/26		Less than 80 by end 2015/16 Less than 175 by end 2020/21

3.117 Between 2009/10 and 2012/13, 85 net new homes were completed within the Harrow on the Hill and Sudbury Hill Core Strategy sub area. 14 of the 85 new homes were added in the last monitoring period, including 7 units on Roxborough Park and 4 on Wood End Road. Delivery is therefore well on target.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS4 Objective 7	HOU3	Net additional dwellings in South Harrow sub area from 2009	In excess of 456 net additional dwellings by end 2025/26		Less than 120 by end 2015/16 Less than 260 by end of 2020/21

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3.118 329 net new homes have been completed since 2009/10 within the South Harrow Core Strategy sub area. Residential development along Northolt Road in particular has contributed significantly to this total, including a further 50 units in 2012/13 through completion of the development at 332 Northolt Road. 61 net new dwellings were completed in total in 2012/13. Delivery is significantly exceeding the trigger milestones against the overall housing target for this sub-area.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS6 Objective 8	HOU4	Net additional dwellings in Pinner and Hatch End sub area from 2009	In excess of 161 net additional dwellings by end 2025/26		Less than 40 by end 2015/16 Less than 90 by end of 2020/21

3.119 Within the Pinner Core Strategy sub area a total of 125 net new homes have been completed between 2009/10 and 2012/13. The vast bulk of completions comes from the estate renewal of Mill Farm Close, which contributed a further 63 net units in 2012/13. Delivery is significantly exceeding the trigger milestones against the overall housing target for this sub-area.

Housing Supply

3.120 Housing allocations and planning permissions granted for residential developments are a useful indicator of the capacity of the borough to meet its housing targets in the future. Data on residential permissions feed directly into both the Five-Year Supply (provided at Appendix A) and the Housing Trajectory (provided at Appendix B) and enable the borough to demonstrate the likely supply of housing sites in the short, medium and long term. This is the foundation upon which housing projections are based.

Five Year Housing Supply

3.121 As of the end of March 2013, the Council anticipates that completions over the next five years (2014/15 - 2018/19) will exceed London Plan targets. There are 3,317 net units identified in the Five Year Housing Supply. Sites with planning permission account for 2,481 net units, exceeding the London Plan target for conventional supply (1,750) by 731 units on permissions alone. In addition, 836 net units from other identified sites are also expected to complete in the five year period. This is based on the expectation that a number of strategic sites will be developed within this time frame. A detailed schedule of sites contributing to the Five Year Housing Supply can be found in Appendix A.

Housing Trajectory

3.122 The Housing Trajectory show Harrow's progress towards meeting its housing supply targets. The Council has followed CLG guidance in producing the Housing Trajectory, which uses a plan, monitor and manage approach, presented in a table and graphs.

3.123 Harrow's Housing Trajectory takes into account the following factors:

- Net additional dwellings and non-self contained units completed since 2009/10

- Net additional dwellings and non-self contained units completed in the current monitoring period 2012/13
- Long-term vacant stock returned to use
- Projected net additional units to 2025/26
- The annual net additional dwelling requirement, as required by the London Plan (NB: the annual London Plan housing provision target to 2021 has been extrapolated to 2025/26)

3.124 The trajectory also includes a schedule of large sites (10+ units) with and without permission, with an estimated proposed residential capacity and possible phasing of development. An assumption of windfall capacity is also included within the trajectory, in line with the methodology agreed for the London Housing Capacity Study, on which the borough strategic housing requirements are based. For future provision, likely contributions to the Housing Trajectory are based on:

- Sites with planning permission as at 31/03/2013, both currently under construction and not yet started (including new build, changes of use and conversions)
- Sites with permission, but subject to legal agreement as at 31/03/2013
- Potential deliverable sites, based on the Harrow's recently adopted site allocations

3.125 The Housing Trajectory shows an overall potential housing supply for the Borough of 8,855 dwellings between 2009 and 2026, exceeding the current Local Plan target of 6,050 by 2,805 dwellings. As outlined above, 2,157 dwellings have already been delivered between 2009/10 and 2012/13, and the borough has a strong forecast of housing supply over the next five years to 2018/19, with outstanding planning permissions of 2,481 net new dwellings.

3.126 While housing delivery performance is currently exceeding Harrow's strategic housing target requirement, it is worth noting in this AMR that the Greater London Authority, in conjunction with all London boroughs, commenced work on a new London Housing Capacity Study in 2013, which will inform an early review of the London Plan (2011). Early indications are that, across London, a minimum of 40,000 new homes are required per annum to keep pace with London's housing needs. By comparison, the current target in the London Plan is 32,210 units per annum. The implications for Harrow are that our existing strategic housing target of 350 net new homes per year is likely to almost double. While this may have implications of the achievement of Harrow's strategic spatial vision for the borough, it also means that the surplus in housing delivery already achieved, as well as that currently forecast over the plan period, is likely to be offset by projected deficits in the latter years due to the increased housing target, netting back to almost a zero position by 2026. The alterations to the London Plan are due to be published for consultation at the beginning of 2014 but will not come into effect until the 2015/16 monitoring year.

Affordable Housing Supply

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 2	HOU5	Proportion of affordable housing from 2009	40% (2,420) of housing delivered between 2009 and 2026 to be affordable		Less than 500 by 2014/15
CS1 Objective 7					Less than 1,000 by 2018/19

3 Enhance the infrastructure, environment and other resources which make Harrow a desirable place to live, work and visit

					Less than 1,600 by 2022/23
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3.127 Harrow's Core Policy CS1J sets an ambitious target of 40% of the borough's total strategic housing requirement (6,050) should be affordable housing. Over the plan period from 2009 to 2026, the Council therefore expects to deliver 2,420 new affordable dwellings.

3.128 The table below shows the net number of affordable homes completions for each monitoring year since 2009/10. In 2012/13 a further 364 affordable dwellings were completed bring the number of new affordable homes delivered between 2009/10 and 2012/13 to 853. In respect to the 40% plan target, which equates to a minimum of 600 new affordable homes by 2012/13, this is currently exceed by 253 units. In terms of the percentage of net new affordable homes as a proportion of all new housing delivered, this is currently at 39.5%, which is a significant achievement given both the impact of the recession on development viability and the overall quantum of housing that has been completed in the borough over the past four years. Some of the schemes that contributed to the 2012/13 affordable housing figure include Peel Road (46); Neptune Point (42); Goodwill to All Public House (43); Railway Approach (34); 332 Northolt Road (42); Honeypot Lane (23) and the estate renewal schemes at Strongbridge Close (40) and Mill Farm Close (56).

Monitoring Year	Net Number of all Units Built	Net Number of Affordable Units	% Affordable Units	% of Core Strategy Policy CS1J Target (140 affordable units per annum)
2009/10	474	143	30.2	89.4
2010/11	446	149	33.4	93.1
2011/12	484	197	40.7	140.7
2012/13	753	364	48.3	261.4
Total	2,157	853	39.5	142.5

NB: For years 2009/10 and 2010/11 Harrow's strategic housing target in the London Plan was 400 units p.a. Therefore the application of the 40% affordable housing target in CS1J equates

to 160 units p.a. Data derived from the Housing Completions Monitoring Database, Harrow Council

Affordable Housing Completions 2009/10 - 2012/13

Affordable Housing Mix

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 2	HOU6	Proportion of 1, 2, 3, 4 and 5+ bedroom social/affordable rent units	Proportion in accordance with up-to-date target mix; currently: 7% one bedroom 36% two bedrooms		More than a 10% variance over a five year rolling to any target within an up to date target mix

			30% three bedrooms 17% four bedrooms 10% 5+ bedrooms	
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Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 2	HOU7	Proportion of 1, 2, 3 and 4+ bedroom intermediate units	Proportion in accordance with up-to-date target mix; currently: 35% one bedroom 30% two bedrooms 21% three bedrooms 14% four+ bedrooms		More than a 10% variance over a five year rolling to any target within an up to date target mix

3.129 Harrow's Core Strategy Policy CS11 requires new residential development to provide a mix of housing in terms of size and tenure. Within affordable housing, the Council's Housing Strategy contains a target mix of provision based on current needs and priorities within both social/affordable rent and intermediate housing tenures as outlined above. The table below provides a breakdown of the mix of affordable housing (social/affordable rent and intermediate homes) completed during 2012/13. As shown by the percentages, neither currently accords with the target mix. However, this new indicator and the data represents only the first year of monitoring. It is therefore heavily influenced by the nature of development schemes that came forward over 2012/13, which included a high proportion of flatted development, in respect of those schemes delivering affordable housing. This accounts for the higher than expected proportion of 1 & 2 bedroom affordable homes. The Council will therefore continue to monitor these indicators closely to see if, having built up a number of years data, the variances between existing and target mix provision narrows.

Size	Social/Affordable Rent		Intermediate	
	Units	%	Units	%
Studio	1	0	0	0
1 Bedroom	64	22.6	38	47.0
2 Bedrooms	152	53.7	41	50.6
3 Bedrooms	41	14.5	1	1.2
4 Bedrooms	21	7.4	1	1.2

3 Enhance the infrastructure, environment and other resources which make Harrow a desirable place to live, work and visit

Size	Social/Affordable Rent		Intermediate	
5 + Bedrooms	4	2	0	0
	283		81	

Affordable Housing Mix 2012/13

Supply of Family Housing

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 2	HOU8	Proportion of private and affordable dwellings providing family accommodation	25% of all housing to be 3 or more bedrooms		Less than 15% over a rolling five year period

3.130 The table below provides a breakdown of the mix of all homes (private and affordable) completed from 2009/10 to 2012/13. It shows that flatted development makes up a significant proportion of new housing development in the Borough - a trend that began during the latter stages of the last plan period in the mid-2000's. Such flatted schemes have a significant bias towards 1 & 2 bedroom units which is expected given the nature of the development, typically town centre locations and constrained by site size. It may also reflect the fact that 1 & 2 bedroom units offer an alternative to the 3 bedroom, two storey, semi-detached houses that makes up the vast majority of Harrow's existing housing stock. House prices are also likely to be a significant factor. With regard to the mix of houses, this remains consistent, with 3+ bedroom houses accounting for 82% of the new houses delivered. Overall however, the greater proportion of flatted development skews the overall completion figures, and means that only 20.2% of new dwellings are 3 or more bedrooms. This is short of the 25% target in the Local Plan, which seeks to ensure that the mix of new development coming forward across the borough make sufficient provision for family sized accommodation. Again, the Council will need to monitor this indicator closely over the coming years to ensure this shortfall improves. Developments, such as that proposed at Kodak and ColArt, will certainly aid in addressing this current trend.

	Flats		Houses		All Completions	
	Units	%	Units	%	Units	%
Studios	96	4.2	0	0	96	3.5
1 Bedroom	920	40.5	7	1.5	927	33.9
2 Bedrooms	1,086	47.8	76	16.4	1,162	42.4
3 Bedrooms	148	6.5	205	44.3	353	12.9
4 Bedrooms	14	0.6	144	31.1	158	5.8
5+ Bedrooms	10	0.4	31	6.7	41	1.5

	Flats		Houses		All Completions	
Totals	2,274		463		2,737	

Source: London Development Database/ Housing Monitoring Database, Harrow Council

Gross Bedroom Breakdown of all Completions (Conversions, Changes of Use and New Builds) from 2009/10 to 2012/13

Open Space

Quantity

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 2 CS1 Objective 4 CS9 Objective 5	OS1	Loss of open space to development (excluding appropriate functional development): <ul style="list-style-type: none"> Borough-wide Kingsbury & Queensbury sub area 	No net loss of open space to development		One application approved involving a net loss of open space to development over a rolling five year period

3.131 During 2012/13 there were two developments resulting in the loss of open space anywhere in the Borough. These were at West House Museum, Pinner, to enable a new link to be constructed between buildings to help the viability of the museum, and at Kenton lane Farm, Belmont, which was for enabling residential development on part of the open space to fund the restoration of the listed farm buildings, and to provide public access to the remaining open space. Whilst these developments breach the monitoring trigger, it is felt that the enabling nature of these developments are special cases which should not necessitate a review of the policy, as otherwise it has functioned as intended.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 2	OS2	Open spaces strategy with deliverable action plan in place	Adopted open spaces strategy by end 2012/13		No adopted open spaces strategy by end 2013/14

3.132 On 11th April 2013 the Council adopted a new Open Spaces Strategy together with an Outdoor Pitch Strategy and action plan.

3 Enhance the infrastructure, environment and other resources which make Harrow a desirable place to live, work and visit

Quality

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 2 CS1 Objective 4 CS3 Objective 9	OS3	% of existing sites within each open space typology currently not meeting the recommended local quality standard (based on the 2010 PPG17 figures)	20% reduction on the 2010 PPG17 figure for each open space typology		Less than a 6% reduction achieved on four out of the six open space typologies by 2015/16 Less than a 13% reduction achieved on four out of the six open space typologies by 2021/22

3.133 Table XX below shows the number of existing sites for each open space typology and the number not meeting the recommended quality standard, based on Harrow's Open Space, Sport and Recreation Study (the PPG 17 Study) 2010.

3.134 NEW TABLE NEEDED

Objective Number	Indicator Number	Indicator	Target	Trigger
CS9 Objective 4	OS4	Quality improvements to PPG 17 open space typologies within Kingsbury & Queensbury sub area	Identify opportunities for quality improvements in new open spaces strategy	Opportunities for improvements not included in open space strategy by end 2014/15

3.135 In 2012/13 there were XX improvements to open space within the Kingsbury and Queensbury Core Strategy sub area. [mention the Queensbury Rec Green grid project here??]

Accessibility

Objective Number	Indicator Number	Indicator	Target	Trigger
Strategic Objective 2 CS1 Objective 5	OS5	Accessibility improvements to PPG 17 open space typologies	Reduce deficiencies by 5% on the 2010 baseline for each open space typology	Less than a 1.5% reduction achieved on four out of the six open space typologies by 2015/16

CS3 Objective 9				Less than a 3% reduction achieved on four out of the six open space typologies by 2021/22
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3.136 In 2012/13 there were XX open space projects completed that reduced open space accessibility deficiencies in the area that they were location (based on PPG 17 Study accessibility standards). These reduced the area of land with accessibility deficiency in the XX typologies by XX%.

Objective Number	Indicator Number	Indicator	Target	Trigger
CS4 Objective 5	OS6	Accessibility improvements to natural greenspace in South Harrow sub area	Identify opportunities for accessibility improvements in new open spaces strategy	Opportunities for improvements not included in open space strategy by end 2014/15

3.137 On 11th April 2013 the Council adopted a new Open Spaces Strategy together with an Outdoor Pitch Strategy and action plan. It identifies XX actions for improving access to natural and semi-natural greenspace within the South Harrow Core Strategy sub area.

Objective Number	Indicator Number	Indicator	Target	Trigger
CS9 Objective 4	OS7	Accessibility improvements to PPG 17 open space typologies	Identify opportunities for accessibility improvements in new open spaces strategy	Opportunities for improvements not included in open space strategy by end 2014/15

3.138 On 11th April 2013 the Council adopted a new Open Spaces Strategy together with an Outdoor Pitch Strategy and action plan. It identifies XX actions for improving access to PPG 17 open space typologies within the Kingsbury and Queensbury Core Strategy sub area.

Workplace Training

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 2	WT1	Planning obligations on major development with workplace training provisions	70% of planning agreements on major development schemes		Less than 70% over a rolling three year period

3.139 During 2012/13 there were 6 Planning Obligations completed relating to major development schemes. Of these 5 included provisions relating to workplace training.

Manage the Borough's contribution to climate change and increase resilience to flooding 4

Authority's Monitoring Report New Structure

Efficient Land Use

Objective Number	Indicator Number	Indicator	Target	Trigger
Strategic Objective 3 CS1 Objective 1 CS2 Objective 6	EFU1	Net additional dwellings from 2009 within the Harrow & Wealdstone Intensification Area	In excess of 2,800 net additional dwellings by end 2025/26	Less than 1,000 by end 2015/16 Less than 2,000 by end 2020/21

4.1 Table XX below shows the number of new homes completed each year since 2009/10 within the Harrow & Wealdstone Intensification Area.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS1 Objective 1	EFU2	Number of dwellings delivered on allocated sites or previously developed land	100% of all residential development over the plan period to 2026		Less than 95% over a rolling three year period (excluding special circumstances in the Green Belt)

4.2 In 2012/13 100% of new homes completed were on allocated or previously-developed sites. 100% of new homes completed in the 2011/12 and 2010/11 monitoring periods were also on allocated or previously developed land.

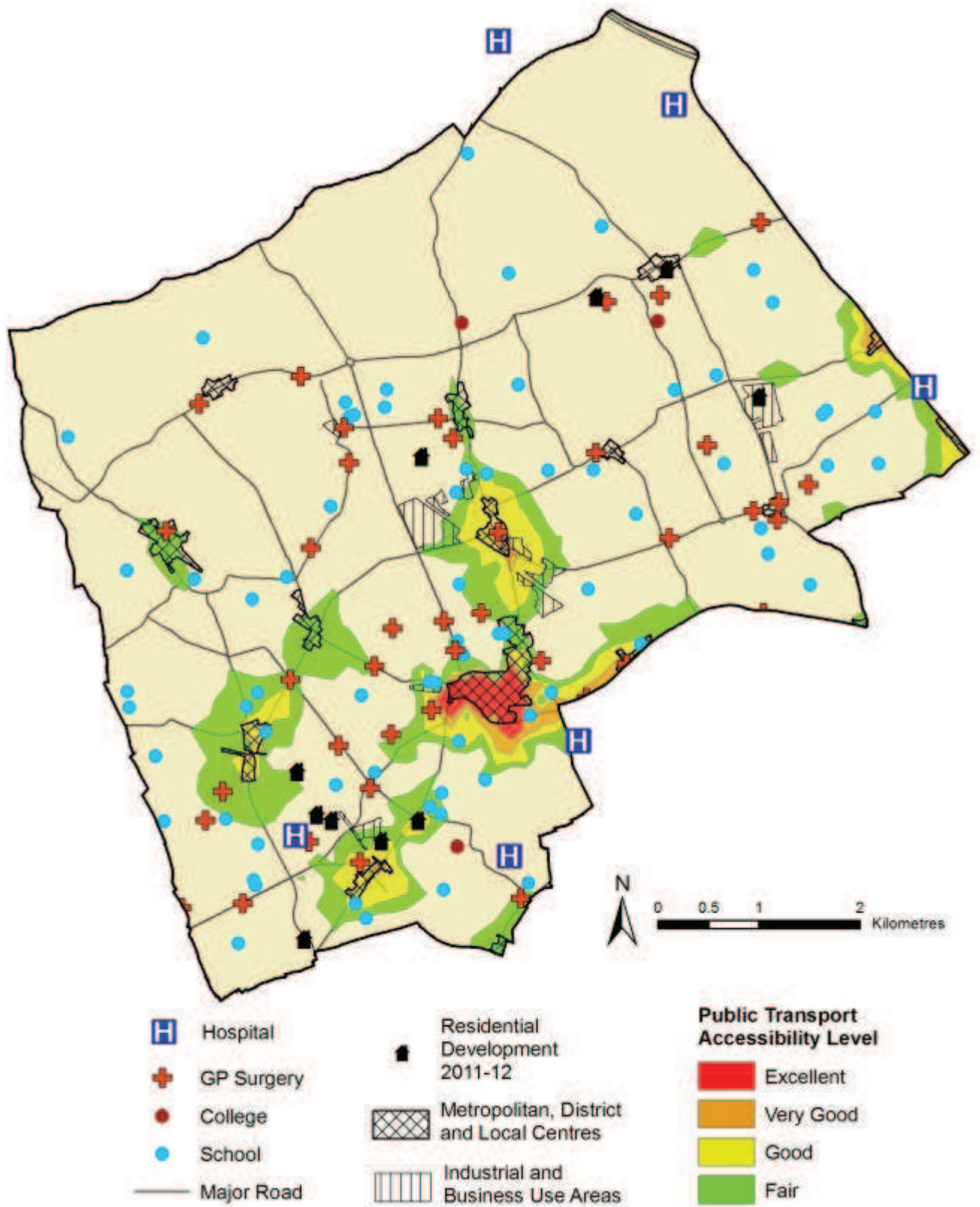
Objective Number	Indicator Number	Indicator	Target	Trigger
Strategic Objective 3	EFU3	Number of applications approved for major development in areas of low public transport accessibility (PTALs 0, 1 and 2) that do not enhance the PTAL of the site	None	More than five applications approved for major development in areas of low public transport that do not enhance the PTAL of the site over a rolling five year period

4.3 In 2012/13 there were XX applications approved for major development in areas of low public transport accessibility that did not enhance the PTAL of the site.

Objective Number	Indicator Number	Indicator	Target	Trigger

<p>Strategic Objective 3</p>	<p>EFU4</p>	<p>Number of applications approved for major residential development within 30 minutes public transport journey time of a GP, primary school, secondary school, areas of employment and a major health centre</p>	<p>100%</p>	<p>More than five applications approved for major residential development within 30 minutes public transport journey time of a GP, primary school, secondary school, areas of employment and a major health centre over a rolling five year period</p>
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4.4 In 2012/13 there were XX applications approved for major residential development within 30 minutes' public transport journey time of a GP, primary school, secondary school, areas of employment and a major health centre.



Map 4.1 Public Transport Accessibility 2011/12

Climate Change Mitigation

Strategy

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 3	CCM1	Up to date, adopted local policies on sustainable design and construction	Area action plan and development management sustainable design and construction policies in place by end 2013/14		Area action plan and development management sustainable design and construction policies not in place by end 2013/14

4.5 On 4 July 2013 the Council adopted the Harrow & Wealdstone Area Action Plan and the Development Management Policies Local Plan document. The following policies are included within these documents:

- AAP 9: Flood Risk and Sustainable Drainage
- AAP 10: Harrow & Wealdstone District Energy Network
- DM 9: Managing Flood Risk
- DM 10: On Site Water Management and Surface Water Attenuation
- DM 11: Protection and Enhancement of River Corridors and Watercourses
- DM 12: Sustainable Design and Layout
- DM 13: Decentralised Energy Systems
- DM 14: Renewable Energy Technology

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 3	CCM2	Up to date framework for the delivery of a district wide combined heat and power network within the Harrow & Wealdstone Intensification Area if feasible	Area action plan in place by end 2013/14		Area action plan not in place by end 2013/14

4.6 On 4 July 2013 the Council adopted the Harrow & Wealdstone Area Action Plan. The Plan includes Policy AAP 10: Harrow & Wealdstone District Energy Network.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS1 Objective 14	CCM3	Up to date, adopted Borough climate change strategy	Review and adopt revised climate change strategy by end 2014/15		Updated climate change strategy not in place by end 2014/15

4.7 Last revised and issues (following public consultation) in March 2013. Delivering Warmer homes (HECA) report to SoS for Energy and Climate change also published in March 2013

Sustainable Design

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 3	CCM4	Number of major applications approved which incorporate combined heat and power infrastructure	80%		Less than 65% over a rolling three year period

4.8 In 2012/13 there was one applications approved incorporating combined heat and power infrastructure, which was the Kodak site. It is anticipated this figure will increase rapidly once a Combined Heat and Power network is established in the Intensification Area.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 3	CCM5	Number of applications approved which incorporate renewable energy generation infrastructure	80%		Less than 65% over a rolling three year period

4.9 In this monitoring period, as in previous years, data for renewable energy generation was not fully available. This is due to difficulties in identifying sites with small scale energy generation and developing reliable systems for monitoring and collecting data. However, 12 applications have detailed this in the last year. This is an issue for all Local Authorities and it is likely that, for the foreseeable future, this Indicator will continue to be largely unreported.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 3	CCM6	Proportion of applications approved for major residential development that achieve water use efficiency of 80 litres potable water per person per day	95%		Less than 75% over a rolling three year period

4.10 This data is currently not recorded for all developments as it is a new indicator, but from the records kept, two developments are indicated to have achieved this target which equates to 8% of major applications. Further work on obtaining this data for all applications will be undertaken in the next monitoring period.

Emissions

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS1 Objective 14	CCM7	Per capita carbon dioxide emissions in the Borough	Reduce by 4% per annum (improvements on 1990 baseline) ⁽¹⁾		Less than 3% over two consecutive years

4.11 Indicator published by DECC. Latest figures cover the period 2005 to 2011. This shows a 25% reduction over six years which equates to just over a 4% reduction each year. During 2012/13 the per capita carbon dioxide emissions in the Borough was 3.38 tonnes. This indicator is therefore on target to be met.

Waste

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 3	WAS1	Tonnes of municipal solid waste (MSW) arising in the Borough	Tonnes of municipal waste arising no greater than or below London Plan projections (129,000 tonnes by 2026)		More than 123,000 tonnes by end 2016/17 More than 126,000 tonnes by end 2021/22

4.12 The table below shows the amount of municipal waste arising in the Borough during 2012/13 and previous years. There has been another slight decrease in this year's monitoring period, bringing the total reduction since 2009 to nearly 8,000 tonnes, and well below the maximum target.

Monitoring Year	Total Waste
2007/08	113,669
2008/09	108,097
2009/10	104,243
2010/11	100,882
2011/12	101,659
2012/13	100,407

Source: Harrow Council, Climate Change

Amount of Municipal Waste Arising (tonnes)

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 3	WAS2	Tonnes of commercial and industrial waste (C&I) arising in the Borough	Tonnes of commercial waste arising no greater than or below London Plan projections (134,000 tonnes by 2026)		More than 139,000 tonnes by end 2016/17 More than 136,000 tonnes by end 2021/22

4.13 The table below shows the amount of commercial arising in the Borough during previous years. The data for 2012/13 is not currently available as this is a new combined indicator, but will be for the next monitoring period.

Waste Distribution	2007/08 Weight (tonnes)	2008/09 Weight (tonnes)	2009/10 Weight (tonnes)	2010/11 Weight (tonnes)	2011/12 Weight (tonnes)
Commercial Waste Collected	7,800	6,760	6,760	6,760	6,760
Commercial Waste Delivered to the Refuse tip by Traders	1,847	1,244	835	741	673
Non Household Waste Delivered to the Refuse tip (construction/demolition waste)	4,525	3,883	4,326	3,695	2,635

Source: Harrow Council, Climate Change

Harlow Commercial Waste - Annual Summary (tonnes/monitoring year)

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 3 CS1 Objective 16	WAS3	Municipal waste recycled and composted	50% by 2020		Less than 45% by 2014/15 Less than 47% by 2017/18

4.14 In the 2012/13 monitoring period 40.7% of municipal waste was recycled or composted. This is well on target to meet 50% by 2020.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
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Strategic Objective 3 CS1 Objective 16	WAS4	Construction and demolition waste recycled	95% by 2020		Less than 80% by 2014/15 Less than 85% by 2017/18
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4.15 This data is not currently available as this is a new combined indicator, but will be for the next monitoring period..

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS1 Objective 16	WAS5	Amount of waste going to landfill	Reduce below 2009/10 levels (60,754 tonnes)		An increase in more than one year above 2009/10 levels over five years (rolling)

4.16 In 2012/13 the amount of the Borough's waste going to landfill was 30,661 tonnes. The amount sent to landfill during 2009/10 (the baseline year) was 60,754 tonnes therefore this represents a 50% reduction.

Flooding

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 3 CS1 Objective 15	FLO1	Development approved contrary to Environment Agency advice	None		More than five applications approved over a rolling five year period

4.17 In 2012/13, no development was permitted by the council contrary to the advice of the Environment Agency, as was the case in the last four years. In accordance with central Government advice, the council seeks to avoid development in areas of high flood risk.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 3 CS1 Objective 15	FLO2	Proportion of applications approved which achieve greenfield run off rates	75% of qualifying applications		Less than 60% over a rolling three year period

4.18 This is a new indicator and details of this measure are not readily available at present. However the data held shows that four proposals achieved greenfield run-off rates. This indicator's data will be obtained for the next monitoring period.

Air Pollution

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 3	AP1	Annual mean value of nitrogen oxide (NO ₂) and particulates (PM ₁₀)	Achieve 20 ug m ³ by 2020		Not achieved 25 ug m ³ by 2015

4.19 As in previous AMRs, air quality monitoring is carried out over a calendar year. Consequently the results reported in this section cover the year 2012 and not the report monitoring period 2012/13. Part IV of the Environment Act 1995 places a statutory duty on local authorities to review and assess the air quality within their area and take account of Government Guidance when undertaking such work. The Council has previously declared the whole borough an Air Quality Management Area, and produced an associated Action Plan in pursuit of the National Objectives (health based limits) set for these pollutants. The National Objective for both these pollutants is an annual mean of 40 µg/m³.

4.20 In terms of the monitoring results shown below, the results from Harrow 1 will be more indicative of levels experienced at a large proportion of homes within the borough than those from Harrow 2. This is because pollution levels from traffic rapidly decline with distance down to background levels. Background levels will mostly reflect London-wide and regional pollution levels, with only a relatively small contribution from local traffic. The results below show there has been very little change of the last few years, however both sites are on track to meet the 2015 target, with Station 2 just meeting it this year.

Site	Classification of site	Annual mean N02 µg/m ³	Annual mean PM10 µg/m ³
Harrow 1 Stanmore	Background	25	18
Harrow 2 Pinner Road	Roadside	47	25

London Air Quality Network (LAQN) Site	2002	2003	2004	2005	2006	2007	2008	2009	2010	2011	2012
Annual mean µg/m ³ (Objective is 40 µg/m ³)	23.0	24.0	19.7	20.0	21.2	19.8	18.2	17.2	17.1	20.0	18

Source: Harrow Council, Environmental Protection

Annual mean concentrations for PM10 (µg/m³) at Harrow 1 continuous monitoring site (background)

Harrow 2 Monitoring Station	2004	2005	2006	2007	2008	2009	2010	2011	2012
Annual mean $\mu\text{g}/\text{m}^3$ (Objective is $40 \mu\text{g}/\text{m}^3$)	29.3	28.4	30.3	29.0	28.1	25.0	23.1	25.0	25
<small>Source: Harrow Council, Environmental Protection</small>									

Annual mean concentrations for PM10 ($\mu\text{g}/\text{m}^3$) at Harrow 2 continuous monitoring site (roadside)

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 3	AP2	Major applications that include the installation of electric charging points	90%		Less than 75% over a rolling three year period

4.21 In 2012/13 there were five major applications approved for development that included the installation of electric charging points, representing 20% of all major applications approved during the period. This should increase during future monitoring reviews as electric car use becomes more widespread and the policy requirement becomes more viable.

Adapt to population and demographic changes to meet people's needs and quality of life 5

Authority's Monitoring Report New Structure

Employment

Objective Number	Indicator Number	Indicator	Target	Trigger
Strategic Objective 4 CS1 Objective 1 CS1 Objective 12	EMP1	Net additional jobs in the Borough ⁽¹⁾	4,000 jobs by end 2025/26	Less than 1,000 jobs by end 2015/16 Less than 2,000 jobs by end 2020/21

5.1 In 2012/13 it is estimated that there were **XX** net additional jobs created in the Borough.

Objective Number	Indicator Number	Indicator	Target	Trigger
Strategic Objective 4 CS1 Objective 1 CS1 Objective 12 CS2 Objective 7	EMP2	Net additional jobs in the Harrow & Wealdstone Intensification Area	3,000 jobs by end 2025/26	Less than 750 jobs by end 2015/16 Less than 1,800 jobs by end 2020/21

5.2 In 2012/13 it is estimated that there were **XX** net additional jobs created in the Harrow & Wealdstone Intensification Area.

Objective Number	Indicator Number	Indicator	Target	Trigger
CS1 Objective 12	EMP3	The number of businesses located in the Borough	5% increase on 2009 baseline by 2026	Less than 2% increase by 2016/17 Less than 3% increase by 2020/21

5.3 Harrow's Local Economic Assessment records that there were **XX** VAT registered businesses in the Borough in **XX**. In 2012/13 the **XXsourceXX** recorded that there were **XX** VAT registered businesses in the Borough, a rise/fall of **XX**%.

Housing Need

Gypsies and Travellers

Objective Number	Indicator Number	Indicator	Target	Trigger
Strategic Objective 4 CS1 Objective 7	HN1	Number of additional G&T pitches	At least three additional pitches by end 2017/18	No site allocation or deliverable proposal(s) for three additional pitches by end 2014/15

5.4 There were no new pitches or sites completed and no pitches or sites lost in 2012/13. Three new pitches are allocated through the Site Allocations Local Plan.

Residential Quality and Accessible Homes

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 4 CS2 Objective 1	HN2	Major residential developments approved with 'good' or 'very good' Building for Life assessments	80% of major residential development achieving 'good' or 'very good' assessments by 2025/26		Less than 50% by 2015/16 Less than 65% by 2020/21

5.5 In previous monitoring periods the council has assessed completed developments of ten or more units against the Building for Life (BfL) criteria. However, in 2010/11 and 2011/12 no assessments were carried out as the council no longer retains a trained BfL Assessor. Options are being explored for the next monitoring period, re sharing resources with neighbouring boroughs, and it should be possible to do some retrospective assessments to backfill this data void.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 4 CS1 Objective 7	HN3	Homes approved that comply with Lifetime Home standards	100% of new homes by 2025/26		More than five applications approved for residential development that do not achieve 100% of homes complying with Lifetime Home standards over a rolling five year period

5.6 The number of units granted planning permission that comply with Lifetime Homes standards is 687. This means Lifetime Homes accounted for 93.3% of all permissions granted in 2012/13.

5.7 In the majority of cases where Lifetime Homes standards are not met in full the development is a residential conversion. In these cases Lifetime Homes cannot be reasonably expected due to the constraints inherent in this type of development but Harrow's Accessible Homes SPD nonetheless requires reasonable efforts to be made to make newly converted flats as accessible as possible.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
Strategic Objective 4 CS1 Objective 7	HN4	Homes approved that comply with Wheelchair Home standards	10% of new homes by 2025/26		More than five applications approved for residential development that do not achieve 100% of homes complying with Wheelchair Home standards over a rolling five year period

5.8 The number of units granted planning permission that comply with Wheelchair Homes standards is 69. This means Wheelchair Homes accounted for 9.4% of all permissions granted in 2012/13.

Supported Housing

Objective Number	Indicator Number	Indicator	Target	Trigger
Strategic Objective 4 CS1 Objective 7	HN5	Number of additional leasehold sheltered dwellings	682 leasehold sheltered dwellings by end 2020/21	Less than 200 sheltered dwellings by 2015/16 Less than 400 sheltered dwellings by 2018/19

5.9 In 2012/13 there were no additional leasehold sheltered dwellings completed in the Borough.

Objective Number	Indicator Number	Indicator	Target	Trigger
CS1 Objective 7	HN6	Number of additional supported housing units for people with learning disabilities	At least 103 units by end 2020/21	Less than 40 units by end of 2015/16 Less than 60 units by end of 2018/19

5.10 In 2012/13 there were no additional leasehold supported housing units for people with learning difficulties completed in the Borough.

Objective Number	Indicator Number	Indicator	Target	Trigger
CS1 Objective 7	HN7	Number of additional supported housing units for people with mental health problems	At least 185 units by end 2020/21	Less than 70 units by end of 2015/16 Less than 110 units by end of 2018/19

5.11 In 2012/13 there were no additional leasehold supported housing units for people with mental health problems completed in the Borough.

Estate Renewal

Objective Number	Indicator Number	Indicator	Target	Trigger
CS3 Objective 10	HN8	Opportunity to renew Grange Farm Estate identified	Opportunity identified by end 2025/26	No preliminary options available for estate renewal by end 2020/21

5.12 No opportunity to renew Grange Farm Estate was identified during 2012/13.

Objective Number	Indicator Number	Indicator	Target	Trigger
CS4 Objective 7	HN9	Completion of Rayners Lane Estate redevelopment	Completion by end 2012/13	Works stall by end 2011/12

5.13 Rayners Lane is the second largest site to bring forward affordable units within the monitoring period. Rayners Lane completed two phases within this monitoring period, "Big E" and "F" providing 145 new affordable units. These sites already had 128 and 38 affordable units respectively which were redeveloped with the site, therefore at these sites there has been a net gain of seven and net loss of 28 respectively. The net loss should be taken within the context of the scheme as a whole, which comprises of 735 gross units, of which 564 are affordable; an overall net gain of 174 affordable units.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS6 Objective 8	HN10	Completion of Mill Farm Estate redevelopment	Completion by end 2014/15		Works stall by end 2013/14

5.14 The redevelopment of Mill Farm Estate was well underway during 2012/13. The redevelopment is scheduled for completion 2014/15.

Health and Wellbeing

Objective Number	Indicator Number	Indicator	Target	Trigger
Strategic Objective 4	HAW1	Mode share of residents: percentage of trips by walking	30.5% of residents' trips by walking by end 2013/14; maintain or increase thereafter	Average proportion of residents' trips by walking less than 30.5% over five years (rolling)

5.15 During 2012/13 the proportion of all trips in the Borough made by walking was XX%.

Objective Number	Indicator Number	Indicator	Target	Trigger
Strategic Objective 4	HAW2	Mode share of residents: percentage/number of trips by cycling	1.5% of residents' trips by cycling by end 2013/14; maintain or increase thereafter	Average proportion of residents' trips by cycling less than 1.5% over five years (rolling)

5.16 During 2012/13 the proportion of all trips in the Borough made by cycling was XX%.

Objective Number	Indicator Number	Indicator	Target	Trigger
Strategic Objective 4	HAW3	Percentage of the adult population who participated in sport and active recreation, at moderate intensity, for at least 30 minutes on at least 12 days out of the last 4 weeks (equivalent to 30 minutes on 3 or more days a week) Percentage of adults (16+) participating in at least 30 minutes of sport at moderate intensity at least three times a week	Increase above 16.5% by 2025/26 Increase to at least 20% by 2025/26	17% by 2015/16 18.5% by 2020/21

5.17 During 2012/13 the proportion of Harrow's adult population who participated in sport and active recreation, at moderate intensity, for at least 30 minutes on at least 12 days out of the last 4 weeks (equivalent to 30 minutes on 3 or more days a week) was XX%.

5.18 During 2012/13 the proportion of Harrow's adult population participating in at least 30 minutes of sport at moderate intensity at least three times a week was XX%.

Objective Number	Indicator Number	Indicator	Target	Trigger
Strategic Objective 4	HAW4	Multiple deprivation	Improve Harrow's ranking to the level achieved in 2004 (29 th in London, where first is most deprived)	No improvement in Harrow's ranking by end 2017/18

5.19 The Government's 2010 Indices of Deprivation show that multiple deprivation in Harrow is well below the national average, with a ranking of 184 out of 326 districts in England - an improvement on the borough's 2007 position. The 2009 local government restructure means in order for the 2010 Indices to be comparable to 2007 Indices the new data must be re-evaluated along the old boundaries. Under that system Harrow is ranked 203rd out of 354 districts, an improvement on the 2007 Indices, when the borough was ranked in 196th place. This situation is mirrored in the London rankings too, with a ranking of 27th (out of 33), compared to 25th in 2007, where 1st is the most deprived.

Objective Number	Indicator Number	Indicator	Target	On Target	Trigger
CS2 Objective 1 CS4 Objective 2	HAW5	Up-to-date sustainable community strategy in place	Renew the Harrow sustainable community strategy by end 2014/15		No draft replacement sustainable community strategy in place to being prepared by end 2013/14

5.20 The Core Strategy, adopted in February 2012 replaces the Sustainable Community Strategy, and runs to 2026.

Content 6

Authority's Monitoring Report New Structure

Authority's Monitoring Report New Structure

6.1 The Community Infrastructure Levy (CIL) is a new power which enables the Council to raise funds for infrastructure from new development. It is levied on the net increase in floorspace arising from development.

6.2 The Harrow Community Infrastructure Levy Draft Charging Schedule was consulted on from 15 November - 20 December 2012. The examination by an independent examiner was subsequently held in May - June 2012 and it was formally adopted by Council on 16 September 2013. The CIL applies Borough wide for certain uses of over 100sqm gross internal floor space. It will be charged from the 1st October 2013. Any planning application determined after this date will be charged accordingly. Harrow's CIL charges are:

- Residential (Use Class C3) - £110 per sqm;
- Hotels (Use Class C1), Residential Institutions except Hospitals, (Use Class C2), Student Accommodation, Hostels and HMOs (Sui generis) - £55 per sqm;
- Retail (Use Class A1), Financial & Professional Services (Use Class A2), Restaurants and Cafes (Use Class A3) Drinking Establishments (Use Class A4) Hot Food Takeaways (Use Class A5) - £100 per sqm.
- All other uses - nil.

6.3 The above changes are in addition to the Mayor's CIL to fund Crossrail, which is £35 per sqm in Harrow for all types of development

6.4 Subsequent AMR's will report on the level of CIL receipts received and how this has been used to fund new and enhanced infrastructure.

Content 7

Authority's Monitoring Report New Structure

Authority's Monitoring Report New Structure

7.1 The Localism Act, which received Royal Assent on November 15 2011, introduced new rights and powers to allow local communities to shape new development by coming together to prepare neighbourhood plans. Neighbourhood planning can be taken forward by two types of body - town and parish councils or 'neighbourhood forums'. Neighbourhood forums are community groups that are designated to take forward neighbourhood planning in areas without parishes such as Harrow. It is the role of the local planning authority to agree who should be the neighbourhood forum for the neighbourhood area. Neighbourhood forums and parish councils can use new neighbourhood planning powers to establish general planning policies for the development and use of land in a neighbourhood. These are described legally as 'neighbourhood development plans.' These plans must be in general conformity with the Council's Local Plan.

7.2 There have been no applications for a neighbourhood forum and thus no plan designation in the 2012/13 monitoring period, and none to date.

Content 8

Authority's Monitoring Report New Structure

Authority's Monitoring Report New Structure

Duty to Co-operate

8.1 Section 110 of the Localism Act inserts section 33A into the Planning and Compulsory Purchase Act 2004. Section 33A imposes a duty on a local planning authority to co-operate with other local planning authorities, county councils and bodies or other persons as prescribed.

8.2 The other persons prescribed are those identified in Regulation 4 of The Town and Country Planning (Local Planning) (England) Regulations 2012. The bodies prescribed under section 33A(1)(c) are:

- a. the Environment Agency
- b. the Historic Buildings and Monuments Commission for England (known as English Heritage)
- c. Natural England
- d. the Mayor of London
- e. the Civil Aviation Authority
- f. the Homes and Communities Agency
- g. each Primary Care Trust
- h. the Office of Rail Regulation
- i. Transport for London
- j. each Integrated Transport Authority
- k. each highway authority
- l. the Marine Management Organisation

8.3 The duty imposed to co-operate requires each person, including a local planning authority, to:

- a. engage constructively, actively and on an ongoing basis in any process by means of which activities within subsection (3) are undertaken
- b. have regard to activities of the persons or bodies (above) so far as they are relevant to activities within subsection (3)

8.4 The relevant activities listed under subsection (3) comprise the preparation of local plan documents and activities which prepare the way for and which support the preparation of local plan documents, so far as relating to a strategic matter.

8.5 The council has and continues to engage constructively with other local planning authorities and other public bodies following the approach set out in the National Planning Policy Framework. During the period covered by this AMR the council prepared and consulted upon the following draft local plan documents:

- Development Management Policies (27th July - 7th September 2012)
- Site Allocations (27th July - 7th September 2012)
- Harrow & Wealdstone Area Action Plan (27th July - 7th September 2012)

8.6 The mechanisms for and evidence of co-operation and engagement during this period are set out below.

Cross Boundary Consultee	How we co-operate	Outcomes
Neighbouring Authorities	<p>Letters sent inviting representations and responses received</p> <p>West London Alliance (planning officers group from 6 West London boroughs)</p> <p>Group memorandum of understanding</p> <p>London – Luton Corridor Forum</p> <p>Planning Officer meetings with Hertsmere</p> <p>Planning Officer Meetings with Three Rivers</p>	<p>Details of representations received and the council's actions detailed in DPD consultation statements</p> <p>No major cross boundary issues identified</p> <p>Updates given by respective boroughs on Local Plan progress. Memorandum of Understanding signed to give effect to cross boundary co-operation.</p> <p>Meetings to progress the London–Luton growth corridor which will result in a joined up approach to managing and attracting growth in this area. No major cross boundary issues identified arising from Harrow's DPDs.</p> <p>Meetings scheduled for every quarter</p>
Environment Agency	<p>Letters inviting representations and responses received</p> <p>Meetings at council offices</p>	<p>Details of representations received and the council's actions detailed in consultation statements. Issues raised regarding policies dealing with flood risk and management and river corridors.</p> <p>Meetings centred around the Level 1 and Level 2 SFRA extents. Advice given on the wording of flooding policy and the use of SUDS.</p> <p>Resolved to remove 3b designation from previously developed sites</p> <p>EA provide flood mapping for the borough</p>
English Heritage	<p>Letters inviting representations and responses received</p> <p>Written communications between the council and English heritage</p> <p>Draft copies of heritage policies sent before formal consultation</p>	<p>Details of representations received and the council's actions detailed in consultation statements</p> <p>Advice on heritage policies given</p> <p>Heritage policies amended in light of specialist advice</p>

Authority's Monitoring Report New Structure

Cross Boundary Consultee	How we co-operate	Outcomes
Natural England	<p>Letters inviting representations and responses received</p> <p>Written communications between the council and Natural England</p>	<p>Details of representations received and the council's actions detailed in consultation statements</p> <p>Advice on biodiversity policies given</p>
Civil Aviation Authority	<p>Letters inviting representations and responses received</p>	<p>Details of representations received and the council's actions detailed in consultation statements. No major issues raised.</p>
Greater London Authority	<p>Joint management structure involving senior members of both organisations</p> <p>Letters inviting representations and responses received</p> <p>Officer from the GLA on secondment to the Local Plan Team</p> <p>GLA Housing Study meetings and work</p> <p>Liaison with specialist officers for policy development regarding affordable housing and sustainability</p> <p>London Wide Green Grid project</p>	<p>Joint working on preparation of the Harrow & Wealdstone Area Action Plan, including joint sign-off to final draft document</p> <p>Details of representations received and the council's actions detailed in consultation statements</p> <p>Officer providing advice on policy development to ensure there are no conflicts with the London Plan</p> <p>Participation in the London wide SHLAA and SHMA evidence base studies</p> <p>Discussions held and advice sent to ensure consistency with the London Plan</p> <p>Meetings and joint working undertaken to establish a Harrow Green Grid as part of the wider London Green Grid</p>
Primary Care Trust	<p>Letters inviting representations and responses received</p> <p>Infrastructure delivery meetings and correspondence</p>	<p>Details of representations received and the council's actions detailed in consultation statements</p> <p>Consulted on evidence base documents and provided information to inform future service delivery</p>
Highways Agency (TfL)	<p>Inclusion in joint management structure for development of the Area Action Plan</p>	<p>Details of representations received and the council's actions detailed in consultation statements</p>

Cross Boundary Consultee	How we co-operate	Outcomes
	<p>Letters inviting representations and responses received</p> <p>Liaison with TFL regarding transport study modelling and findings</p> <p>Infrastructure delivery meetings and correspondence</p>	<p>Agreed the methodology for modelling certain junctions and the results of the findings of the study, using TFL data</p> <p>Consulted on evidence base documents and provided information to inform future infrastructure provision</p>
Network Rail	Letters inviting representations and responses received	Details of representations received and the council's actions detailed in consultation statements. No major issues raised.

Duty to Co-operate - Engagement Undertaken 2012/13

Authority's Monitoring Report New Structure

8.7 The consultation statements referred to in Duty to Co-operate - Engagement Undertaken 2012/13 can be found on the council's website, via the following links:

- http://www.harrow.gov.uk/downloads/file/12286/consultation_statement_for_the_area_action_plan
- http://www.harrow.gov.uk/downloads/file/12287/consultation_statement_for_the_development_management_policies_dpd
- http://www.harrow.gov.uk/downloads/file/12288/consultation_statement_for_the_site_allocations_dpd

8.8 Paper copies of the statements are available to view at the duty planner office at Harrow Civic Centre, Station Road, Harrow, HA1 2UY. The Council commented on the following applications from neighbouring authorities.

8.9 In addition to the above, the Council also engage neighbouring authorities in the consideration of detailed planning applications dealt with during 2012/13, as follows:

Barnet

P/0239/13

[CONSULTATION FROM A NEIGHBOURING AUTHORITY: RESERVED MATTERS APPLICATION SEEKING APPROVAL FOR SCALE, APPEARANCE AND LANDSCAPING FOR CHARACTER ZONES 3 AND 8 OF THE REDEVELOPMENT OF STONEGROVE AND SPUR ROAD ESTATE PURSUANT TO CONDITION 2 OF THE PLANNING PERMISSION W13582/07 AS RENEWED BY H/0/3635/11 DATED 07/12/11]

P/0552/13

[DEMOLITION OF EXISTING GARAGES FOLLOWED BY ERECTION OF TWO STOREY SINGLE FAMILY DWELLING INCLUDING ROOMS IN ROOFSPACE]

P/2114/12

[CONSULTATION FROM A NEIGHBOURING AUTHORITY: RESERVED MATTERS APPLICATION SEEKING APPROVAL FOR SCALE, APPEARANCE AND LANDSCAPING FOR CHARACTER ZONES 2 (PART), 4, 5B AND 7 OF THE REDEVELOPMENT OF STONEGROVE AND SPUR ROAD ESTATE PURSUANT TO CONDITION 2 OF THE PLANNING PERMISSION W13582/07 AS RENEWED BY H/0/3635/11 DATED 07/12/11]

P/2315/12

[CONSULTATION FROM A NEIGHBOURING AUTHORITY: ERECTION OF SECURITY GATES AND FRONT BOUNDARY WALL TO REPLACE EXISTING FRONT WALL]

P/2603/12

[CONSULTATION FROM A NEIGHBOURING AUTHORITY: IN CONNECTION WITH THE CREATION OF AN ERUV IN MILL HILL, AND AS AN AMENDMENT TO APPLICATION H/01834/10 DATED 6TH JULY 2010, THE CONSTRUCTION OF POLE AND WIRE GATEWAYS, 1M HIGH POSTS KNOWN AS 'LECI' AND FENCING AT A NUMBER OF LOCATIONS]

P/2832/12

[CONSULTATION FROM NEIGHBOURING AUTHORITY: CHANGE OF USE OF EXISTING OFFICE BUILDING (B1) TO MUSLIM COMMUNITY CENTRE (D1) INCLUDING INTERNAL ALTERATIONS]

P/2978/12

[CONSULTATION FROM A NEIGHBOURING AUTHORITY: ERECTION OF TWO-STOREY SINGLE FAMILY DWELLINGHOUSES FOLLOWING DEMOLITION OF EXISTING GARAGES]

P/3145/12

[DEMOLITION OF EXISTING BUILDING AND ERECTION OF A TWO STOREY BUILDING WITH ROOMS IN ROOF SPACE TO CREATE 10 SELF-CONTAINED UNITS]

Brent**P/0525/13**

[CONSULTATION FROM A NEIGHBOURING AUTHORITY: CHANGE OF USE OF ESTATE AGENTS (USE CLASS A2) TO A CAB OFFICE (SUI GENERIS)]

P/0832/12

[CONSULTATION FROM A NEIGHBOURING BOROUGH: INTERNAL AND EXTERNAL WORKS TO ENABLE PART OF GROUND FLOOR TO BE USED AS A CAFÉ]

P/0840/12

[CONSULTATION FROM A NEIGHBOURING AUTHORITY: PROPOSED BOILERMASS BOILER INSTALLED IN THE SERVICE YARD]

P/1956/12

[CONSULTATION FROM A NEIGHBOURING AUTHORITY: DEMOLITION OF EXISTING SINGLE STOREY BUILDING AND THE ERECTION OF A PART 1, PART 2 AND PART 3 STOREY BUILDING IN ORDER TO PROVIDE A NEW ACCIDENT AND EMERGENCY DEPARTMENT ON LAND ADJACENT TO BLOCKS G AND E OF NORTHWICK PARK HOSPITAL. PROPOSALS INCLUDE A PARTIAL REALIGNMENT OF THE EXISTING ACCESS ROAD, THE CREATION OF NEW ACCESS ROADS, NEW AMBULANCE AND PUBLIC DROP OFF AREAS, AN UNDERCROFT PARKING AREA, PEDESTRIAN RAMPS AND FOOTPATHS, PLANT ROOM, NEW RETAINING WALLS AND LANDSCAPING]

P/1977/12

[DEMOLITION OF EXISTING COMMERCIAL UNITS AND ERECTION OF 4 X FOUR STOREY BUILDINGS, COMPRISING APPROXIMATELY 140 SELF-CONTAINED APARTMENTS, 1800M2 OF COMMERCIAL FLOORSPACE (USE CLASS B1) AND 4 LIVE/WORK UNITS, WITH 100 CAR-PARKING SPACES, BICYCLE AND BIN STORAGE AND ASSOCIATED LANDSCAPING]

P/2001/12

Authority's Monitoring Report New Structure

[CONSULTATION FROM NEIGHBOURING AUTHORITY: TWO STOREY SIDE AND REAR EXTENSION REAR DORMER WINDOW ONE ROOF LIGHT TO THE FRONT AND ONE ROOF LIGHT EACH ON EITHER SIDE OF THE ROOF SLOPE TO DWELLING HOUSE]

P/2602/12

[CONSULTATION FROM A NEIGHBOURING AUTHORITY: PROPOSED CHANGE OF USE OF GROUND FLOOR PREMISES FROM SOLICITORS OFFICE (USE CLASS A2) TO DENTAL SURGERY (USE CLASS D1)]

P/2768/12

[CONSULTATION FROM NEIGHBOURING AUTHORITY: DEMOLITION OF EXISTING SINGLE STOREY BUILDING AND THE ERECTION OF A PART 1, PART 2 AND PART 3 STOREY BUILDING IN ORDER TO PROVIDE A NEW ACCIDENT AND EMERGENCY DEPARTMENT ON LAND ADJACENT TO BLOCKS G AND E OF NORTHWICK PARK HOSPITAL. PROPOSAL INCLUDES A PARTIAL REALIGNMENT OF THE EXISTING SITE ACCESS ROAD THE CREATION OF NEW ACCESS ROADS, NEW AMBULANCE AND PUBLIC DROP OFF AREAS, PEDESTRIAN RAMPS AND FOOTPATHS, PLANT ROOM, NEW RETAINING WALLS AND LANDSCAPING]

P/2791/12

[CONSULTATION FROM A NEIGHBOURING AUTHORITY: CONSULTATION FROM A NEIGHBOURING AUTHORITY: REDEVELOPMENT OF THE SITE WITH ERECTION OF MIXED-USE SCHEME TO PROVIDE 144 RESIDENTIAL UNITS (CLASS C3), 1800 SQ/M OF EMPLOYMENT WORKSPACE (CLASS B1), 5 LIVE/WORK UNITS (SUI GENERIS) AND ASSOCIATED PARKING, AMENITY SPACE, LANDSCAPING AND ACCESS]

P/3067/12

[CONSULTATION FROM A NEIGHBOURING BOROUGH: FULL PLANNING PERMISSION THE ERECTION OF A 7,817SQM GROSS EXTERNAL AREA (GEA) CLASS A1 RETAIL FOODSTORE WITH ASSOCIATED SERVICE AND DELIVERY YARD; 5,207 SQM GEA OF NEW ORIENTAL AND FAR EASTERN FLOORSFACE TO INCLUDE SHOPS, FINANCIAL AND PROFESSIONAL SERVICES, RESTAURANTS AND CAFES, DRINKING ESTABLISHMENTS, HOT FOOD TAKEAWAYS AND NON-RESIDENTIAL INSTITUTIONS (CLASS A1, A2, A3, A4, A5, B1 AND D1); PODIUM SLAB ALONG AIRCO CLOSE; A SITE-WIDE ENERGY CENTRE; ASSOCIATED CAR PARKING SPACES; MOTORCYCLE PARKING SPACES AND CYCLE PARKING SPACES; ASSOCIATED LANDSCAPING AND PUBLIC REALM WORKS; NEW VEHICULAR ACCESS FROM GROVE PARK AND VEHICULAR ACCESS FROM PLAZA WALK AND ASSOCIATED HIGHWAY WORKS; AND OUTLINE PLANNING PERMISSION (PHASES 2 AND 3) COMPRISING RESIDENTIAL FLOORSFACE (CLASS C3, ACCOMPANIED BY ILLUSTRATIVE RESIDENTIAL ACCOMMODATION SCHEDULE INDICATING 183 RESIDENTIAL UNITS), ASSOCIATED CAR PARKING SPACES AND CYCLE PARKING SPACES, ASSOCIATED LANDSCAPING AND NEW VEHICULAR ACCESS FROM AIRCO CLOSE (PHASE 2, ALL MATTERS RESERVED) AND TWO FORM OF ENTRY PRIMARY SCHOOL AND NURSERY (CLASS D1, PHASE 3, ALL MATTERS RESERVED)]

Local Plan Timetable **Appendix 9**

Authority's Monitoring Report New Structure

Authority's Monitoring Report New Structure

9.1 The Harrow Local Plan comprises a suite of planning documents, referred to as 'Local Plan Documents', which seek to plan positively for the future development and infrastructure needs of the borough. The plan period is 2009 to 2026. In addition to the Local Plan there are a number of 'supplementary planning documents' or SPDs which provide detailed design guidance for certain types of development and certain areas.

The Local Development Scheme

9.2 The Local Development Scheme (LDS) identifies the Local Plan documents that the council is intending to prepare and the timetable for their preparation and adoption. The current LDS (version 5) was finalised in June 2012 and is published on the council's website. The LDS timetables for the production of the remaining Local Plan documents that make up Harrow's Local Plan, which is outlined below and can also be viewed on the council's website at: <http://www.harrow.gov.uk/ldf>.

Delivering the Local Development Scheme

9.3 The following table provides an update on the council's performance for the 2012/13 monitoring period. Specifically, it provides a summary of the planning documents and details their progress to date.

Document/LDS Reference	Priority	Summary	Notes
Statement of Community Involvement	A	Sets out the consultation techniques that may be used and the approaches that will be applied consistently to all the Local Development Documents (LDDs) to be prepared by the council, as well as setting the framework for consultation relating to the determination of planning applications.	Adopted in August 2006
Local Development Scheme	A	Sets out the timetables for the production of development plan documents and identifies the supplementary planning documents that the council intends to produce.	LDS revised and updated in June 2012
RAF Bentley Priory SPD	A	This SPD is a response to development interest in the site and to ensure that clear guidance details the council's expectations for the site.	Adopted in October 2007
Access For All SPD	A	Guidance on access within and into buildings for all development.	Adopted in April 2006

Document/LDS Reference	Priority	Summary	Notes
Core Strategy DPD	A	The Core Strategy sets out the vision, objectives and spatial strategy for accommodating the borough's growth and development needs over the period 2009 to 2026. It establishes the Harrow & Wealdstone Intensification Area and sets out policies for this area and for eight 'sub areas' throughout the rest of the borough, as well as an over-arching thematic policy dealing with local character, open space, housing, town centres, economic development, transport, flooding, waste management, Gypsy and Traveller accommodation and infrastructure.	Adopted in February 2012
Sustainable Building Design SPD	A	This SPD aims to encourage sustainable measures to be built into all development within the borough.	Adopted in May 2009
Community Infrastructure Levy (CIL)	A	The Harrow CIL will raise funds from certain types of development to contribute funding towards the delivery of social and physical infrastructure made necessary by growth and development in the borough over the plan period.	Implemented October 2013.
Accessible Homes SPD	A	Guidance on Lifetime and Wheelchair Homes Standards for residential development and conversions.	Adopted March 2010
Residential Design Guide SPD	A	Guidance on design for residential development, conversions and domestic extensions.	Adopted December 2010
Site Allocations Local Plan	A	This DPD will allocate sites to deliver development and infrastructure in accordance with Harrow's spatial strategy. It will replace the HUDP proposal sites.	Adopted July 2013
Development Management Policies Local Plan	A	This DPD will set out local development management policies to work in conjunction with the National Planning Policy Framework (NPPF), the London Plan (2011) and Harrow's Core Strategy (2012) for making decisions on planning applications.	
Policies Map	A	This will accompany the DPDs and illustrate allocations of land for development and policy areas to which a specific policy designations will be applicable.	

Authority's Monitoring Report New Structure

Document/LDS Reference	Priority	Summary	Notes
Harrow and Wealdstone Area Action Plan (AAP)	A	The AAP will apply to the Harrow & Wealdstone Intensification Area, to deliver the Core Strategy objectives for the area including 2,800 homes and 3,000 jobs over the plan period, by allocating sites for development and by including bespoke area-based development management policies.	
West London Waste Plan	H	Identifies the land use needs for waste management facilities (recycling, reuse and disposal) required to manage West London's waste arisings within West London. It also includes policies to safeguard sites and existing waste treatment capacity, and against which proposals for new waste management facilities will be assessed.	<p>Consultation undertaken on draft Issues and Options between February to March 2009.</p> <p>Following consideration of responses, consultation undertaken on the draft Plan (Proposed Sites and Policies) between 9th February to 25th March 2011.</p> <p>It is anticipated that the final draft Plan will be published for consultation in Spring 2014.</p>
Pinner Conservation Areas SPD	A	Provides overarching policy guidance for the management of the historic environment and heritage assets of the 12 designated Conservation Areas within Pinner. The SPD also includes the Character Appraisals and Management Strategies prepared for each conservation area.	Adopted in December 2009
Harrow on the Hill Conservation Areas SPD	A	Provides overarching policy guidance for the management of the historic environment and heritage assets of the 8 designated Conservation Areas within Harrow on the Hill.	Adopted in May 2008

Document/LDS Reference	Priority	Summary	Notes
		The SPD also includes the Character Appraisals and Management Strategies prepared for each conservation area.	
Stanmore/Edgware Conservation Areas SPD	A	Provides overarching policy guidance for the management of the historic environment and heritage assets of the 6 designated Conservation Areas within the Stanmore and Edgware area. The SPD also includes the Character Appraisals and Management Strategies prepared for each conservation area.	Adopted in December 2013
Harrow Weald Conservation Areas SPD	H	Will provide the overarching policy guidance for the management of the historic environment and heritage assets for the 2 designated Conservation Areas within the Harrow Weald area. The SPD also includes the Conservation Area Appraisals and Management Strategies prepared for each conservation area.	Publication for public consultation by Summer 2014
Garden Land Development SPD	A	The council has produced an SPD to support the implementation of a local presumption against garden land development that has come into effect upon the adoption of Harrow's Core Strategy (see above).	Adopted April 2013
Planning Obligations SPD	A	Sets out the Council's approach, policies and procedures in respect of the use of planning obligations and clarifies the relationship between Harrow's Community Infrastructure Levy and seeking of obligations to mitigate the site specific impacts of proposed development.	Adopted October 2013
Harrow School SPD	M	The Council is working with the school to produce an masterplan which will outline the future development requirements at the school.	Consultation on a draft SPD scheduled for Spring 2014
Priority Key: A - Adopted, H - High Priority, M - Medium Priority, L - Low Priority			

Summary of Local Plan Documents and Supplementary Planning Documents

9.4 In addition to the documents mentioned above, the evidence base has been expanded. Key evidence base documents include:

- Strategic Housing Land Availability Assessment (GLA, 2009)
- West London Strategic Housing Market Assessment (2010)
- Strategic Flood Risk Assessment Level 1 (2009)

Authority's Monitoring Report New Structure

- Strategic Flood Risk Assessment Level 2 (2011)
- Strategic Flood Risk Assessment Level 2 Addendum Report (2012)
- Transport Study (2010)
- Character Assessment of Harrow's Residential Areas (2011)
- Financial Viability Assessment of Developments (2011)
- Employment Land Study (2011)
- Retail Study (2009)
- Planning Policy Guidance 17: Planning for Open Space, Sport and Recreation Study (2011)
- Local Economic Assessment (2010)
- Harrow Views Assessment (2012)

9.5 Full details of Harrow's Local Plan evidence base can be found on the council's website at:
http://www.harrow.gov.uk/info/856/local_development_framework_policy/1923/evidence_base_documents.

Five Year Housing Supply **Appendix** **A**

Authority's Monitoring Report New Structure

Authority's Monitoring Report New Structure

A.1 Paragraph 47 of the National Planning Policy Framework (NPPF) requires local planning authorities to 'identify and update annually a supply of specific deliverable sites sufficient to provide five years worth of housing against their housing requirements with an additional buffer of 5% (moved forward from later in the plan period) to ensure choice and competition in the market for land'. A footnote to the paragraph explain what is meant by deliverable.

A.2 To be considered 'deliverable' sites should be:

- available now;
- offer a suitable location for development now; and
- be achievable with a realistic prospect that viable housing development will be delivered on the site within five years.

A.3 The NPPF confirms that sites with planning permission should be considered deliverable until permission expires.

A.4 Harrow's Five-Year Land Supply includes net additional dwellings at deliverable sites for the five year period between April 2014 and March 2019. The council has identified sites which meet these requirements and these include:

- All sites for housing units under construction as at 31/03/2013 which are expected to complete within the specified five year period (these developments include new build, changes of use to housing units and conversions)
- All sites with planning permission where construction has not yet started as at 31/03/2013 which are expected to complete within the specified five year period (these developments include new build, changes of use to housing units and conversions)
- Sites where permission has been granted, subject to legal agreement, as at 31/03/2013 which are expected to complete within the five year period
- Potential deliverable sites (without planning permission as at 31/03/2013) likely to complete within the five year period

A.5 Schedules 1 to 5 (summarised below) demonstrate that Harrow has a sufficient supply of housing land to meet its Five-Year Housing Supply targets plus 5%. Sites with planning permission (commitments) account for 2,481 units exceeding the overall five year London Plan target for Harrow by 731 units (or by 644 taking into account the NPPF 5% buffer). In addition, 836 units are expected to come forward from allocated and other identified sites within the five year period (Schedules 5 & 6).

Sites	Schedule	Description	Net Units	Site Area (ha)
Sites with Planning Permission (not under construction)	Schedule 1	New Build sites	1,986	19.27
	Schedule 2	Conversions / Changes of Use	107	2.28
Sites with Planning Permission (under construction)	Schedule 3	New Build sites	388	9.03
	Schedule 4	Conversions / Change of Use	0	0

Sites	Schedule	Description	Net Units	Site Area (ha)
Sites with Legal Agreement	Schedule 5		0	0
Potential Future Sites	Schedule 6		836	6.80
Total from Deliverable Sites			3,317	37.38

Summary of Harrow's Five Year Housing Supply (2014/15 - 2018/19 as at 31/03/13)

A.6 Sites which have planning permission and are forecast to complete in 2013/14 are not included in the Five-Year Supply.

A.7 Sites without planning permission which are forecast to complete after 2018/19 are not included in the Five-Year Supply.

A.8 Sites which are forecast to partially complete outside the period April 2014 to March 2019 are included in the schedules that follow, but only units projected to complete within the period contributing to the Five-Year Supply.

A.9 Full details of all sites and their predicted phasing can be found in the Housing Trajectory (Appendix B).

A.10 Small sites have been apportioned as follows:

- New builds with planning permission: 1/3 of units in 2015/16; 2/3 of units in 2016/17
- New builds already started: All units in 2014/15
- Conversion/Change of Use permissions: 2/3 of units in 2014/14; 1/3 of units in 2015/16
- Conversion/Change of Use already started: All units in 2013/14

A.11 As a result the Conversion/Change of Use permissions which have already begun are not included in the Five-Year Supply. All other small sites fall within the Five-Year Supply period.

Harrow's Housing Trajectory **Appendix** **B**

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- B.1** The Housing Trajectory show Harrow's progress towards meeting its strategic housing target. The council has followed CLG guidance in producing the Housing Trajectory, which uses a plan, monitor and manage approach, presented in the table below.
- B.2** The London Plan (Consolidated with Alterations since 2004, February 2008) set Harrow an annual housing target of a minimum of 400 units per annum between 2007/08 to 2010/11. This 400 annual target is disaggregated to 360 units from conventional supply, 15 units from non self-contained residential units and 24 units from the reduction of long-term vacant stock.
- B.3** The replacement London Plan, adopted July 2011, reduced Harrow's overall housing requirement to 350 units per annum. The requirement to return vacant dwellings to use was removed and the minimum provision of non-conventional supply was reduced from 15 units to three per annum. This new strategic housing target for Harrow came into effect in 2011/12, and is therefore relevant for this current monitoring period and onwards.
- B.4** In 2012/13 736 net homes were completed in Harrow as conventional supply. 12 bed spaces were lost to the non-conventional supply and 29 units were added that had been identified as long term vacant (more than 6 months) and were brought back into use.
- B.5** Harrow's Housing Trajectory takes into account the following factors:
- Net additional dwellings and non-self contained units completed since 2009/10
 - Net additional dwellings and non-self contained units completed in the current monitoring period 2012/13
 - Long-term vacant stock returned to use
 - Projected net additional units to 2025/26
 - The annual net additional dwelling requirement, as required by the London Plan. (the annual London Plan housing provision target to 2021 has been extrapolated to 2025/26)
- B.6** The trajectory also includes a schedule of large sites (10+ units) with and without permission, with an estimated proposed residential capacity and possible phasing of development. Windfall sites are not included in the trajectory or Harrow's Five Year Housing Supply (**Appendix A**).
- B.7** For future provision, likely contributions to both Harrow's Five Year Housing Supply and the Housing Trajectory are based on:
- Sites with planning permission as at 31/03/2013, both currently under construction and not yet started (including new build, changes of use and conversions)

- Sites with permission, but subject to legal agreement as at 31/03/2013
- Potential deliverable sites, based on the emerging Site Allocations DPD, the Harrow and Wealdstone Action Area Plan Pre-Submission DPD, and other identified sites, including sites identified in the 2009 Housing Capacity Study

B.8 As of the end of March 2013 the council anticipates that completions over the next five years (2014/15 - 2018/19) will exceed London Plan targets. There are 3,317 net units identified in the Five Year Housing Supply. Sites with planning permission account for 2,481 net units, exceeding the London Plan target for conventional supply (1,750) by 731 units on permissions alone. In addition, 836 net units from other identified sites and sites with legal agreement are also expected to complete in the five year period. This is based on the expectation that a number of strategic sites will be developed within this time frame. A detailed schedule of sites contributing to the Five Year Housing Supply can be found in **Appendix A**.

B.9 Housing Trajectory Sites shows the location and the number of units of all developments listed in the Housing Trajectory. Developments which have already been granted planning permission are represented as purple points, while the orange points represent allocated and identified sites. The map shows that development will be concentrated in the area along Station Road and High Street, Wealdstone, between the centres of Harrow and Wealdstone. Developments in this central area account for 40.6% of all units identified in the Housing Trajectory. There are also large developments to the north of the borough including the Royal National Orthopaedic Hospital and Bentley

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B.10 The Monitor line in the trajectory shows the number of dwellings above or below the planned rate of delivery is at any point in time. It is calculated by totalling completions over time and comparing it to the target rate, using 2009/10 as a baseline. The Monitor line shows Harrow continually exceeding its housing targets in each year of the plan. At the end of the plan period in 2025/26 the trajectory forecasts that the plan target will have been exceeded by over 2,805 units.

B.11 The Monitor line demonstrates a bias towards greater development in the early years of the trajectory (with the line continually climbing). This is in part because of difficulties in identifying sites in the final years of the trajectory.

B.12 The Manage line in the trajectory represents the number of completions needed to meet the strategic plan total. It is calculated by subtracting the number of completions to date from the total allocation and dividing that by the number of years left to run. The Manage line shows the pressure to provide new units decreases over time as the over-supply in the early years of the trajectory influences the requirement in the later years. The Manage line should meet the y-axis by 2025/26 (0 left to provide) in order to have met targets. In fact, the Manage line shows Harrow meeting its target between 2017/18.

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Map B.1 Housing Trajectory Sites

Source: Housing Trajectory

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Harrow Housing Trajectory 2009 - 2026																					
	Site Area	Net	99-09	09/10	10/11	11/12	12/13	13/14	14/15	15/16	16/17	17/18	18/19	19/20	20/21	21/22	22/23	23/24	24/25	25/26	
Large Sites with pp Not Started (not under construction at end of 2012/13)																					
Rayners Lane, Rayners Lane Estate Big G Phases 1-4	1.60	48							24	24											
Bridge Street, Land rear of 65 (H8)	0.12	26						13	13												
Merrion Avenue, Jubilee House (H9)	0.57	35											35								
Gayton Road, Car Park, Gayton Library and Sonia Court (AAP22)	1.27	374								94	94	93	93								
Burnt Oak Broadway, Edgware Town Football Club (H14)	1.22	189							63	63	63										
Brockley Hill, Royal National Orthopaedic Hospital (GB1)	0.79	347								70	70	70	70	67							
High Street, 9-17, Edgware	0.14	31							31												
Pinner View, St George's Playing Field (GO3)	0.73	27							20	7											

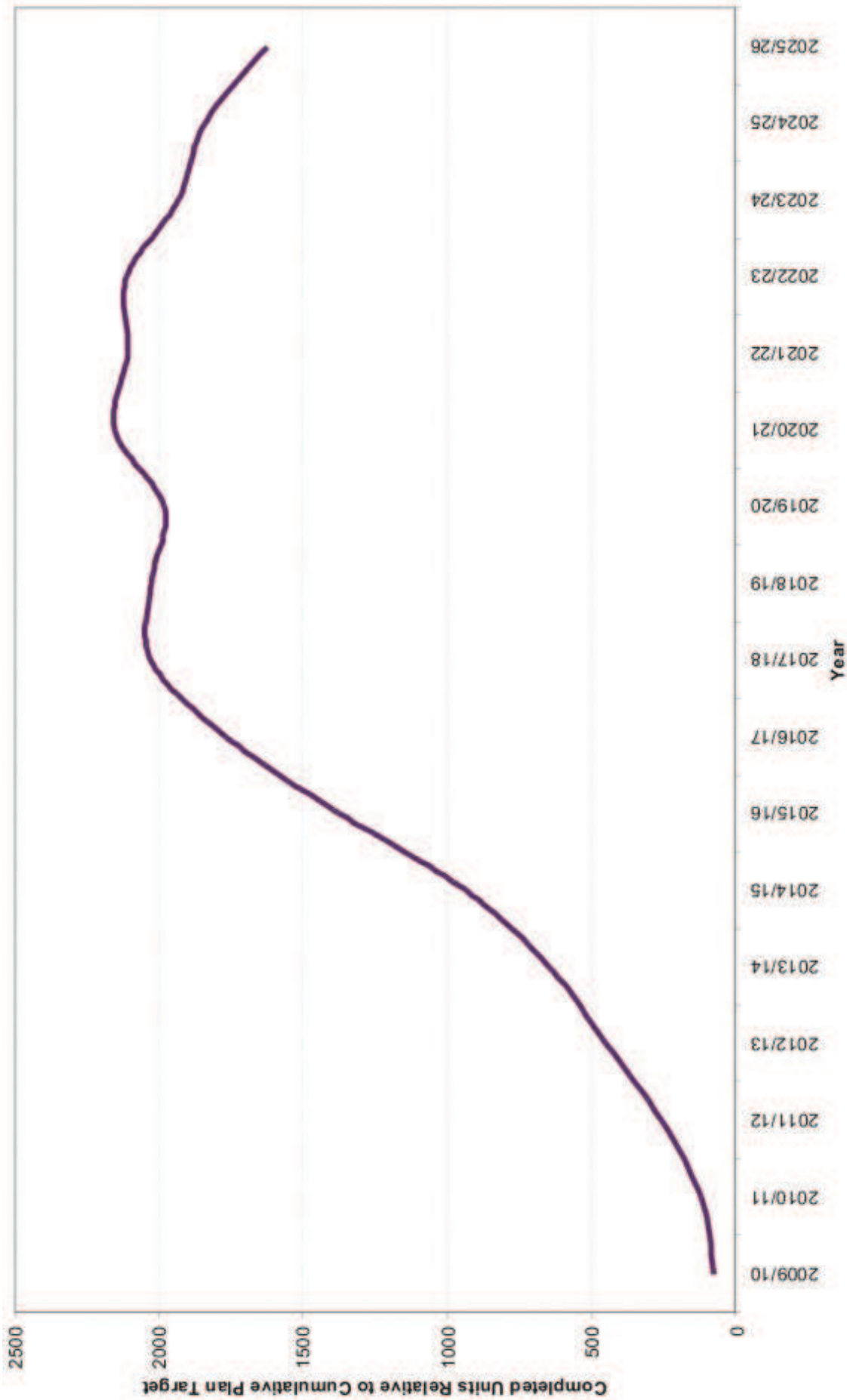


Figure B.1 Housing Trajectory - Monitor Line 2009/10 - 2025/26

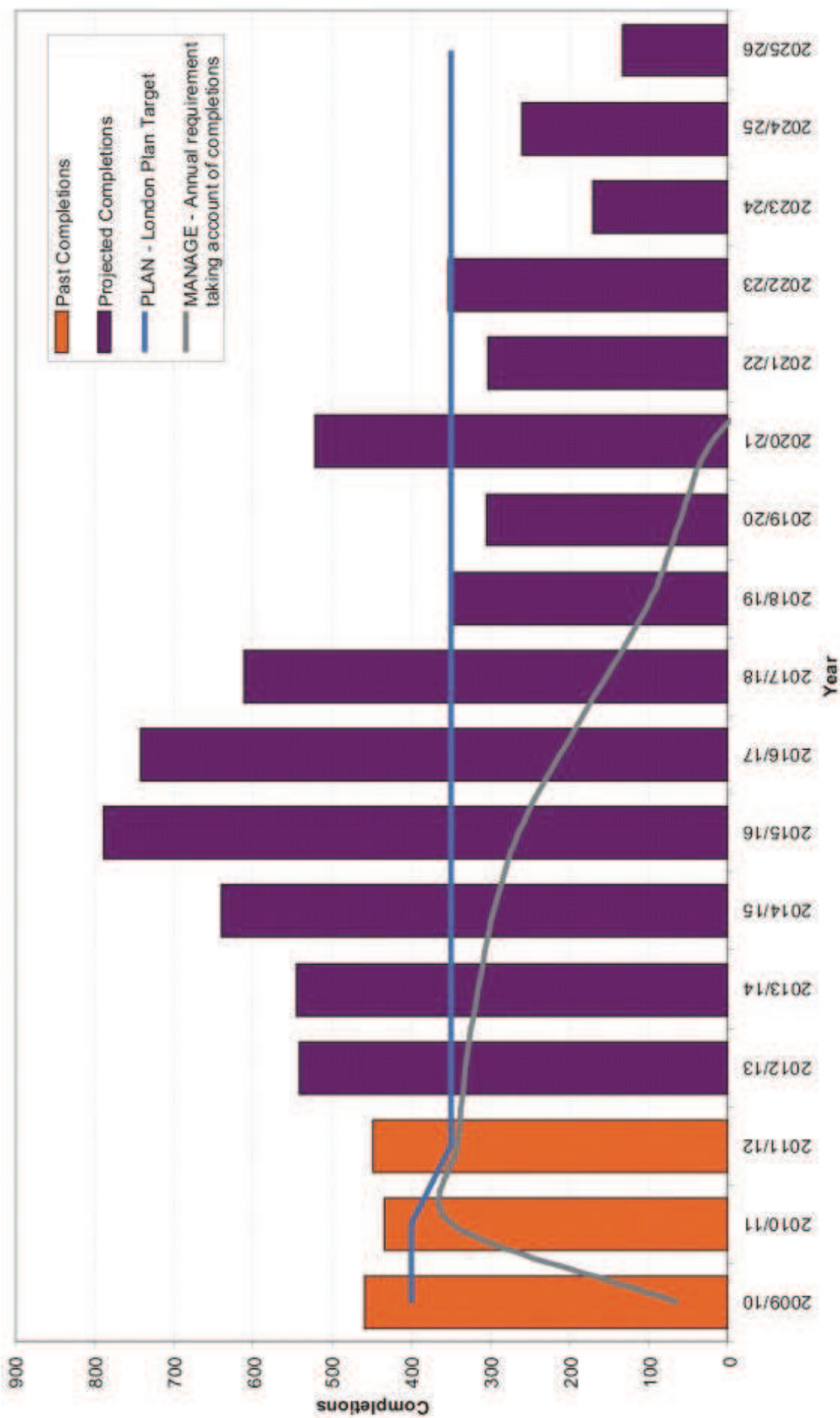


Figure B.2 Housing Trajectory 2005/06 - 2025/26

Glossary Appendix C

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Area Action Plans (AAP): An Area Action Plan is a Local Plan Document that will be used to provide a planning framework for areas of change and conservation.

Authority's Monitoring Report (AMR) (previously known as Annual Monitoring Reports): This is a report produced by the council pursuant to Regulation 34 of The Town and Country Planning (Local Planning) (England) Regulations 2012. The report must contain the title of each Local Plan document and supplementary planning document specified in the council's Local Development Scheme, the timetable and stage reached in the preparation of these documents, the reason(s) in the event that the preparation of any document is behind timetable, and in the event that any of these documents have been adopted within the period of the AMR, a statement of that fact and of the date of adoption. The AMR must also: (i) specify any Local Plan policy not being implemented, and a statement of the reasons and any remedial steps to be taken; (ii) report progress against any Local Plan target for the number of dwellings and affordable dwellings for the period of the report and for the period following the publication of the target; (iii) details of any neighbourhood development order or neighbourhood development plan; (iv) details of any charging schedule prepared under the Community Infrastructure Levy Regulations; and (v) details of any action undertaken by the local planning authority pursuant to the duty to cooperate with other organisations. Authority's Monitoring Reports for Harrow continue to cover the period 1st April to 31st March of each year, although the 2012 Regulations enable more frequent reports to be produced and require local planning authorities to make any up-to-date information collected for monitoring purposes publicly available as soon as possible after the information becomes available.

Business Improvement Districts (BIDs): Business Improvement Districts are a Government initiative to encourage businesses to regenerate trading environments by working together, in ways they decide themselves. These improvements could include extra marketing, festive events, additional cleaning and security.

Communities and Local Government (CLG or DCLG): The Government department responsible for determining national planning policies as well as the rules that govern the operation of the planning system.

Confidence Interval: Statisticians use a confidence interval to express the degree of uncertainty associated with a sample statistic. Confidence intervals around a sample mean estimate the likely difference between the sample mean and the population mean. They specify a region where the population mean is likely to lie using the standard error of the mean.

Conservation Area: An area of special architectural or historic interest, the character of which is desirable to preserve or enhance. There are a total of 28 Conservation Areas in Harrow of varying size and character. Conservation Areas are usually designated by the council, although the Secretary of State can also designate them.

Controlled Parking Zone (CPZ): An area where on-street parking either requires permits or is restricted by single or double yellow lines.

Core Output Indicators (COI): This is a set of indicators formerly devised and employed at national and regional level to develop consistency between datasets on issues of strategic importance, such as housing employment and the environment.

Core Strategy: The Core Strategy is the Local Plan Document that sets out the long-term spatial vision for the local planning authority area and the strategic policies and proposals to deliver that vision. Harrow's Core Strategy was adopted 16th February 2012.

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Development Management Policies: These are policies used by the council when making decisions on planning applications and related planning consent regimes. The planning decisions criteria of the London Plan (2011), together with the policies of the Core Strategy (2012), the Development Management Policies Local Plan (2013) are the adopted development management policies for Harrow.

Development Plan: Under section 38 of the Planning and Compulsory Purchase Act 2004 (as amended) the development plan means (in London) the London Plan and the local planning authority's development plan documents, including the saved policies of the Harrow Unitary Development Plan (2004). Section 38 requires that, if regard is to be had to the development plan for any determination under the planning Acts, the determination must be made in accordance with the development plan unless material considerations indicate otherwise.

Economically Active: People of working age who are either in employment or unemployed.

Employment Rate: The number of people in employment expressed as a percentage of the resident population.

Employment Use Classes: B1(a) - Offices; B1(b) - Research and development, studios, laboratories, high tech; B1(c) - Light Industry; B2- General Industry; B8 Storage or Distribution.

Equivalised Income: An adjusted income scale, which takes into account the size of a household. It reflects the idea that a large household will need a larger income than a smaller household in order to achieve an equivalent standard of living.

GANTT chart: A graphical representation of the duration of tasks against the progression of time.

Harrow Local Indicators (HLI): Indicators that have been identified by the local planning authority to monitor and assess the performance of the council in achieving policy targets.

H-bar: A road marking, shaped like an elongated 'H' which is placed across a vehicular access or driveway. It is used to remind drivers that it is illegal to park in front of dropped kerb driveways.

Listed Building: A building that is of national, architectural or historic importance. The Secretary of State (Department for Media, Culture and Sport) is responsible for the Statutory List of Buildings of Architectural or Historic Interest. Any building they deem to be of national historic and architectural value can be added to this list, and therefore becomes a listed building.

Listed Building Consent: Consent that needs to be obtained before work is carried out on a listed building. Listed building consent may be needed irrespective of whether or not planning permission is required.

Local Development Scheme (LDS): The LDS sets out the programme for the preparation of the Local Development Documents. Harrow's fifth LDS was published in June 2012.

Local Plan: Under Regulation 6 of the Town and Country Planning (Local Planning) (England) Regulations 2012 the Local Plan is the collective term for a local planning authority's local planning documents which have 'development plan' status, for the purposes of making planning determinations, under section 38 of the Planning and Compulsory Purchase Act 2004 (see above). In Harrow the following documents for the Local Plan: the Core Strategy (2012); the Heart of Harrow Area Action Plan (2013); the Development Management Policies (2013); the Site Allocations (2013; and the Joint West London Waste Plan (still in draft).

London Plan: The current London Plan was adopted in July 2011 and forms a part of the Local Plan for Harrow.

Micrograms (μm): A measurement of weight equivalent to one millionth of a gram.

Microgram per Cubic Metre of Air ($\mu\text{g}/\text{m}^3$ or $\mu\text{g m}^{-3}$): A measure of the weight of particles in the air. These particles are so small that they are measured in micrograms per cubic metre of air. This is used to define the concentration of air pollutants in the atmosphere, as a mass of pollutant per unit volume of air. A concentration of $1 \mu\text{g m}^{-3}$ means that one cubic metre of air contains one microgram of pollutant.

Micro Particles (PM_{10}): Particles in the air can be from a variety of sources, the most harmful are often those as a result of human actions. These particles can vary widely in size and composition. PM_{10} are particles that measure 10 micrograms (μm) or less. This standard was designed to identify those particles likely to be inhaled by humans, and PM_{10} has become the generally accepted measure of particulate material in the atmosphere in the UK and in Europe.

National Planning Policy Framework (NPPF): Streamlined national planning policy, produced by the Government and published 27th March 2012, which supersedes previous planning policy statements (PPS) and planning policy guidance (PPG) documents. The NPPF is accompanied by a separate national planning policy document for traveller sites.

Office of National Statistics (ONS): The national office responsible for monitoring and reporting the production and publication of all official statistics in the UK.

Photovoltaic (PV): A method of generating electrical power by converting solar radiation into direct current electricity using semiconductors that exhibit the photovoltaic effect. Photovoltaic power generation employs solar panels composed of a number of solar cells containing a photovoltaic material.

Planning Application: An application to the local planning authority for express planning permission to undertake development.

Policies Map: A graphical illustration of the policy designations and site allocations contained in Development Plan Documents required under Regulation 9 of The Town and Country Planning (Local Planning) (England) Regulations 2012. It also shows the borough's conservation areas and sites of special scientific interest.

Population Projections: The Greater London Authority (GLA) produce an annual round of demographic projections, which are widely used by the London Boroughs. GLA projections are generally dwelling constrained (i.e. They use census data as the baseline but then housing completions in each year to provide an estimate of the current population of the Borough and London. The SHLAA-based projections (Strategic Housing Land Availability Assessment) are used to forecast borough populations but, unlike ONS projections, do not account for migration to the same extent.

Public Transport Accessibility Level (PTAL): This is a method used in transport planning to assess the access level of geographical areas to public transport. It is used to calculate the distance from any given point to the nearest public transport stops and the frequency of the service from

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those stops. The final result is a grade from 1-6 (including sub-divisions 1a, 1b, 6a and 6b) where a PTAL of 1a indicates extremely poor access to the location by public transport, and a PTAL of 6b indicates excellent access by public transport.

Statement of Community Involvement (SCI): Section 18 of the Planning and Compulsory Purchase Act 2004 (as amended) requires local planning authorities to prepare an SCI. The SCI sets out how the council will involve the public and other organisations in the preparation of the Local Plan and in the determination of planning applications. The SCI is a local development document but is not a development plan document. Harrow's SCI was adopted in 2006.

Strategic Environmental Assessment/Sustainability Appraisal: A generic term used to describe environmental assessment as applied to policies, plans and programmes. The European 'SEA Directive' (2001/42/EC) does not in fact use the term Strategic Environmental Assessment. It requires a formal 'environmental assessment' of certain plans and programmes, including those in the field of planning and land use. The Sustainability Appraisal covers wider objectives than the Strategic Environmental Assessment but in practice both procedures will be combined. These processes feed into and are intended to improve the content of the Local Plan.

Strategic Flood Risk Assessment (SFRA): A local planning authority is required to prepare a Strategic Flood Risk Assessment (SFRA) to inform the sustainability appraisal of its local development documents and to "provide the basis from which to apply the Sequential Test and Exception Test in the development allocation and development control process".

Supplementary Planning Documents (SPD): These will cover specific thematic or area-based issues on which the plan-making authority wishes to provide more detailed guidance to supplement the policies and proposals in the adopted HUDP and in Development Plan Documents. For example they vary often provide design advice for certain types of development, or set out character appraisals and management proposals for conservation areas. SPDs do not form part of the development plan or and are not subject to independent examination in public. However their preparation does involve public consultation and must go through the council's own adoption procedures.

Tapered Element Oscillating Microbalance (TEOM): This method of measuring air quality records particles in the air. Air is sucked in through the sampling head which restricts the size of the particle entering the device (for instance a PM10 sampling head will only allow particles with a diameter less than or equal to 10 micro-metres). Some of the air then passes through a filter and as the number of particles deposited increases the natural frequency of the vibration of the element decreases. There is therefore a direct relationship between the change in the vibrating frequency and the mass on the filter.

Use Classes Order (UCO): This is an official schedule which classifies uses of land and buildings in various categories, as defined by the *Town and Country Planning (Use Classes) Order 1987* as amended by the '*Town and Country Planning (Use Classes) (Amendment) (England) Order 2005*'.